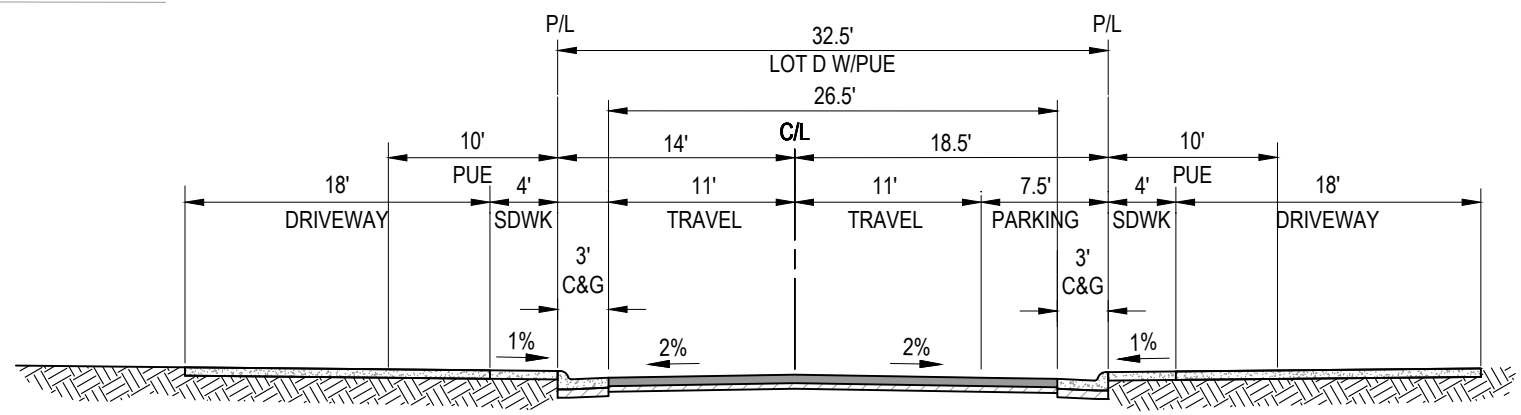
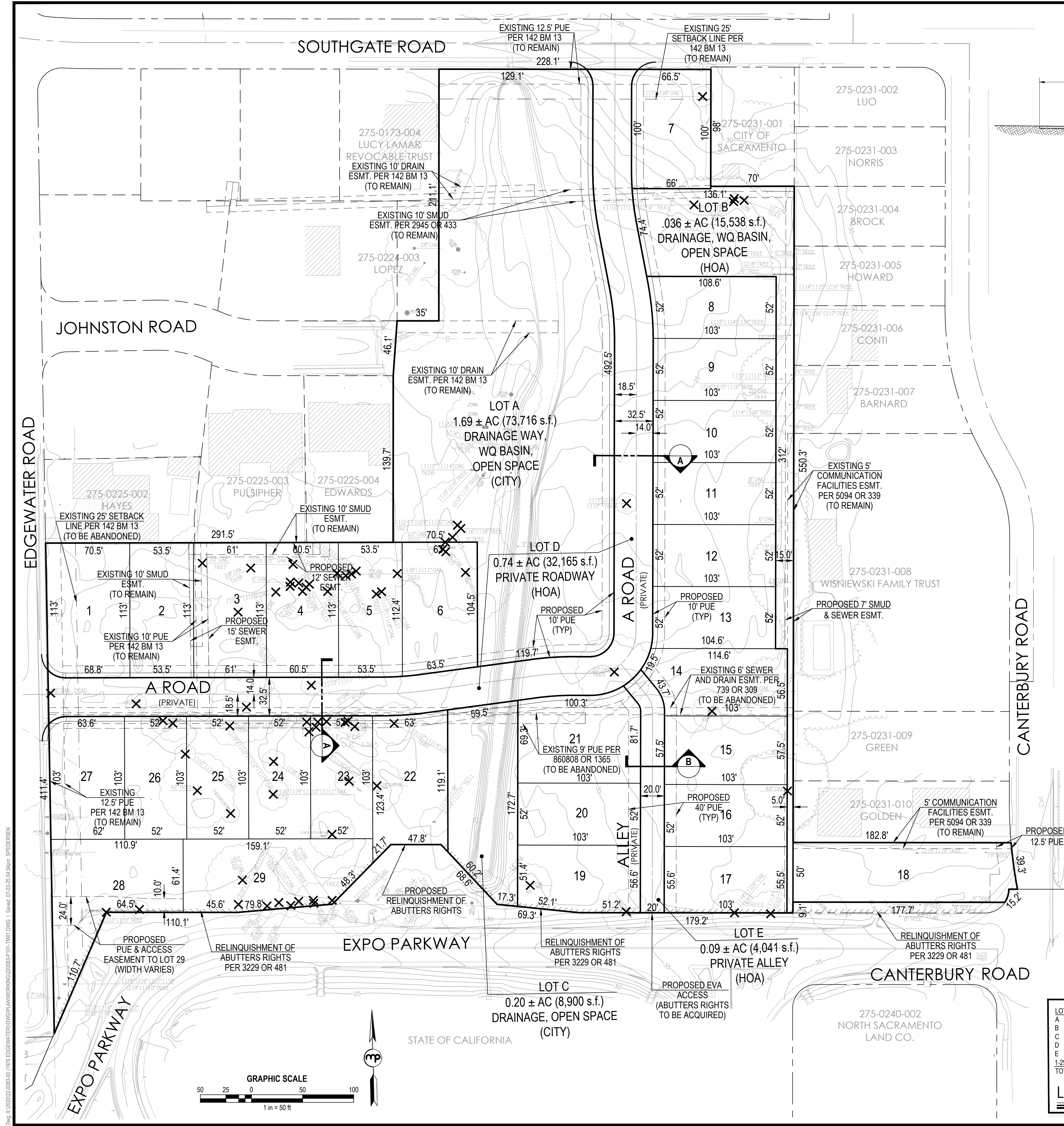
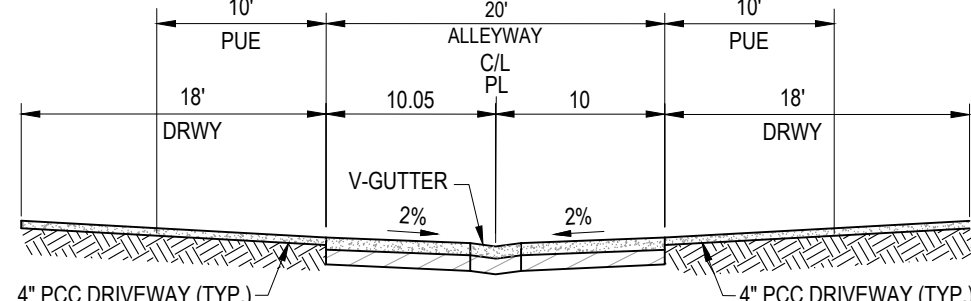
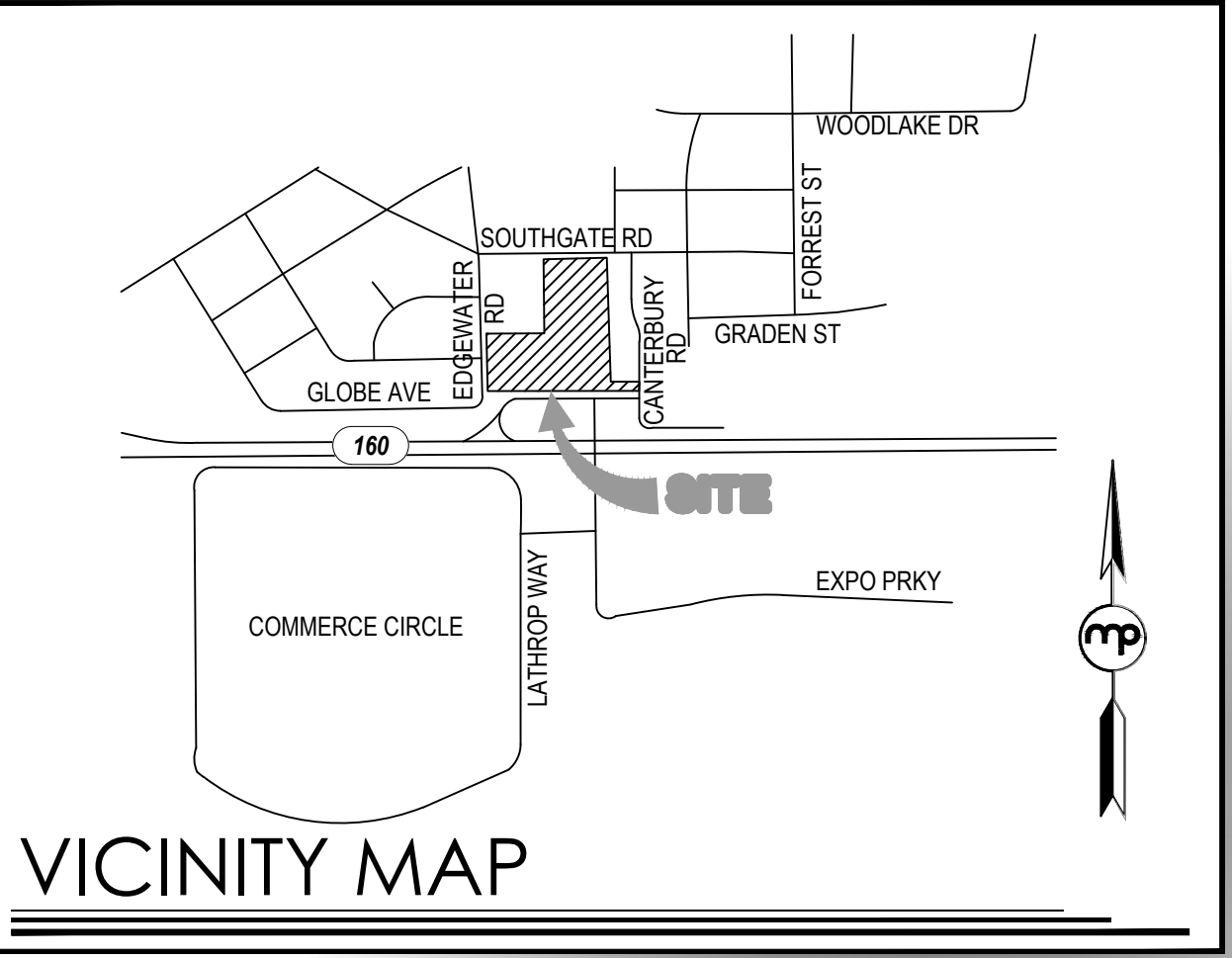




A 32.5' ROAD SECTION (PRIVATE)



B 20' ALLEY (PRIVATE)



OWNER

NORTH SACRAMENTO LAND CO.
400 SLOBE AVE.
SACRAMENTO, CA 95815

APPLICANT

AVILA RE CAPITAL LLC
770 TAMALPAIS DRIVE, #401b
CORTE MADERA, CA 94925
CONTACT: MAYA THEUER
PHONE: (760) 525-5705
EMAIL: MAYA@REDWOODRESI.COM

PLANNER / ENGINEER

MORTON & PITALO, INC.
600 COOLIDGE DRIVE, SUITE #140
FOLSOM, CA 95630
CONTACT: KEN TOPPER / SCOTT PEDERSEN
PHONE: (916) 927-2400
EMAIL: KTOPPER@MPENGR.COM
EMAIL: SPEDERSEN@MPENGR.COM

PLANNER / ARCHITECT

STUDIO 81 INTERNATIONAL, INC.
4944 WINDPLAY DRIVE, SUITE #116
EL DORADO HILLS, CA 95762
CONTACT: RUDI MACIAS
PHONE: (916) 801-2053
EMAIL: RMACIAS@STUDIO81INT.COM

SERVICE PROVIDERS

SCHOOL DISTRICT: SACRAMENTO CITY UNIFIED
FIRE PROTECTION: CITY OF SACRAMENTO
POLICE PROTECTION: SACRAMENTO POLICE
STORM DRAINAGE: CITY OF SACRAMENTO

UTILITY PROVIDERS

WATER: CITY OF SACRAMENTO
SEWER: CITY OF SACRAMENTO
GAS AND ELECTRIC: PG&E

PROJECT INFORMATION

ASSESSOR PARCEL NUMBERS 275-0240-077 & 275-0230-011

EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL
EXISTING ZONING: R-1
PROPOSED ZONING: R-1
EXISTING GENERAL PLAN: NEIGHBORHOOD
PROPOSED GENERAL PLAN: NEIGHBORHOOD

EXISTING # ACRES
EXISTING NUMBER OF PARCELS 2 7.29 ± AC

PROPOSED	#	ACRES
PROPOSED NUMBER OF LOTS	29	4.18 ± AC
	1	0.74 ± AC
	1	0.09 ± AC
	1	0.36 ± AC
	2	1.89 ± AC
TOTAL	34	7.26 ± AC

PROJECT INFORMATION

- THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
- MINOR MODIFICATION MAY BE MADE TO LOT LINES AT FINAL MAP.
- FOR PRELIMINARY PLANNING PURPOSES ONLY. BOUNDARY, TOPO, EASEMENTS AND SITE CONDITIONS TO BE VERIFIED PRIOR TO FINAL MAP AND ENGINEERING.
- PURSUANT TO GOVERNMENT CODE SECTION 66456.1 THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS BASED UPON THIS TENTATIVE MAP. THE FILING OF A FINAL MAP ON A PORTION OF THIS TENTATIVE MAP SHALL NOT INVALIDATE ANY PART OF THIS TENTATIVE MAP, INCLUDING THE AUTHORITY OF THE LOCAL AGENCY TO IMPOSE REASONABLE CONDITIONS RELATING TO THE FILING OF MULTIPLE FINAL MAPS.
- ALL UTILITY SYSTEMS ILLUSTRATED ON THE TENTATIVE MAP ARE SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
- GRADING SHOWN ON THIS TENTATIVE MAP ILLUSTRATES A GENERAL GRADING CONCEPT AND IS SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
- PURSUANT TO SECTION 66445 (J) OF THE GOVERNMENT CODE, THE FOLLOWING EASEMENTS ARE PROPOSED TO BE ABANDONED:
(A) 6' SEWER & DRAIN EASEMENT PER 739 OR 309
(B) 9' PUE PER 860808 OR 1365
(C) 25' SETBACK PER 142 BM 13 (ALONG EDGEWATER ROAD FRONTAGE - LOTS 1, 27, 28)
- LOT A IS A PUBLIC LOT FOR DRAINAGE, WATER QUALITY BASIN, AND OPEN SPACE AND INCLUDES A PUE AND DRAINAGE EASEMENT TO BE DEDICATED TO THE CITY.
- LOT B IS A PRIVATE LOT FOR DRAINAGE, WATER QUALITY BASIN, AND OPEN SPACE AND INCLUDES A PUE AND DRAINAGE EASEMENT TO BE DEDICATED TO THE HOA.
- LOT C IS A PUBLIC LOT FOR DRAINAGE, AND OPEN SPACE AND INCLUDES A PUE AND DRAINAGE EASEMENT TO BE DEDICATED TO THE CITY.
- LOT D IS A LOT FOR A PRIVATE ROADWAY TO BE DEDICATED TO THE HOA AND INCLUDES A PUE.
- LOT E IS A LOT FOR A PRIVATE ALLEYWAY TO BE DEDICATED TO THE HOA AND INCLUDES A PUE.

NOTES

DE PUE X DRAINAGE EASEMENT PUBLIC UTILITY EASEMENT TREE TO BE REMOVED

ABBREVIATIONS

LOTS:	AREA	LAND USE
A	1.69 ± AC (73,716 ± SF)	DRAINAGE / WQ / OPEN SPACE (CITY)
B	0.36 ± AC (15,538 ± SF)	DRAINAGE / WQ / OPEN SPACE (HOA)
C	0.20 ± AC (8,900 ± SF)	DRAINAGE / OPEN SPACE (CITY)
D	0.74 ± AC (32,165 ± SF)	PRIVATE ROADWAY (HOA)
E	0.09 ± AC (4,041 ± SF)	PRIVATE ALLEYWAY (HOA)
	4.18 ± AC	RESIDENTIAL LOTS
TOTAL AREA:	7.29 ± AC	

LOTING

CREEKSIDE AT WOODLAKE
TENTATIVE SUBDIVISION MAP
SHEET 1 of 3
JULY 3, 2025

MORTON & PITALO, INC.
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
Folsom • Sacramento • Fresno
75 Iron Point Road, suite #120
Folsom, CA 95630
phone: (916) 984-7621
web: www.mpiengr.com

100-YR ON-SITE STORAGE VOLUME (26.4' ELEVATION PER NAVD 88)
EXISTING STORAGE: 6.70 AC. FT.
PROPOSED STORAGE: 7.01 AC. FT.

PRELIMINARY EARTHWORK
CUT TO FILL: ± 5,222 CY
EXPORT: ± 1,653 CY
PRELIMINARY GRADING QUANTITIES BASED ON INITIAL
TOPOGRAPHIC SURVEY FROM BURELL ENGINEERING. FINAL
GRADING/EARTHWORK DURING CONSTRUCTION DOCUMENT
PREPARATION WILL REQUIRE ADDITIONAL SURVEY FIELD WORK.

JOHNSTON
ROAD

JOHNSTON ROAD

EDGEWATER ROAD

BAXTER
ROAD

3E ROAD

SOUTHGATE ROAD

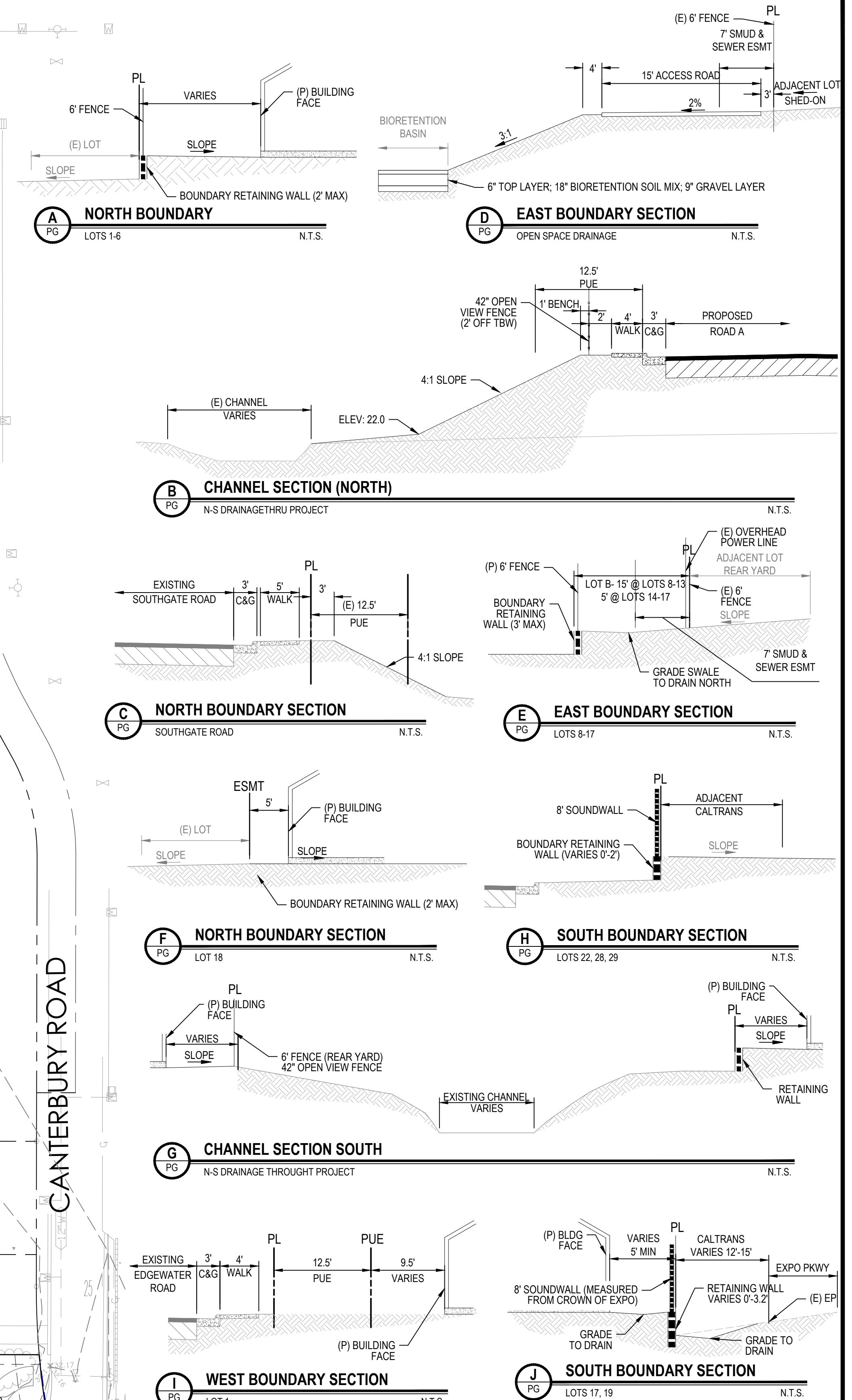
A ROAD
(PRIVATE)

ALLEY
(PRIVATE)

CANTERBURY ROAD

EXPO PARKWAY

CANTERBURY ROAD

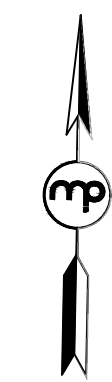


CREEKSIDE AT WOODLAKE

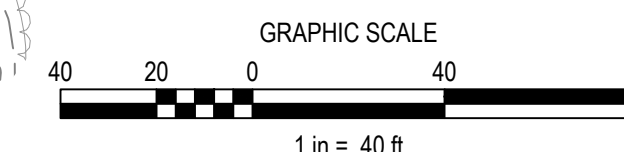
PRELIMINARY GRADING PLAN

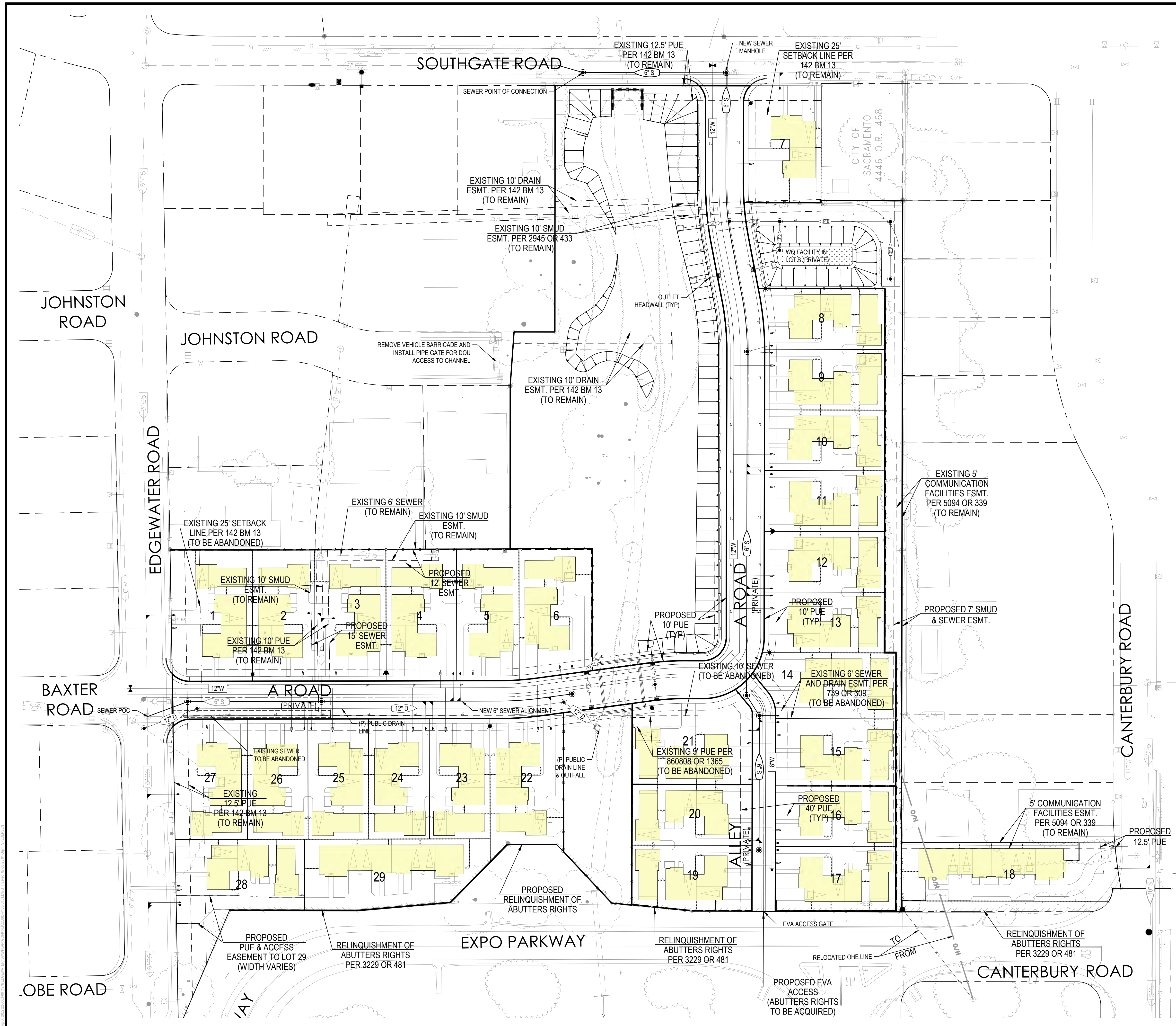
SHEET 2 of 3

JULY 3, 2025



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CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
Folsom • Fresno
600 Cookridge Drive, Suite #140
Folsom, CA 95630
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web: www.mpieng.com



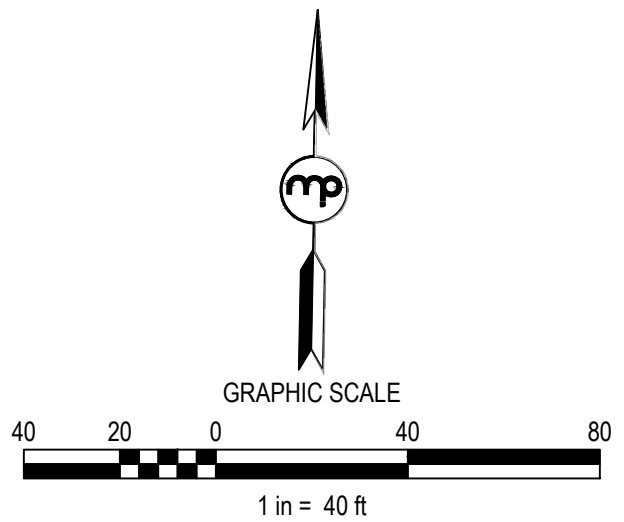


LEGEND

PROPOSED	DESCRIPTION
	STORM DRAIN PIPE & SIZE (PRIVATE)
	DRAIN INLET (PRIVATE)
	SANITARY SEWER PIPE & SIZE (PUBLIC)
	DOMESTIC WATER PIPE & SIZE (PUBLIC)
	DOMESTIC WATER SERVICE PIPE & SIZE (PRIVATE)
	GATE VALVE
	WATER SERVICE
	FIRE HYDRANT

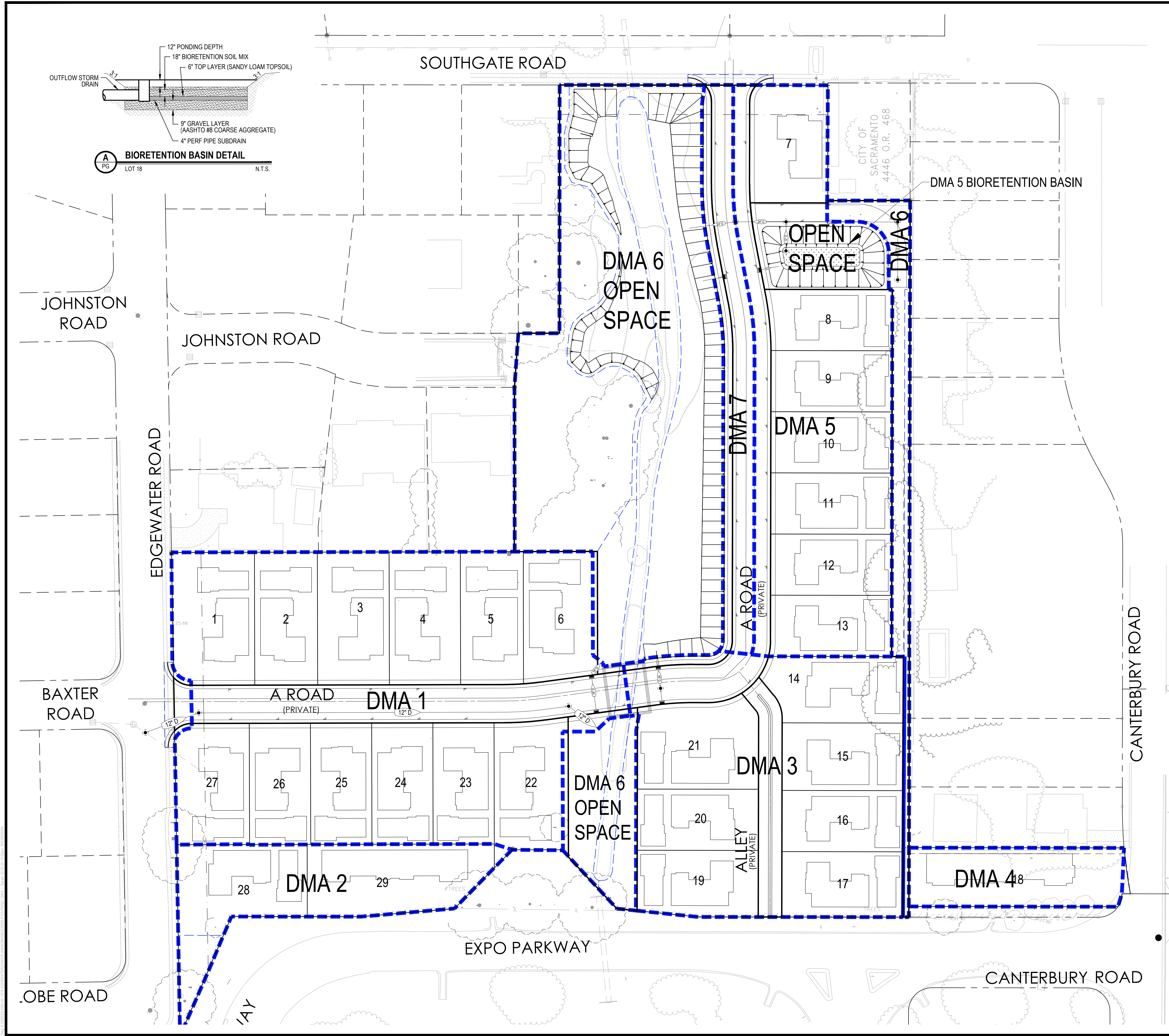
NOTES:

1. A PUE WILL BE DEDICATED OVER ROAD "A" FOR PUBLIC UTILITY PURPOSES.
2. LOT B IS PROPOSED TO BE PRIVATE WITH LID TREATMENT FACILITIES IN CONFORMANCE WITH CITY REQUIREMENTS.
3. A PUE WILL BE DEDICATED OVER LOT B FOR PUBLIC OFF-SITE DRAINAGE TO THE EXISTING CHANNEL.
4. ALL WATER FACILITIES SHOWN ARE PROPOSED TO BE PUBLIC.
5. PORTIONS OF THE E EXISTING SEWER PIPE NETWORK THROUGH THE PROJECT SERVING OFF-SITE LOTS ARE PROPOSED TO BE ABANDONED PER COORDINATION WITH DOU; PORTIONS OF THE EXISTING SYSTEM ARE TO REMAIN; ASSOCIATED EASEMENT SECTIONS WILL BE ABANDONED WITH THIS PROJECT.
6. ALL SEWER FACILITIES SHOWN ARE PROPOSED TO BE PUBLIC.
7. ON-SITE SUBDIVISION DRAINAGE IS PROPOSED TO BE PRIVATE AND WILL BE MAINTAINED BY THE HOA.
8. EXISTING PUBLIC EASEMENTS FOR OFF-SITE DRAINAGE AND PIPING TO THE CHANNEL ARE TO REMAIN OR BE REALIGNED TO THE SATISFACTION OF DOU.



CREEKSIDE AT WOODLAKE

PRELIMINARY UTILITY PLAN
SHEET 3 of 3
JULY 3, 2025



DMA SUMMARY:	
DMA 1:	
DMA AREA:	2.01 ACRES
IMPERVIOUS AREA:	1.41 ACRES
PERVIOUS AREA:	0.60 ACRES
NUMBER OF TREES:	25 DECIDUOUS TREES
NUMBER OF DISCONNECTED ROOFS:	12
DMA 2:	
DMA AREA:	0.41 ACRES
IMPERVIOUS AREA:	0.29 ACRES
PERVIOUS AREA:	0.12 ACRES
NUMBER OF TREES:	8 DECIDUOUS TREES
NUMBER OF DISCONNECTED ROOFS:	2
DMA 3:	
DMA AREA:	1.17 ACRES
IMPERVIOUS AREA:	0.82 ACRES
PERVIOUS AREA:	0.35 ACRES
NUMBER OF TREES:	19 DECIDUOUS TREES
NUMBER OF DISCONNECTED ROOFS:	7
DMA 4:	
DMA AREA:	0.21 ACRES
IMPERVIOUS AREA:	0.13 ACRES
PERVIOUS AREA:	0.08 ACRES
NUMBER OF TREES:	5 DECIDUOUS TREES
NUMBER OF DISCONNECTED ROOFS:	1
DMA 5:	
DMA AREA:	1.21 ACRES
IMPERVIOUS AREA:	0.84 ACRES
PERVIOUS AREA:	0.36 ACRES
NUMBER OF TREES:	17 DECIDUOUS TREES
NUMBER OF DISCONNECTED ROOFS:	7
BIORETENTION AREA:	1,028 SF
DMA 6:	
DMA AREA:	2.04 ACRES
IMPERVIOUS AREA:	0.04 ACRES
PERVIOUS AREA:	2.00 ACRES
EXISTING TREE AREA:	25,000 SF
DMA 7:	
DMA AREA:	0.25 ACRES
IMPERVIOUS AREA:	0.22 ACRES
PERVIOUS AREA:	0.03 ACRES

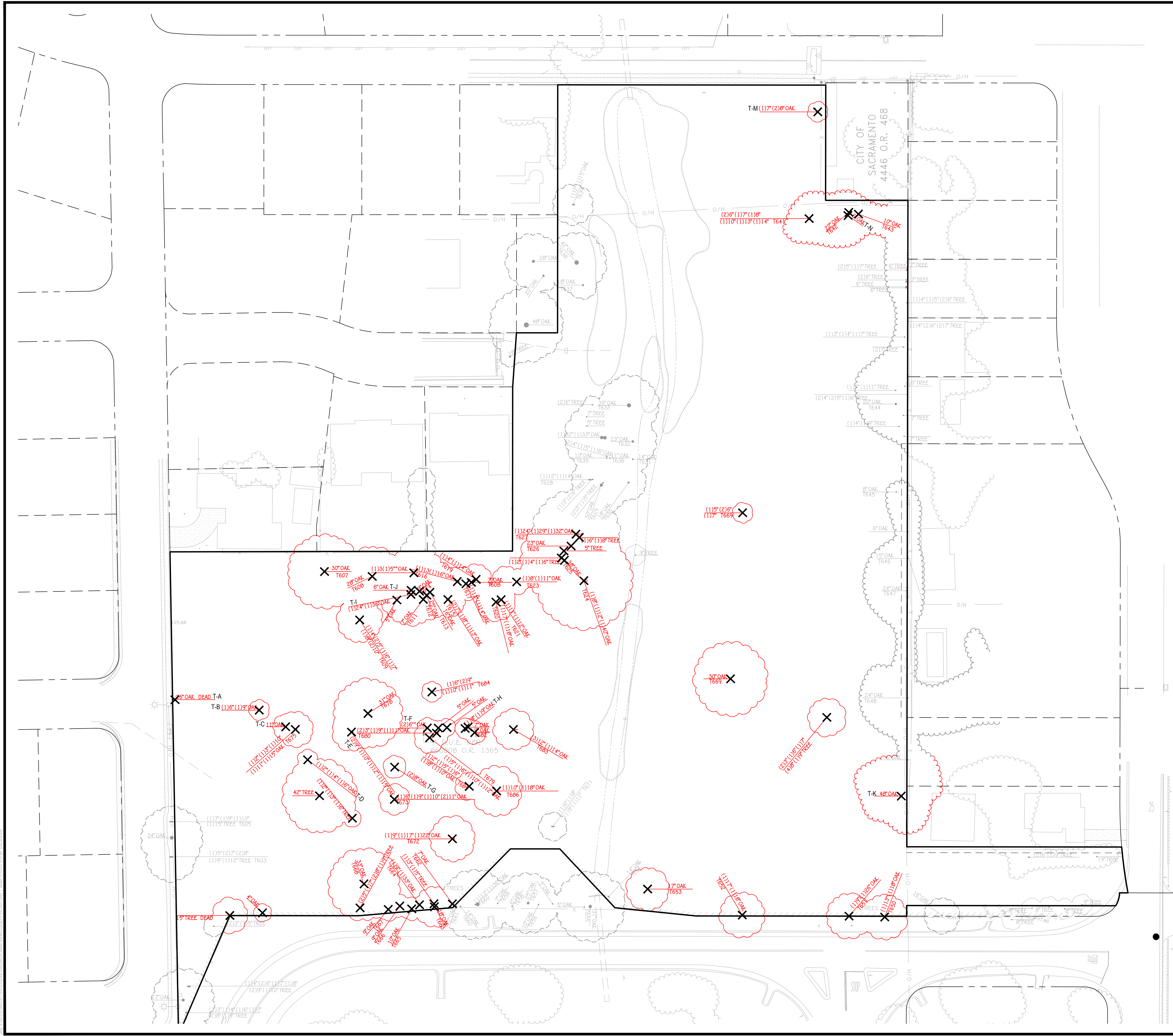
NOTES:
1. TREATMENT FOR DMA AREAS IDENTIFIED HAVE BEEN SIZED PER THE APPENDIX D-1 RESIDENTIAL SITES: LOW IMPACT DEVELOPMENT (LID) CREDITS AND TREATMENT BMP SIZING CALCULATIONS SPREADSHEET.

CREEKSIDE AT WOODLAKE

PRELIMINARY WATER QUALITY EXHIBIT

SHEET 1 of 1
JULY 3, 2025

MORTON & PITALO, INC.
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
Folsom • Fresno
600 Coolidge Drive, Suite #140
Folsom, CA 95630
phone: (916) 984-7621
web: www.mppengr.com



Tree No.	Description
T607	30" Oak
T608	28" Oak
T608	7" Oak
T609	(1) 4" (2) 5" (1) 6" (1) 7" (1) 8" (2) 10"
T611	7" Oak
T612	25" Oak
T613	16" Oak
T614	9" Oak
T615	(2) 7" (1) 8" (1) 13" Oak
T616	(1) 13" (1) 16" Oak
T617	(1)13" (1) 14" Oak
T619	(1) 4" (1) 14" Oak
T620	(1)17" (1) 18" Oak
T621	(1)11" (1) 12" Oak
T623	(1) 8" (1) 11" Oak
T624	(1) 8" (1) 12" (1) 40" Oak
T625	38" Oak
T626	23" Oak
T627	(1)24" (1) 29" (1) 32" Oak
T641	(2) 6" (1) 7" (1) 8" (1) 10" (1) 13" (1) 14"
T642	22" Oak
T643	10" Oak
T644	20" Oak
T645	8" Oak
T646	15" Oak
T647	24" Oak
T648	24" Oak
T650	(1) 13" (1) 18"
T651	(1) 9" (1) 26"
T652	(1) 17" (1) 18"
T653	17" Oak
T662	7" Oak
T663	18" Oak
T664	(1) 9" (1) 33" Oak
T665	10" Oak
T666	9" Oak
T667	9" Oak
T668	33" Oak
T669	(1) 5" (2) 6" (1) 7"
T669	(1)5" (2) 6" (1) 7"
T672	(1) 9" (1) 17" (1) 22" Oak
T673	(1) 6" (1) 9" (1) 10" (2) 11" Oak
T675	(1) 2" (1) 3" (1) 10" (1) 11" (1) 15" Oak
T678	31" Oak
T679	(1) 5" (2) 6" (1) 10" (1) 12" Oak
T680	(2) 3" (1) 9 (1) 11" Oak
T682	9"Oak
T683	(3) 12 (1) 14" Oak
T684	(1) 6" (2) 9" (1) 10" (1) 11"
T685	(1) 2" (2) 5" (1) 6" (1) 8" (1) 10" Oak
T686	(1) 10" (1) 18" Oak
T-A*	26" Oak - DEAD
T-B*	(1) 6" (1) 9" Oak
T-C*	11" Oak
T-D*	(1) 2" (2) 4" (1) 6" Oak
T-E*	(2) 9" (1) 10" (1) 12" (1) 15" Oak
T-F*	(2) 6" Oak
T-G*	(2) 8" Oak
T-H*	(1) 8" (1) 9" Oak
T-I*	(1) 24" (1) 36" Oak
T-J*	6" Oak
T-K*	48" Oak
T-L*	6" Oak
T-M*	6" Oak
T-N*	6" Oak
T-O*	(1) 7" (2) 8" Oak

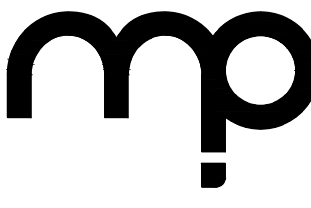
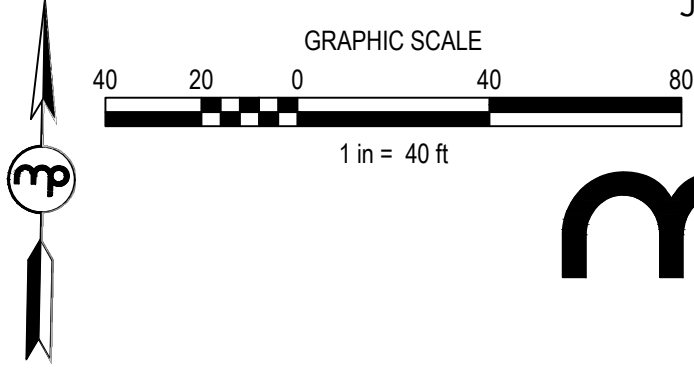
Notes:
1. The data included in the table has been compiled from the topographic survey (by others).
2. The trees identified in the above table are trees proposed for removal.
3. All trees with an defined with a tree number have been included whether defined as Oak or not.
4. Where there are duplicate tree numbers, both have been identified.
5. All trees identified for removal that do not have have a tree number (*) and include 6" or above Oak have been listed and identified with a T letter combination (eg T-L)

CREEKSIDE AT WOODLAKE

TREE REMOVAL PLAN

SHEET 1 of 1

JULY 3, 2025



MORTON & PITALO, INC.
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CREEKSIDE AT WOODLAKE



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D



LOT 18 & 29

COVER SHEET

July 3, 2025


REDWOOD
RESIDENTIAL
CREEKSIDE AT
WOODLAKE

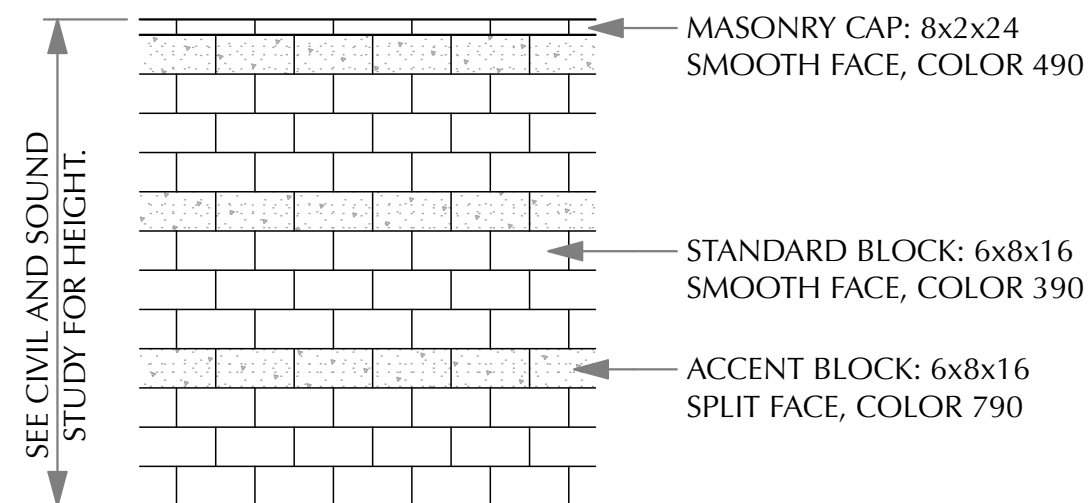
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LANDSCAPE AREA CALCULATIONS

Lot No.	Front Yard Setback Area (s.f.)	Paved Area (s.f.)	Percentage of Paved Area
1	1,348.50	502.75	37.3%
2	1,070	526	49.2%
3	1,220	604	49.5%
4	1,210	602	49.8%
5	1,070.25	526.25	49.2%
6	1,270.25	633	49.8%
7	1,636.25	337.5	20.6%
8	1,047.25	523.5	50.0%
9	1,040	520	50.0%
10	1,040	520	50.0%
11	1,040	520	50.0%
12	1,040	520	50.0%
13	1,042	520.75	50.0%
14	1,258.75	533.25	42.4%
15	1,150	480	41.7%
16	1,040	390	37.5%
17	1,111.75	390	35.1%
18	1,352.50	365.5	27.0%
19	1,131.25	390	34.5%
20	1,040	390	37.5%
21	1,645.75	354.75	21.6%
22	1,265.25	630.75	49.9%
23	1,040	520	50.0%
24	1,040	520	50.0%
25	1,040	520	50.0%
26	1,040	520	50.0%
27	1,239.75	479.75	38.7%
28	3,372.25	925	27.4%
29	N/A	N/A	N/A

SOUND WALL DESIGN

SEE CIVIL AND LANDSCAPE DRAWINGS FOR
LOCATION AND ADDITIONAL INFORMATION.



ARCHITECTURAL SITE PLAN

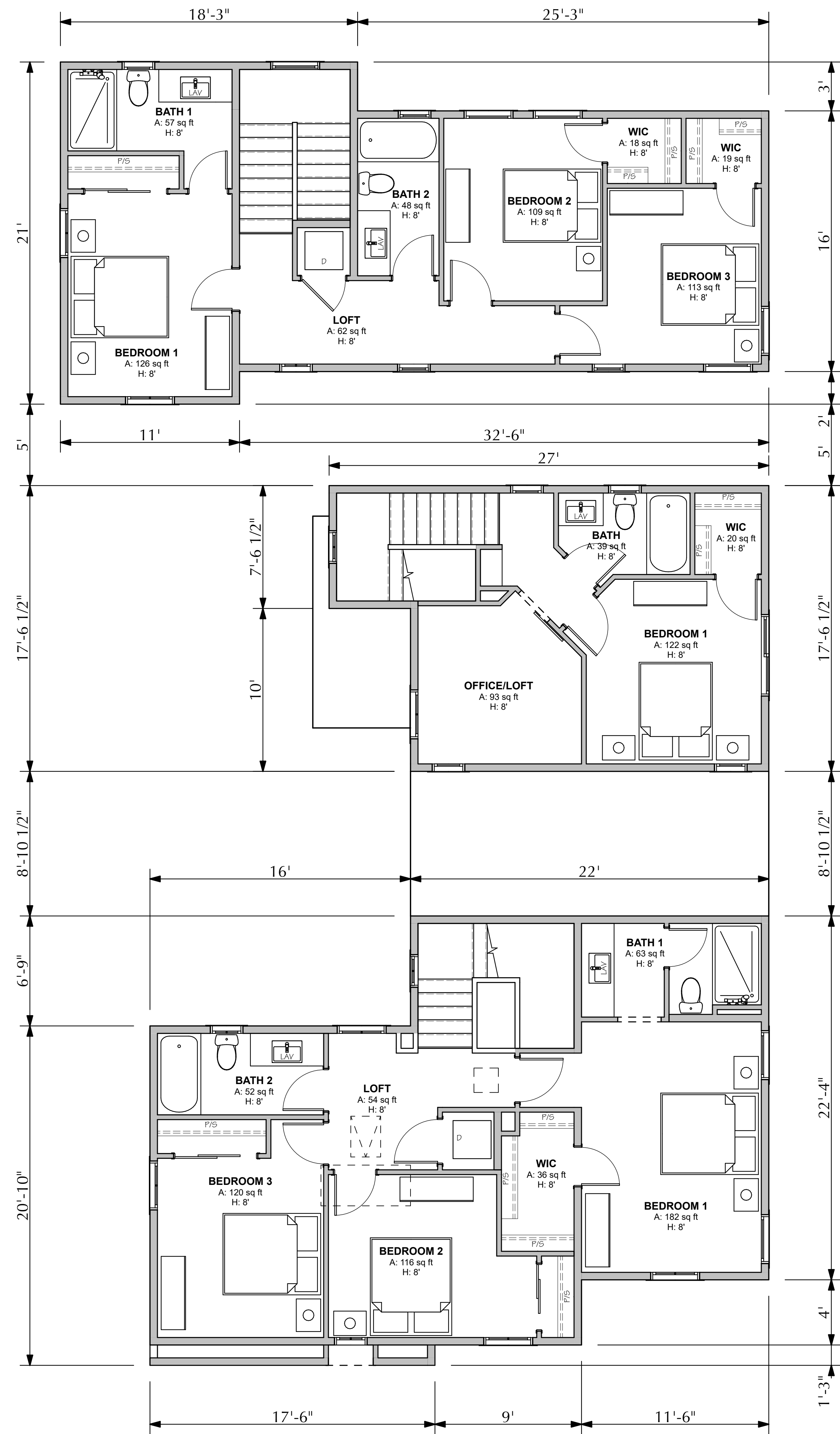
SCALE: 1" = 30'

SITE PLAN

July 3, 2025

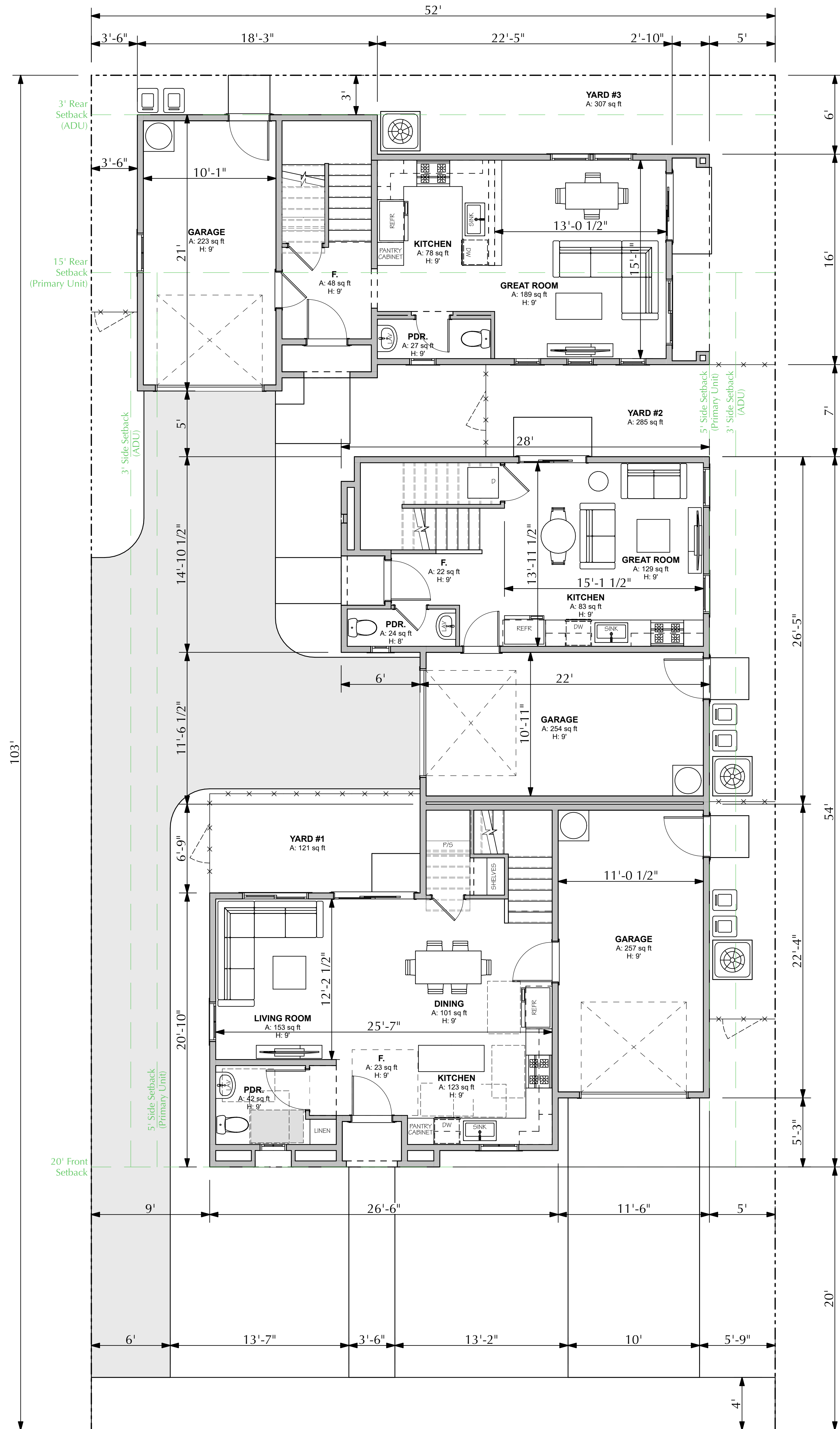


A1.0



TYPICAL LOT UPPER FLOOR

SCALE: 1/4" = 1'-0"



TYPICAL LOT PLAN

SCALE: 1/4" = 1'-0"

DETACHED ADU:
MAIN FLOOR: 494
UPPER FLOOR: 703
TOTAL: 1197
GARAGE: 223

ATTACHED ADU:
MAIN FLOOR: 397
UPPER FLOOR: 352
TOTAL: 749
GARAGE: 254

PRIMARY RESIDENCE A:
MAIN FLOOR: 580
UPPER FLOOR: 766
TOTAL: 1346
GARAGE: 257

PRIMARY RESIDENCE B:
MAIN FLOOR: 595
UPPER FLOOR: 780
TOTAL: 1375
GARAGE: 257

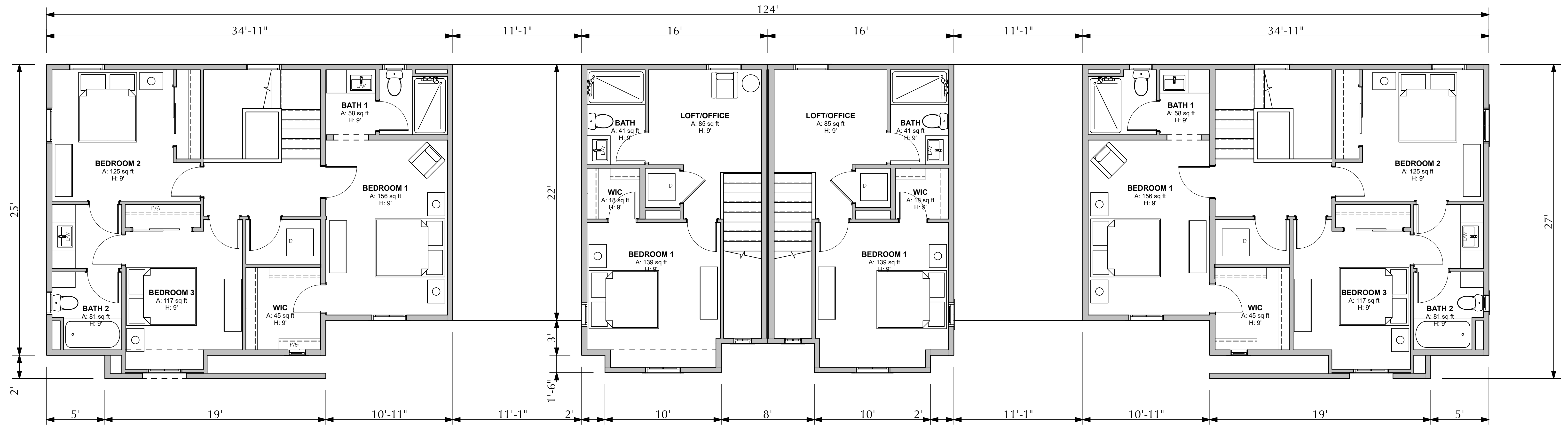
PRIMARY RESIDENCE C:
MAIN FLOOR: 582
UPPER FLOOR: 792
TOTAL: 1374
GARAGE: 257

PRIMARY RESIDENCE D:
MAIN FLOOR: 589
UPPER FLOOR: 769
TOTAL: 1358
GARAGE: 257

TYPICAL LOT
LAYOUT

July 3, 2025



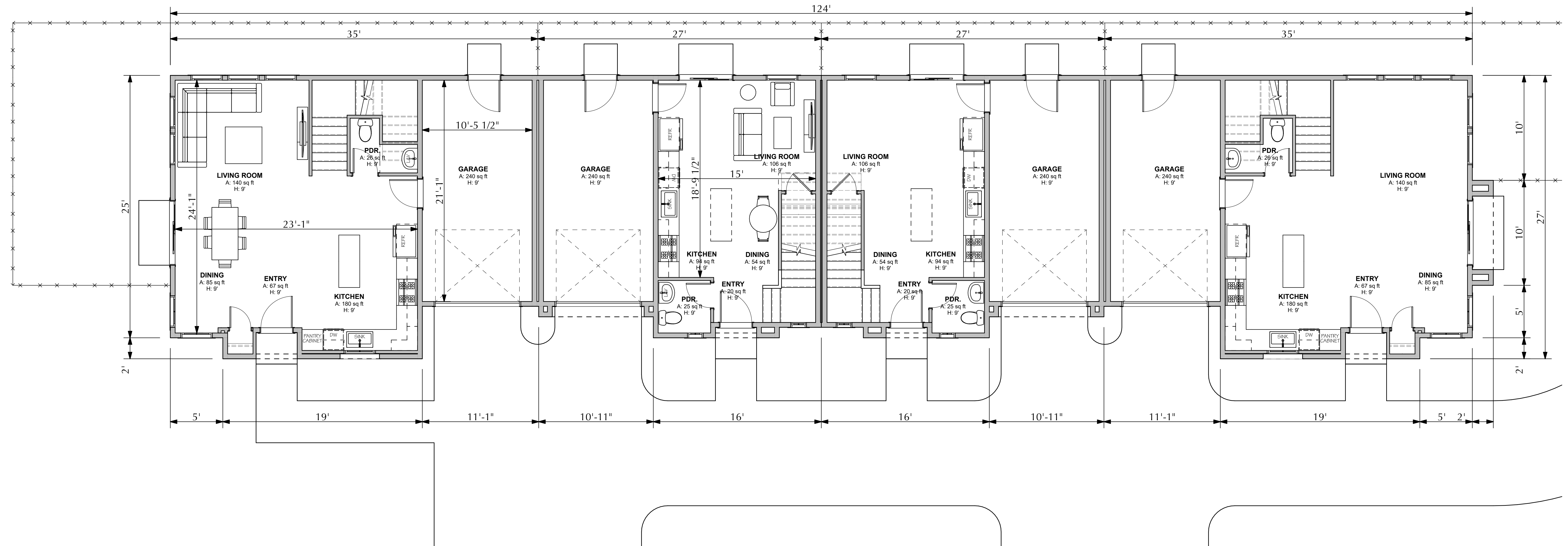


TYPICAL LOT UPPER FLOOR

SCALE: 1/4" = 1'-0"

PRIMARY RESIDENCE:
MAIN FLOOR: 628
UPPER FLOOR: 779
TOTAL: 1407
GARAGE: 240

ATTACHED ADU:
MAIN FLOOR: 388
UPPER FLOOR: 354
TOTAL: 742
GARAGE: 240



TYPICAL LOT PLAN

SCALE: 1/4" = 1'-0"

LOT 18 & 29
LAYOUT

July 3, 2025

REDWOOD
RESIDENTIAL
CREEKSIDE AT
WOODLAKE

A1.2

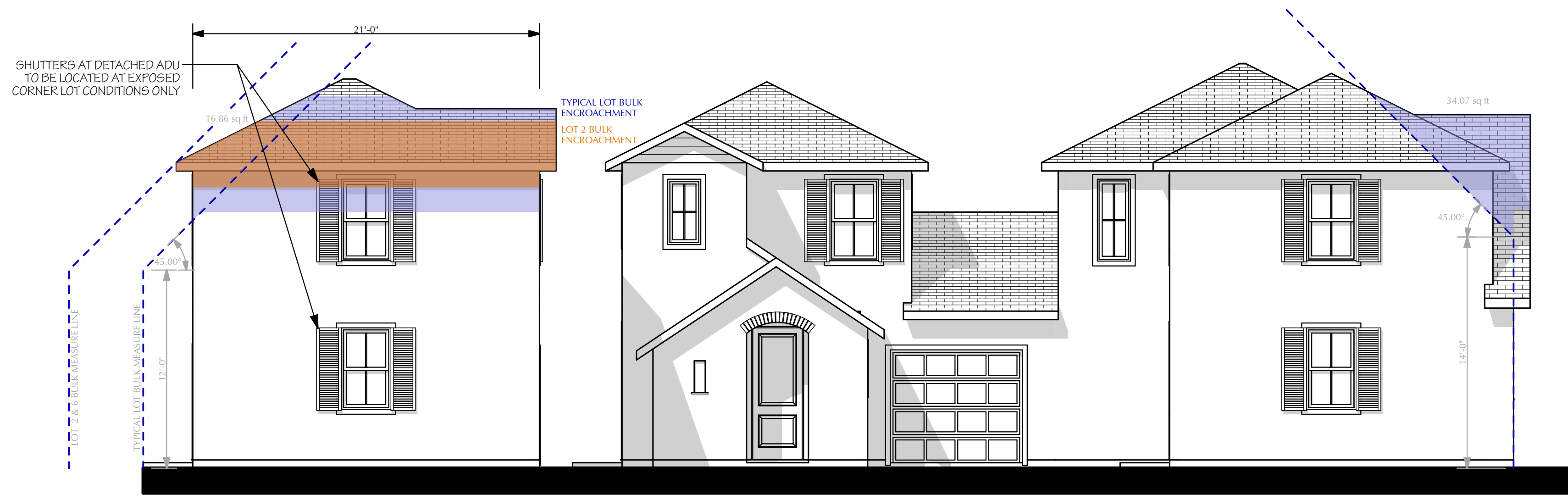


**BIRDS EYE
PERSPECTIVE**

July 3, 2025


**REDWOOD
RESIDENTIAL**
CREEKSIDE AT
WOODLAKE

A2.0



LEFT ELEVATION 'A' - COURT SIDE

SCALE: 3/16" = 1'-0"



REAR ELEVATION 'A'

SCALE: 3/16" = 1'-0"

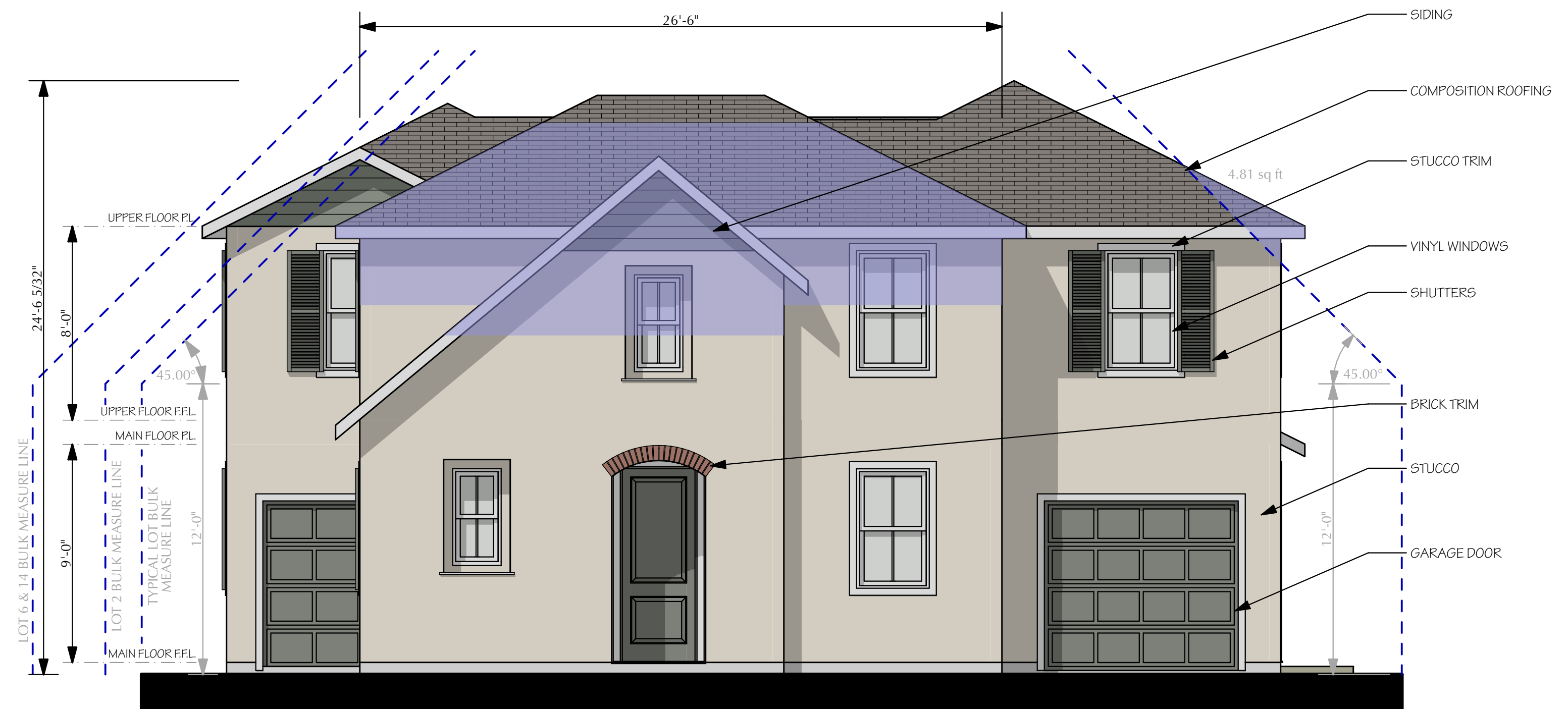
BULK CONTROL ENCROACHMENTS:

LOTS 10, 20 & 24	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	34.07	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	13.1
REAR PLANE	0	0	16.86

LOT 2	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	34.07	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	4.81
REAR PLANE	0	0	0

LOT 6	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	34.07	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	0

LOT 14	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	34.07	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	16.86



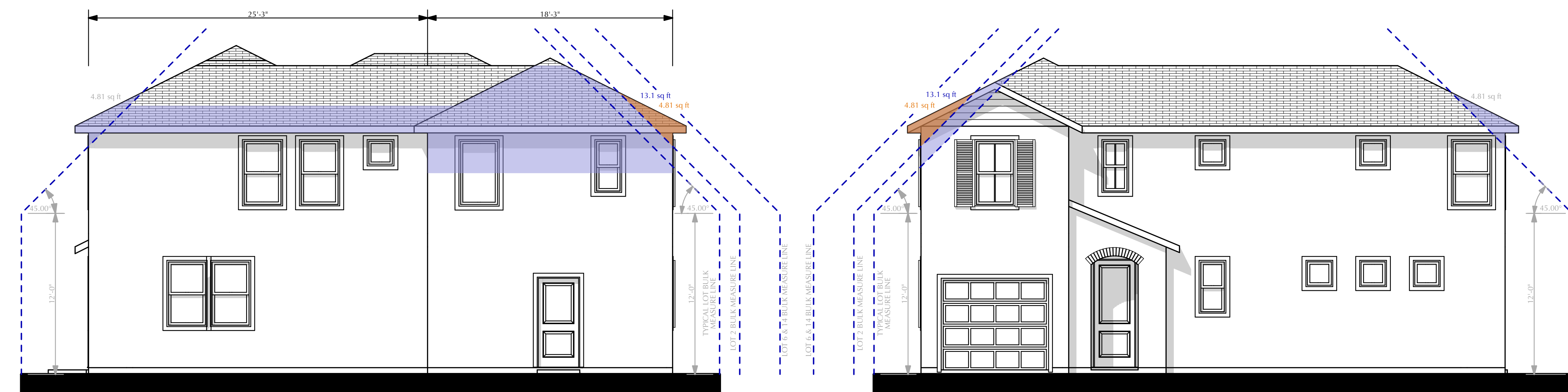
FRONT ELEVATION 'A'

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION 'A'

SCALE: 3/16" = 1'-0"



ADU REAR ELEVATION 'A'

SCALE: 3/16" = 1'-0"

ADU FRONT ELEVATION 'A'

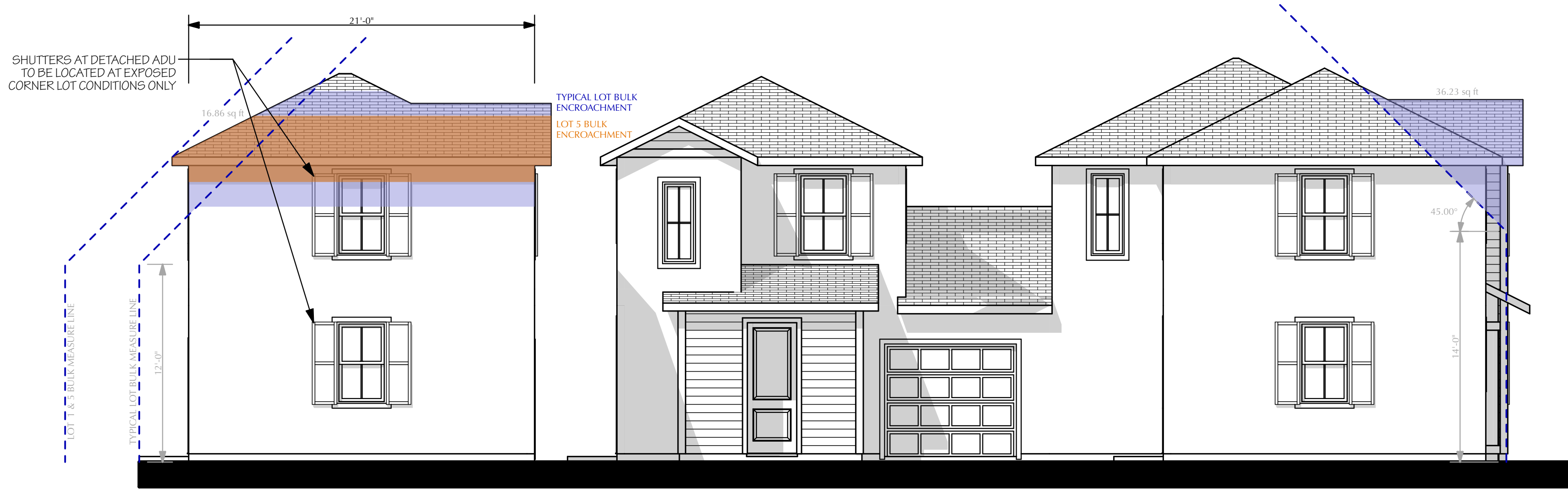
SCALE: 3/16" = 1'-0"

ELEVATION A

July 3, 2025

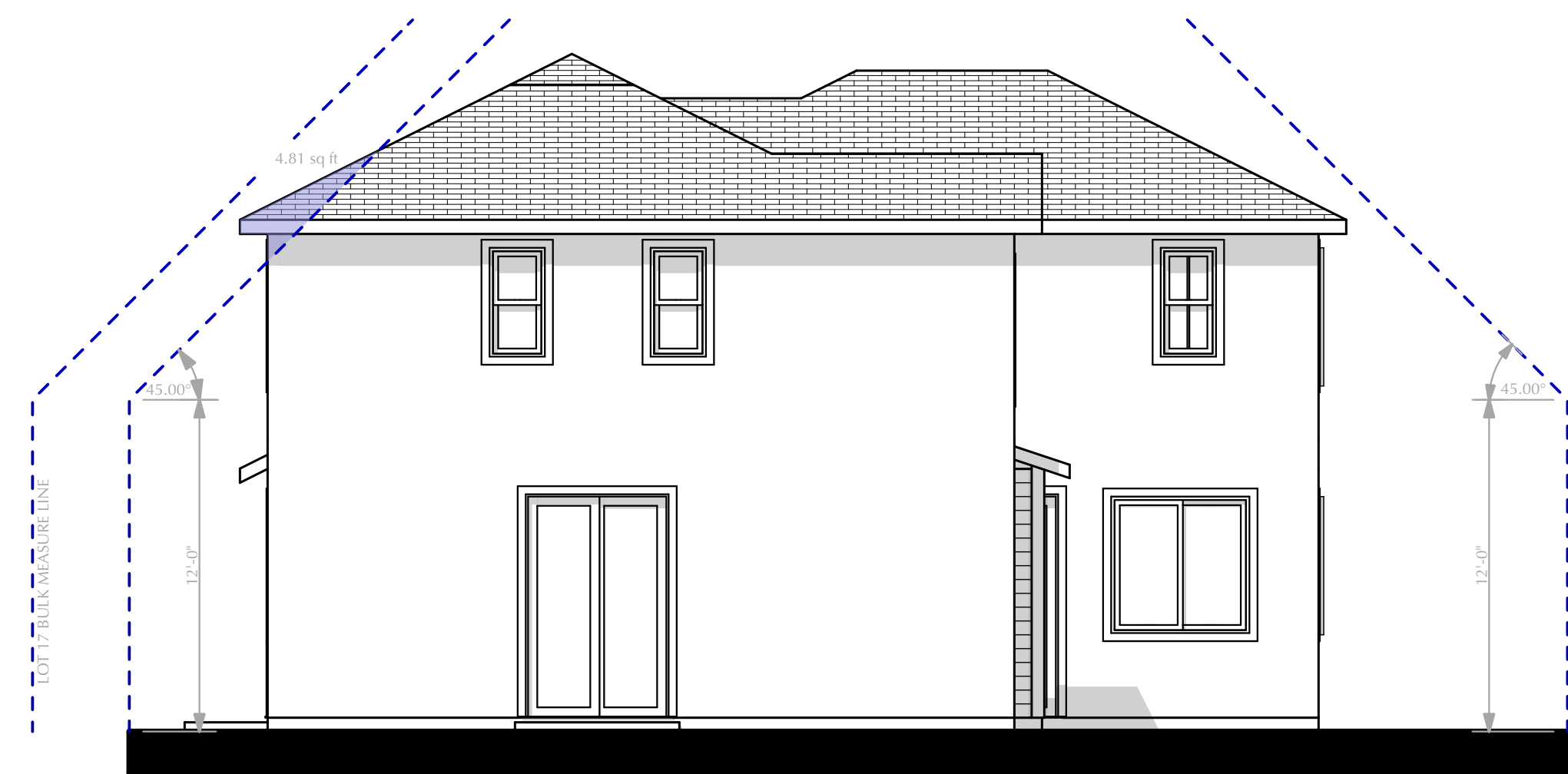


A2.1



LEFT ELEVATION 'B' - COURT SIDE

SCALE: 3/16" = 1'-0"



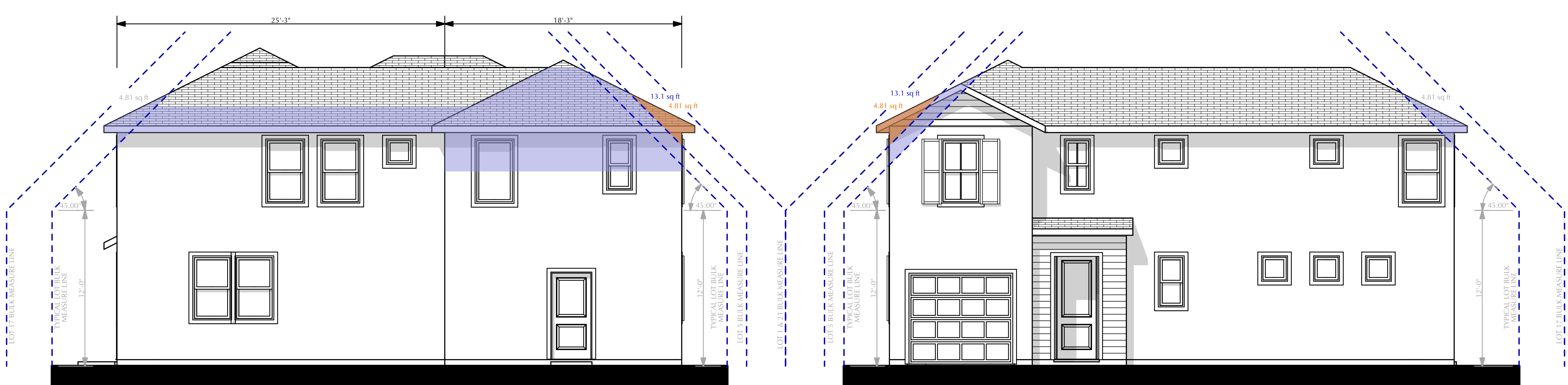
REAR ELEVATION 'B'

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION 'B'

SCALE: 3/16" = 1'-0"



ADU REAR ELEVATION 'B'

SCALE: 3/16" = 1'-0"

ADU FRONT ELEVATION 'B'

SCALE: 3/16" = 1'-0"

BULK CONTROL ENCROACHMENTS:

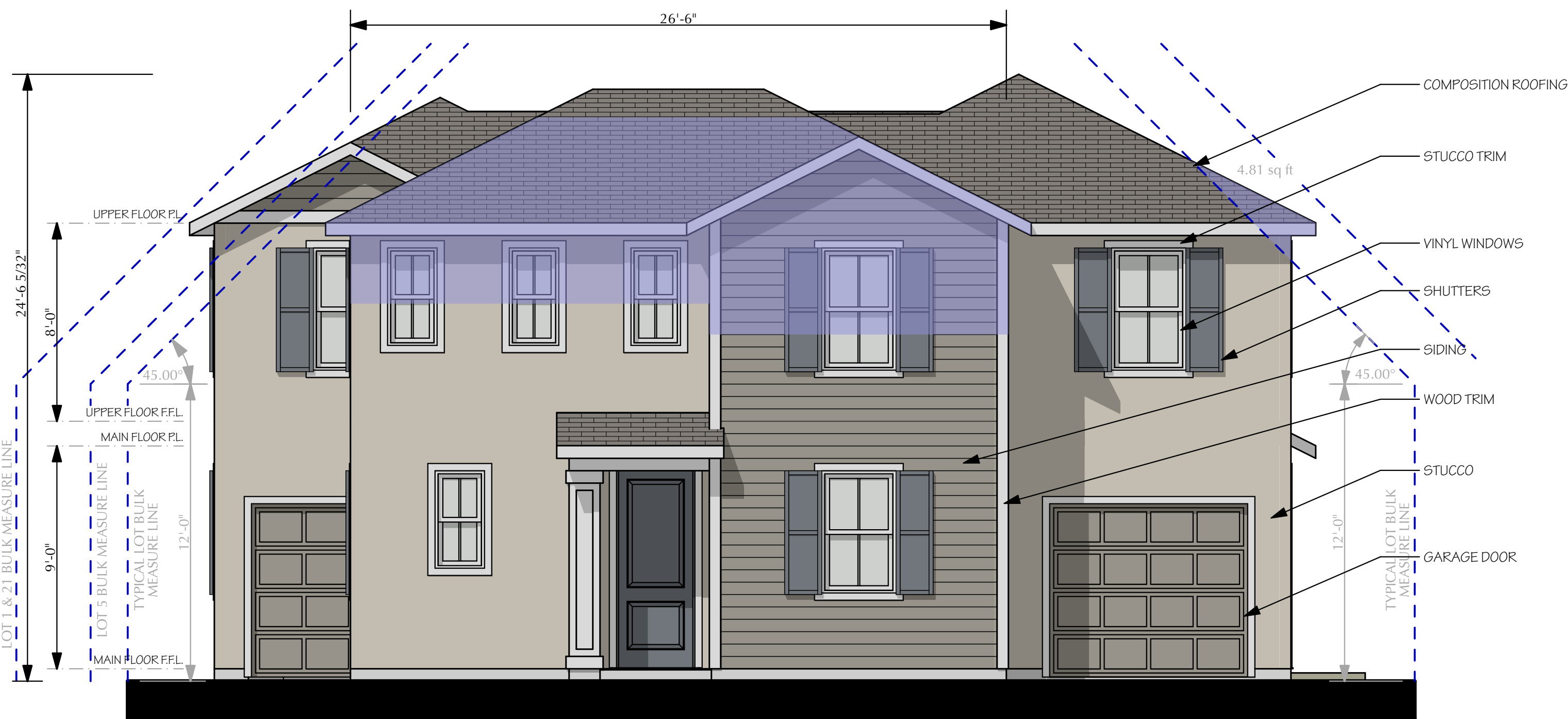
LOTS 8, 13 & 25	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	36.23	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	13.1
REAR PLANE	0	0	16.86

LOT 1	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	36.23	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	0

LOT 5	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	36.23	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	4.81
REAR PLANE	0	0	0

LOT 17	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	36.23	0	0
SIDE PLANE	0	0	0
COURT SIDE PLANE	0	0	13.1
REAR PLANE	0	0	16.86

LOT 21	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	36.23	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	16.86



FRONT ELEVATION 'B'

SCALE: 1/4" = 1'-0"



ELEVATION B

July 3, 2025



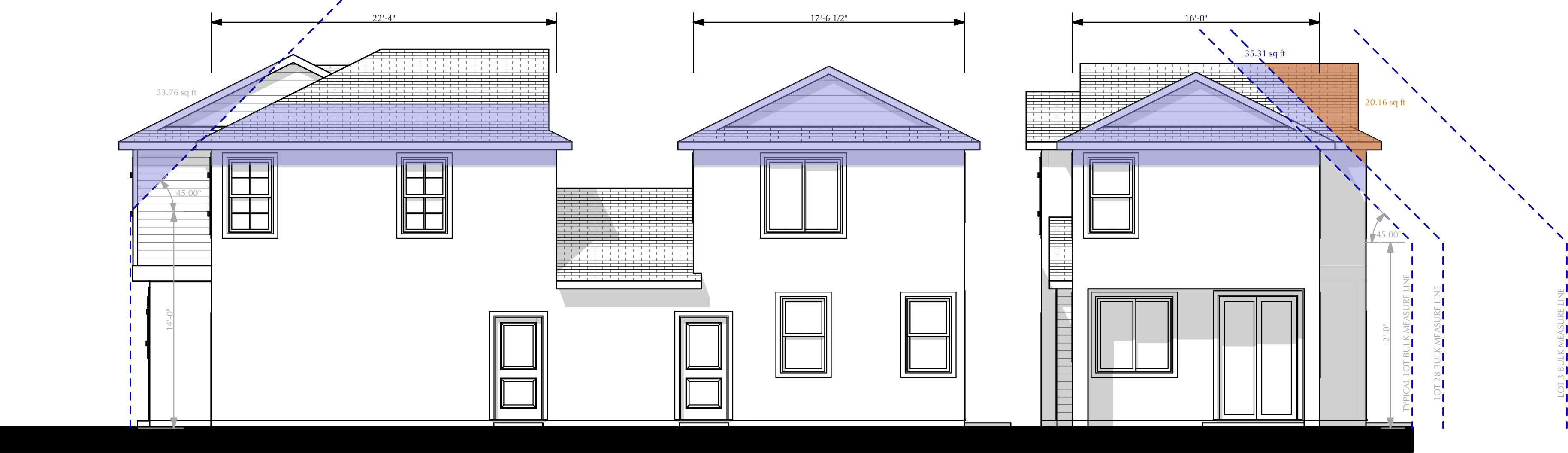
LEFT ELEVATION 'C' - COURT SIDE

SCALE: 3/16" = 1'-0"



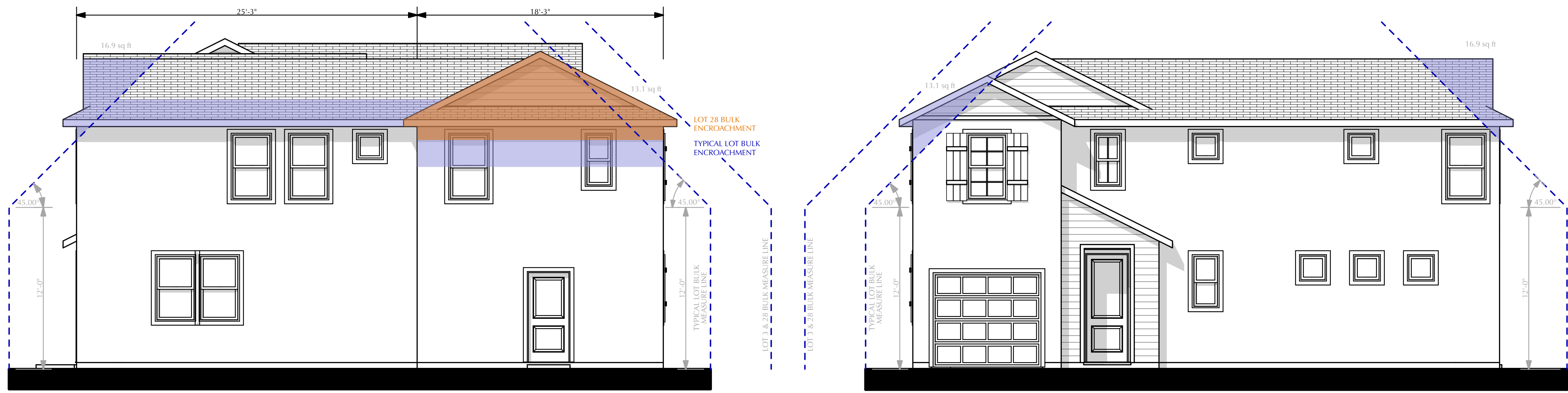
REAR ELEVATION 'C'

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION 'C'

SCALE: 3/16" = 1'-0"



ADU REAR ELEVATION 'C'

SCALE: 3/16" = 1'-0"

ADU FRONT ELEVATION 'C'

SCALE: 3/16" = 1'-0"

BULK CONTROL ENCROACHMENTS:

LOTS 11, 15, 19, 23 & 26	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	23.76	0	0
SIDE PLANE	4.81	19.1	16.9
COURT SIDE PLANE	3.52	0	15.1
REAR PLANE	0	0	35.31

LOT 3	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	23.76	0	0
SIDE PLANE	4.81	19.1	16.9
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	0

LOT 28	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	23.76	0	0
SIDE PLANE	4.81	19.1	16.9
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	20.16



FRONT ELEVATION 'C'

SCALE: 1/4" = 1'-0"



ELEVATION C

July 3, 2025



LEFT ELEVATION 'D' - COURT SIDE

SCALE: 3/16" = 1'-0"

BRICK AT ATTACHED AND DETACHED
ADU TO BE LOCATED AT EXPOSED
CORNER LOT CONDITIONS ONLY

BULK CONTROL ENCROACHMENTS:

LOTS 9, 12, 16 & 27	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	32.04	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	13.1
REAR PLANE	0	0	16.86

LOTS 4 & 22	MAIN RESIDENCE	ATTACHED ADU	DETACHED ADU
FRONT PLANE	32.04	0	0
SIDE PLANE	4.81	4.81	4.81
COURT SIDE PLANE	0	0	0
REAR PLANE	0	0	0

LOT 7	MAIN RESIDENCE	ATTACHED ADU
FRONT PLANE	32.04	0
SIDE PLANE	4.81	4.81
COURT SIDE PLANE	0	0
REAR PLANE	0	0



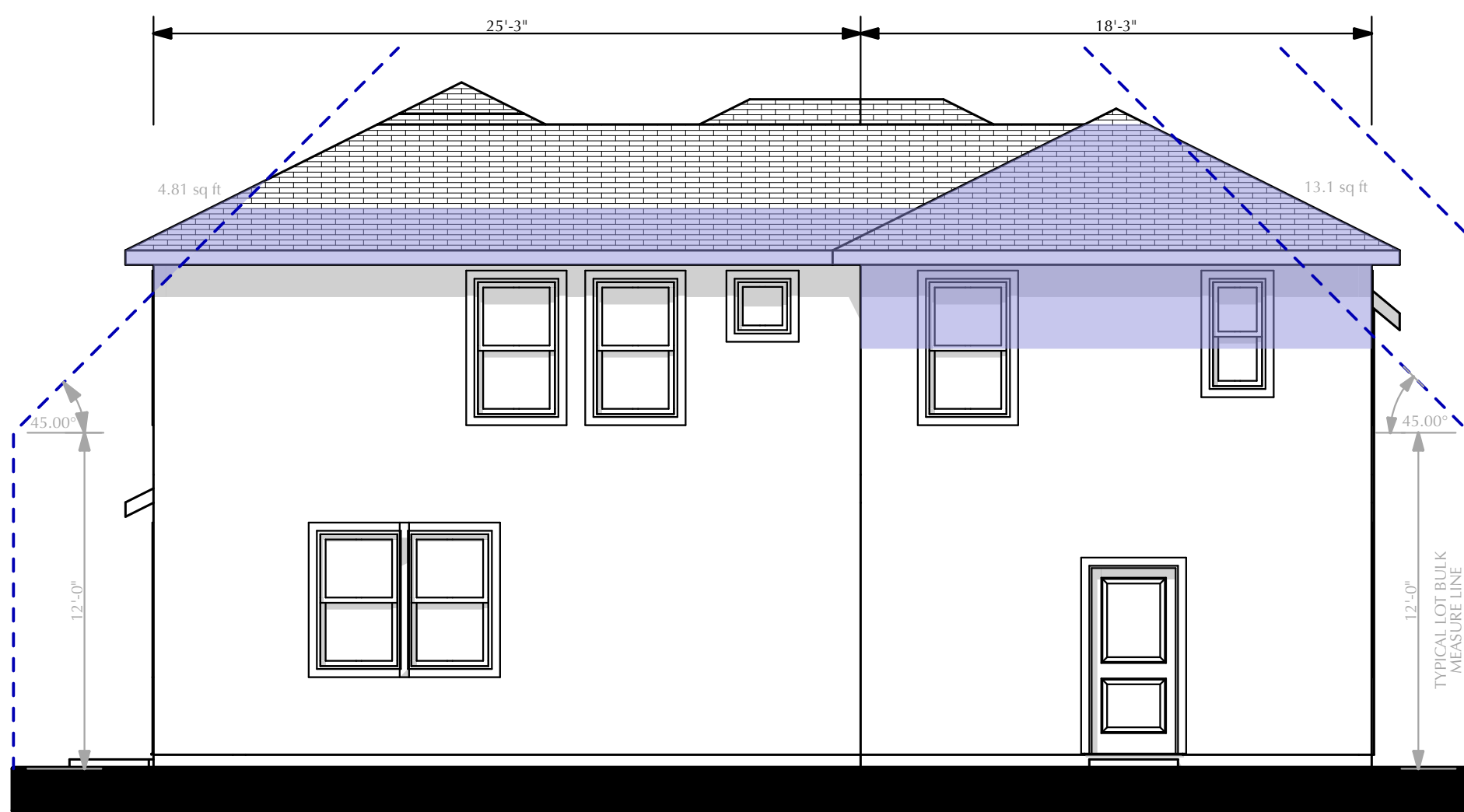
REAR ELEVATION 'D'

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION 'D'

SCALE: 3/16" = 1'-0"



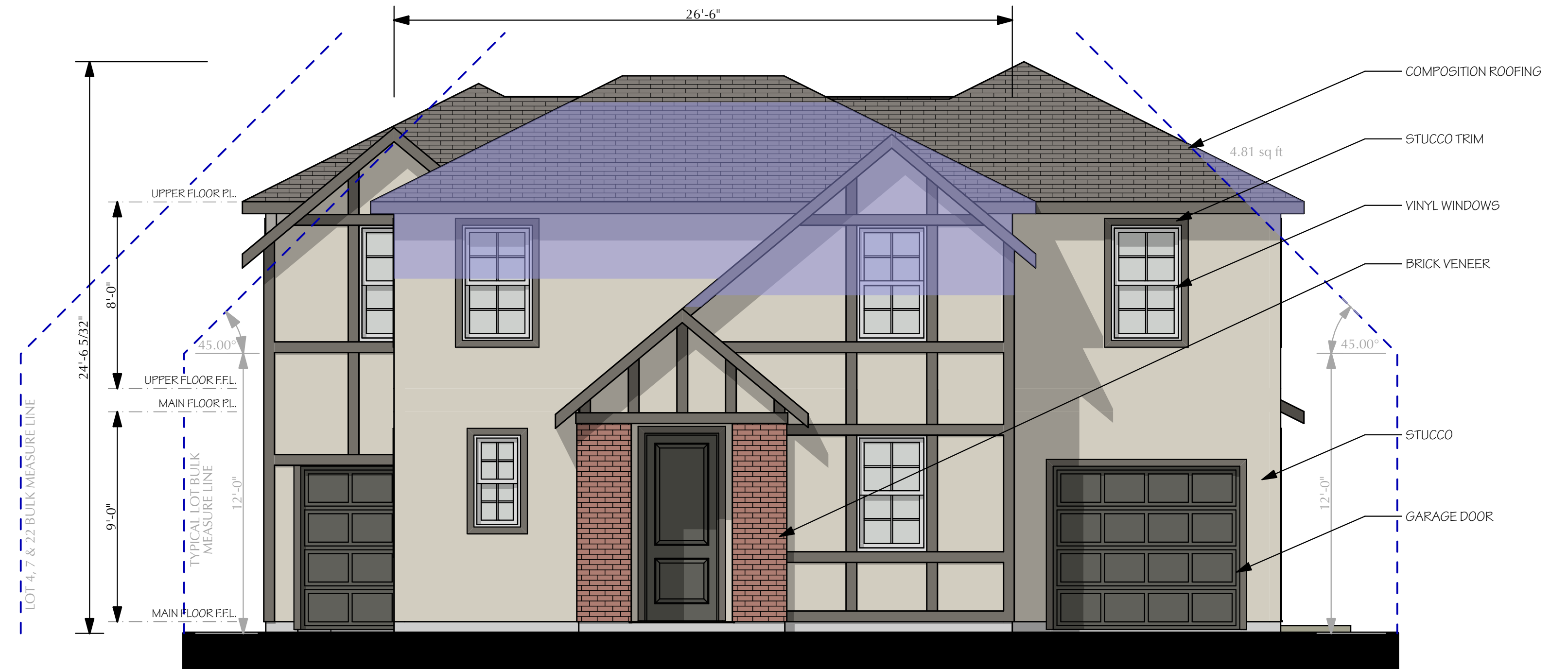
ADU REAR ELEVATION 'D'

SCALE: 3/16" = 1'-0"



ADU FRONT ELEVATION 'D'

SCALE: 3/16" = 1'-0"



FRONT ELEVATION 'D'

SCALE: 1/4" = 1'-0"



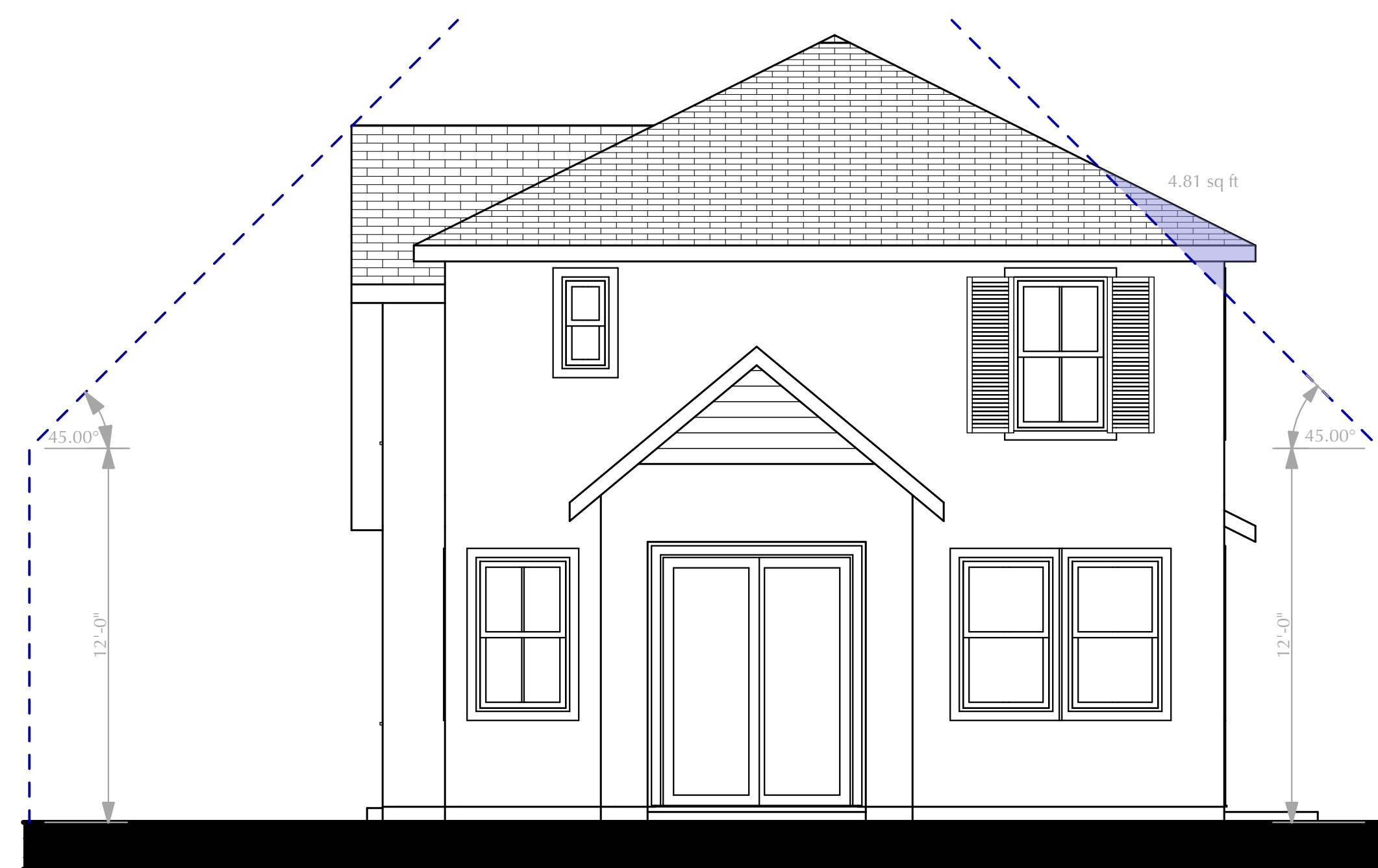
ELEVATION D

July 3, 2025



FRONT ELEVATION DUPLEX

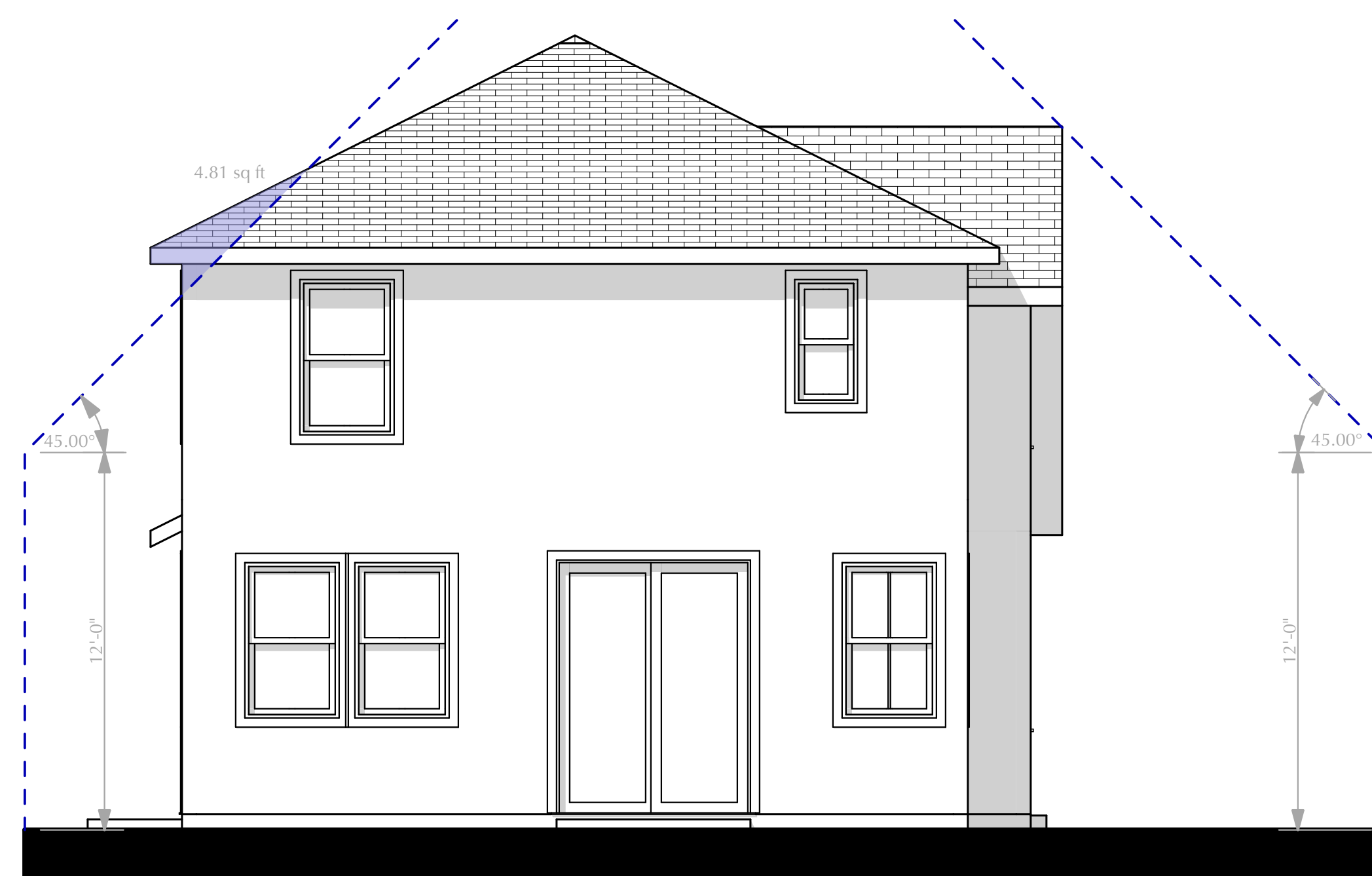
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION DUPLEX

SCALE: 1/4" = 1'-0"

BULK CONTROL ENCROACHMENTS:		
	MAIN RESIDENCE	ATTACHED ADU
FRONT PLANE	0	0
RIGHT SIDE PLANE	4.81	4.81
LEFT SIDE PLANE	0	0
REAR PLANE	0	0



LEFT ELEVATION DUPLEX

SCALE: 1/4" = 1'-0"



REAR ELEVATION DUPLEX

SCALE: 1/4" = 1'-0"

**ELEVATION
LOT 18 & 29**

July 3, 2025



A2.5

CREEKSIDE AT WOODLAKE

CITY OF SACRAMENTO, CALIFORNIA

Landscape Development Plans

PLANTING NOTES

- Installing Contractor shall verify quantities and areas to be planted prior to start of job. Notify Landscape Architect of any discrepancies prior to starting work.
- All planting areas shall be completely free of trash, debris, rocks, and construction materials larger than 2", and shall be brought to finish grade before planting begins. Finish grade shall be 2" below surface of walks, curbs, and paved areas in planting areas where bark is to be installed. Grades shall be flush at catch basins. Surfaces shall be sloped with regard to drainage requirements so that water does not puddle or stand.
- If additional soil is required, it shall be approved loam as similar to the existing soil as possible, free of debris and noxious weeds. Prior to placing additional soil, disc or scarify the sub-grade to a depth of at least 8" to permit bonding to the sub-grade. Spread and rototill a one inch layer of new soil, then proceed to place remaining soil and establish finish grade.
- Landscape contractor must conduct a soils test to determine amendment quantities. For bid purposes, assume the following soil preparation for all planting areas: Apply nitrified wood product amendment at a minimum rate of 6 cubic yards per 1000 sq. ft. and commercial fertilizer (16-16-16 NPK or equal) at a rate of 30 lbs. per 1000 sq.ft. for shrub and ground cover areas, 20 lbs. per 1000 sq.ft. for lawn areas. Rototill to a depth of 6" to 10". Compact and settle all areas by application of heavy irrigation to a minimum depth of 12".
- Concrete headers shall be installed between all lawn and shrub/ground cover areas. Install per plans and details provided.
- All plants shall be top quality nursery stock, free of disease and insect pests. Plants shall be normal size for container, vigorous, and true to name and variety. Plant holes shall be the same depth as the root ball, and three times the width for shrubs and four times the width for trees, see details.
- Backfill for the plant holes shall be existing soil which has been previously amended. Apply Osmocote Controlled Release Formula fertilizer (18-6-12, 4 month formula) per manufacturer's recommendations.
- When planted, crown of plant shall be 1-1/2" above finish grade. Prepare a water basin by forming a soil ring at least 3" high and as wide around the outer edge of the new plant hole. Water thoroughly to eliminate air pockets.
- Upon completion of planting all containerized material, rake all shrub and ground cover areas to smooth grade, leaving watering basins intact. Prior to placement of bark mulch, all shrub and ground cover areas shall be treated with a pre-emergent herbicide (Ronstar or equal) per manufacturer's directions. Contractor to verify with manufacturer that pre-emergent will not adversely affect plant health.
- Place a 3" layer of 'Walk-On' fir bark mulch, or approved equal, in all shrub and ground cover areas. Shredded redwood 'Gorilla Hair' is not acceptable.
- Ground cover plants shall be planted in straight rows and evenly triangularly spaced a intervals noted in plant legend. Plant each rooted plant with its proportionate amount of rooting soil in a manner that will insure minimum disturbance of the root system.
- For trees that require staking, use two 2" diameter treated lodgepole stakes set at minimum of 12" into undisturbed subgrade below the root ball. Place ties and stakes only to the level which will hold the tree upright; proper height is 6" above the point where the tree will snap to an upright position by itself if the top is pulled to one side as if wind loaded and then released. Ties shall be cinch-tie flexible vinyl (or equal) nailed to stake with galvanized nails, see details.
- Sod lawns: After soil preparation, carefully smooth all surfaces and roll to expose depressions and irregularities. Regrade as necessary. Lay first strip of sod slabs along a straight line. Butt joints tightly, do not overlap edges. For remaining strips, stagger joints much as laying bricks. Use a sharp knife to cut sod to fit curves, edges, sprinkler heads, etc. When a conveniently large area has been sodded, water lightly to prevent drying. After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Water thoroughly; soil should be moistened at least 8 inches deep. Repeat sprinkling at regular intervals to keep sod moist at all times until rooted. After sod is established, decrease frequency and increase amount of water per application as necessary.
- Contractor shall furnish all labor, material, equipment, and services required to maintain the landscape in an attractive condition as specified herein for a period of 90 days after final acceptance by Owner. Maintenance Period shall commence after all planting and related work has been completed in accordance with Plans and Notes. A prime requirement is that all lawn areas shall show an even, healthy stand of grass which shall have been mown at least twice. Any materials found to be dead, missing, or in poor condition during the Maintenance Period shall be replaced within 10 days of written notification by the Owner. Contractor shall not be held responsible for damage arising from acts of God, vandalism, theft, or negligence by Owner during the Maintenance Period.

IRRIGATION NOTES

- Installing Contractor shall verify all dimensions and areas prior to start of job. Intent is for full coverage of planting. Notify Landscape Architect of any discrepancies prior to trenching.
- Plan is diagrammatic and not intended to show exact locations of piping and valves. Install valves and piping in landscape areas wherever possible. Install valves near curbs and sidewalks whenever possible. Sprinkler head spacings are shown accurately and shall be installed as indicated by the center of the symbol. Contractor is responsible for pipe sizing the irrigation system correctly.
- All materials shall be new and in perfect condition. No deviations from the specifications will be allowed without prior written approval of Landscape Architect.
- Mainline shall be SCH 40 PVC or CL315 at a minimum depth of 18" below finish grade. Lateral lines shall be SCH 40 PVC at a minimum depth of 12" below grade. Use only the solvent supplied and recommended by the pipe manufacturer to make plastic pipe joints. Allow 15 minutes set-up curing time before moving or handling, and 24 hour curing time before water is placed in PVC pipe. Center load pipe with a small amount of backfill to prevent arching and whipping under pressure.
- Where more than one pipe is installed in a trench, place pipe side by side at a minimum of 2" apart. Where soil conditions are rocky, place a 4" layer of fine material on bottom of trench prior to installation of pipe.
- All valves shall be installed in Carson poly-plastic valve boxes with flush covers, or approved equal. Remote control valves shall be installed in Carson 1419 12" depth standard rectangular valve boxes; Drip zone remote control valves with filters and PRVs shall be installed in Carson 1220 12" depth jumbo rectangular valve boxes; Ball valves shall be installed in Carson 0011 10" diameter round valve boxes. Top of valve boxes shall be 1" above finish grade.
- Install pop-up shrub heads and lawn spray heads 2" from curbs and walks.
- Securely mount controller as directed by manufacturer. Complete all electrical connections to controller. All control wire shall be #14 U.L. direct burial. Taped and bundled every 20'. Place at a minimum depth of 18", installing in common trenches with mainline whenever possible. Where wire crosses paving, encase wire in a SCH 40 PVC sleeve. Run one extra wire, of a different color, to the last valve on each mainline leg, looping the wire through each valve box and label for future use.
- At valves, both wires shall be brought into valve box and shall have an excess loop of 24" before being spliced into the solenoid pigtails using Pentite connectors.
- After valves have been installed, test all mainlines for leaks at full line pressure for a period of 2 hours with couplings exposed and pipe sections center loaded. Before testing, fill line with water for at least 24 hours. Provisions shall be made for thoroughly bleeding the line of air and debris. Correct all defects and retest.
- All excavations shall be backfilled with fine material to 4" above crown of pipe and tamped; then fill with earth and tamp. All trenches shall be left flush with adjoining grade and in a firm unyielding condition. Any subsequent settling shall be corrected by the Contractor.
- Install systems without spray nozzles, drip emitters or rotor heads. Flush and operate each valve system at full pressure until all debris is removed. Install spray nozzles, drip emitters and rotor heads.
- Test to determine that all sprinklers function according to manufacturer's data and give full coverage according to intent of drawing. Replace and adjust as necessary. Additional heads shall be provided by the Contractor to cover areas shown to be deficient by test.
- Contractor shall set initial program for the controller. Contractor shall provide Owner with the instruction manual and demonstrate its operation to the Owner.
- Contractor shall guarantee all parts and labor for one year with exception of damage caused by vandalism, theft, adverse natural conditions, or anything beyond the control of the Contractor.

GENERAL NOTES

- Landscape areas not covered with live material shall be covered with a 3" 'Walk-On' fir bark mulch layer.
- Adjust location of plant material to avoid interference with building numbers and addresses at mature height.
- Provide a minimum three foot clearance around all fire protection equipment and associated landscape apparatus.
- All trees planted adjacent to fire lanes shall have their canopies maintained at 13'-6" or higher where they overhang into the required width of the fire lane.
- Landscaping shall be placed and pruned as to retain the required clearance for ladder access to windows around the building and to not interfere at maturity with 13'-6" emergency vehicle access clearance.
- Turf slopes cannot exceed 4:1.
- Maintain a minimum distance of 18" between edge of lawn and trunk of tree(s).
- Landscape contractor shall provide protection for all concrete surfaces when installing landscape materials. Staining of concrete from dirt, tire marks and damaged curbs will not be permitted. All damaged surfaces shall be cleaned or replaced.
- Landscape contractor shall coordinate and install the sleeving and stubbing for irrigation crossing parking lots and paved areas.
- Landscape contractor shall grade all landscape areas 2% min. to drain to the street. Landscape contractor is responsible to provide positive drainage away from all buildings. All planters and planter islands should be crowned to prevent standing water.
- Refer to arborist report for existing oak tree preservation notes and guidelines.
- Root barriers are required in all locations where trees are placed closer than 48" from curbs, sidewalks, concrete or asphalt refer to detail for specification and installation.
- Quantities found in the plant legend are for contractor convenience. In the event that the quantities in the legend differ from those found on the plans, the quantities found on the plans will take precedence.
- Contractor to hand dig only under existing tree canopies, no mechanical excavation will be allowed, do not cut any roots 2" or larger in diameter, if it is necessary to prune roots 2" in diameter or larger, contractor shall hire the services of a licensed arborist to supervise and direct the work, follow all recommendations of the arborist.

DRAWING INDEX

- L0.1 - COVER SHEET
- L1.1 - MASTER STREET TREE PLAN SOUTH
- L1.2 - MASTER STREET TREE PLAN NORTH
- L1.3 - TYPICAL PLANTING PLANS
- L1.4 - TYPICAL PLANTING PLANS
- L1.5 - PLANT SCHEDULE & NARRATIVE
- L2.1 - FENCE PLAN SOUTH
- L2.2 - FENCE PLAN NORTH
- L3.1 - TYPICAL IRRIGATION PLANS
- L4.1 - PLANTING DETAILS
- L4.2 - IRRIGATION DETAILS



1223 HIGH STREET
AUBURN, CALIFORNIA 95603
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www.yamasaki-la.com

LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale:

Date: 7/3/24

File Name: CW CV

No.	Date	Revision
	4/7/25	Cycle 2 PC Comments
	7/3/25	Cycle 3 PC Comments

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Seal



Sheet Title

COVER SHEET

Sheet No

L0.1

S:\Projects\Creekside at Woodlake\DWG\L1.1.dwg (L1.1.dwg) 2025.3.52 PM by Jeff Ambrosio



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	ARB MUL	Arbutus x 'Marina' / Marina Strawberry Tree Multi-Trunk
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle
	LAG TUS	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle
	OLE LIT	Olea europaea 'Little Ollie' / Little Ollie Olive
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree

SEE SHEET L 1.5 FOR FULL PLANT SCHEDULE



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LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=30'-0"

Date: 7/3/24

File Name: CW PL

No.	Date	Revision
1	4/7/25	Cycle 2 PC Comments
2	7/3/25	Cycle 3 PC Comments

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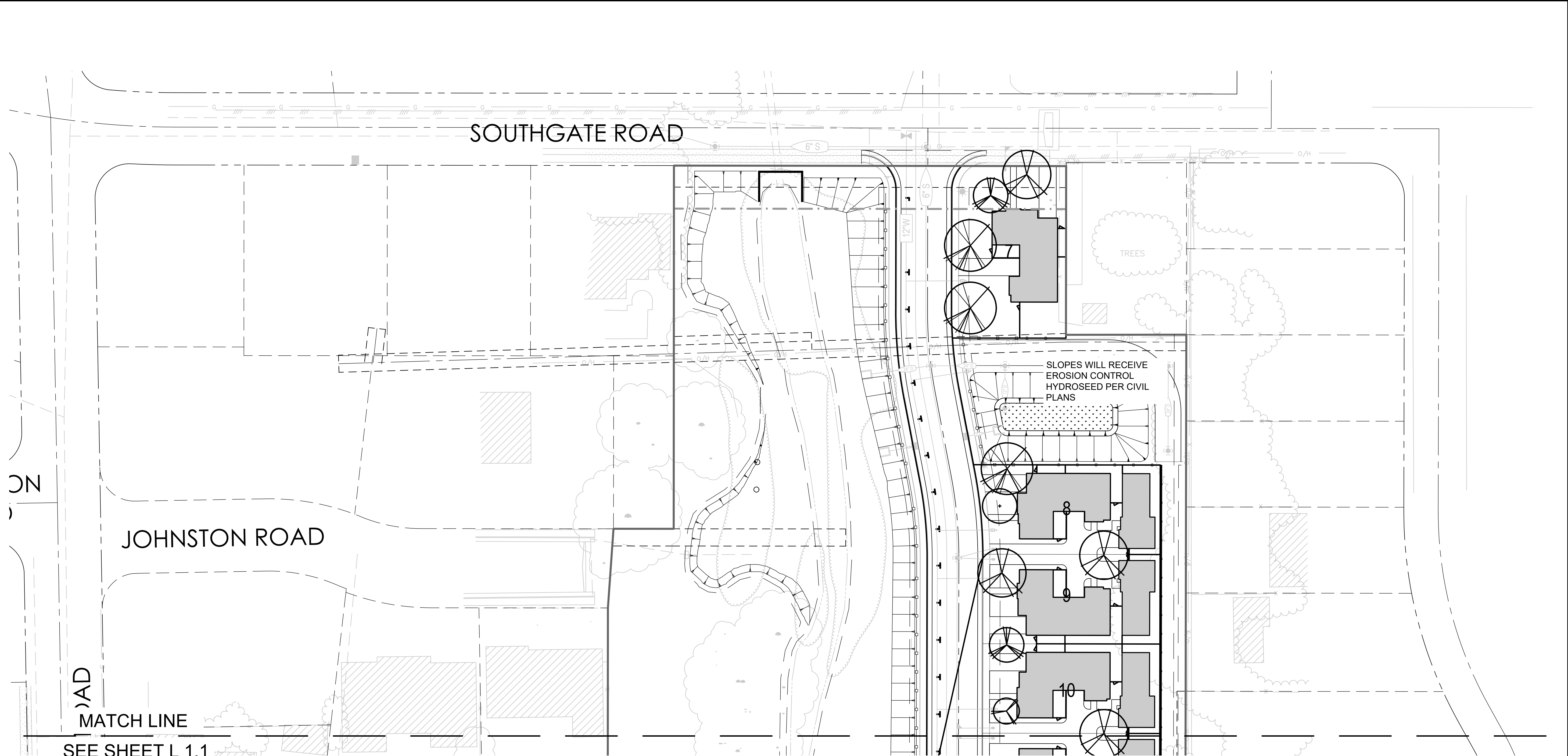
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MASTER STREET TREE PLAN SOUTH

Sheet No

L1.1

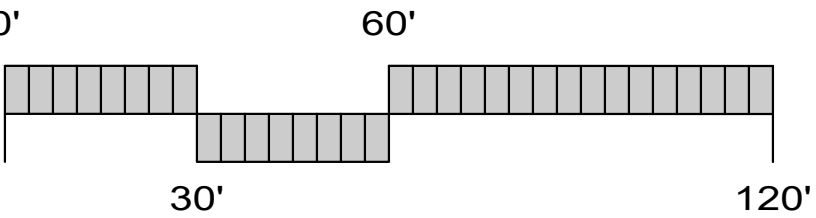
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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	ARB MUL	Arbutus x 'Marina' / Marina Strawberry Tree Multi-Trunk
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle
	LAG TUS	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle
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SEE SHEET L 1.5 FOR FULL PLANT SCHEDULE



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LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE
AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=30'-0"

Date: 7/3/24

File Name: CW PL

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1	4/7/25	Cycle 2 PC Comments
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Sheet Title

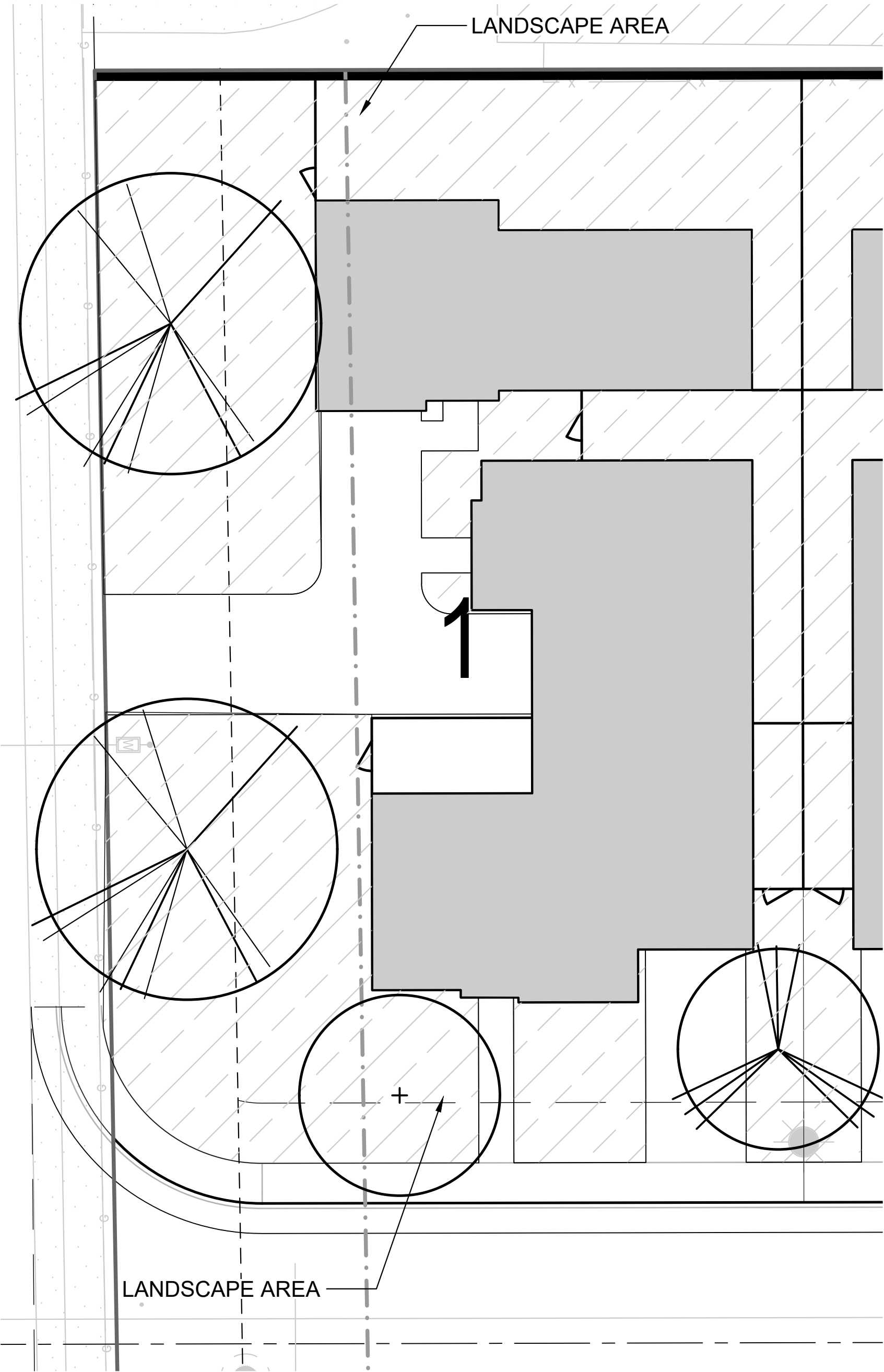
MASTER STREET
TREE PLAN NORTH

Sheet No

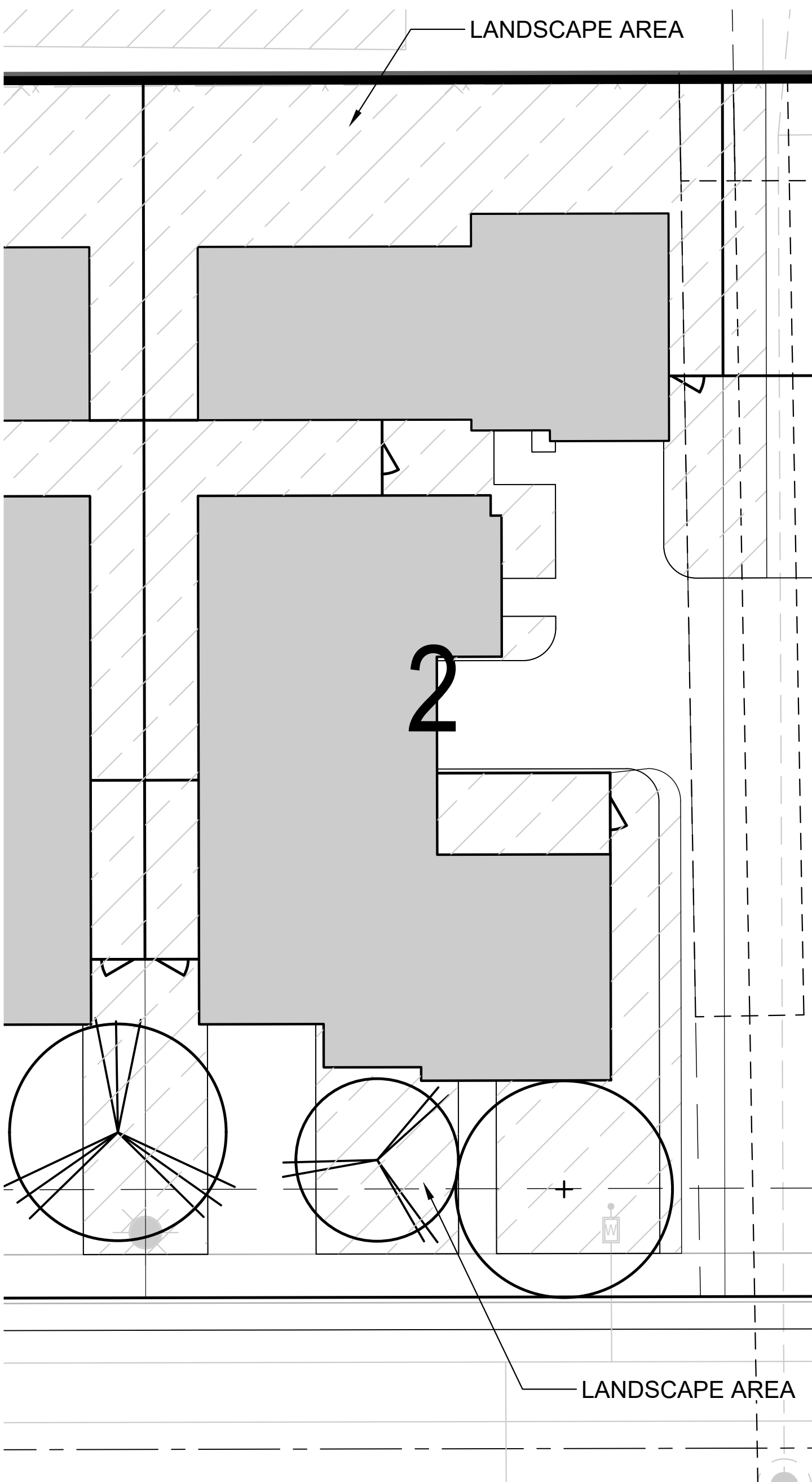
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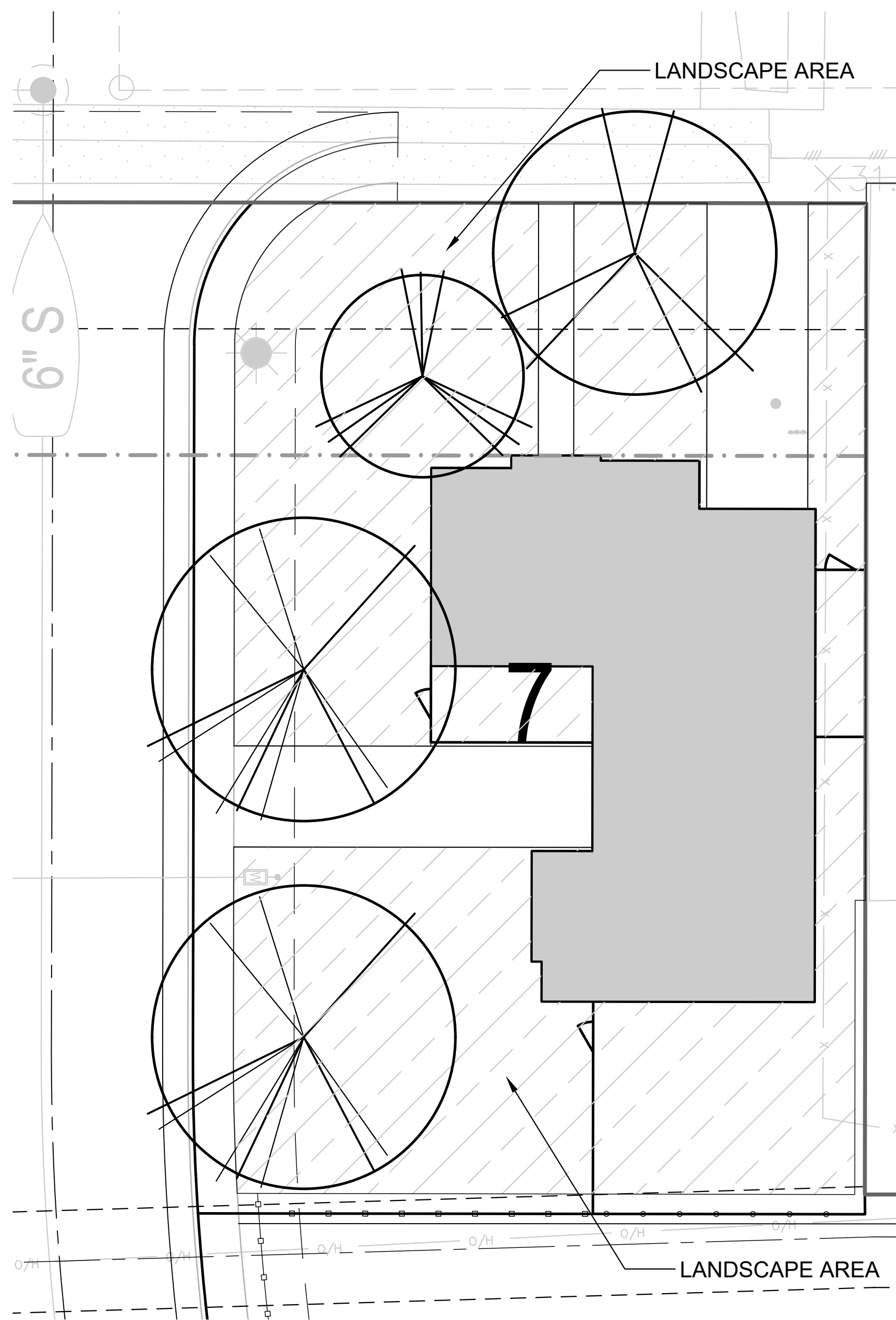
TYPICAL CORNER LOT LANDSCAPE PLAN



TYPICAL INTERIOR LOT LANDSCAPE PLAN



LOT 7 LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	ARB MUL	Arbutus x 'Marina' / Marina Strawberry Tree Multi-Trunk
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle
	LAG TUS	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle
	OLE LIT	Olea europaea 'Little Ollie' / Little Ollie Olive
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree

SEE SHEET L 1.5 FOR FULL PLANT SCHEDULE



LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE
AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=10'-0"

Date: 7/3/24

File Name: CW PL

No.	Date	Revision
1	4/7/25	Cycle 2 PC Comments
2	7/3/25	Cycle 3 PC Comments

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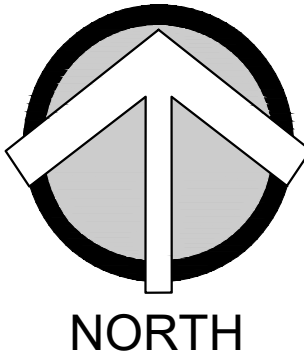
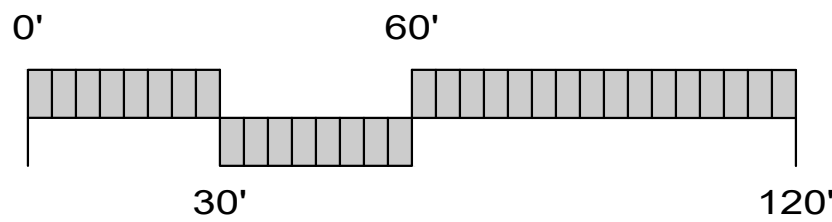
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TYPICAL
PLANTING PLANS

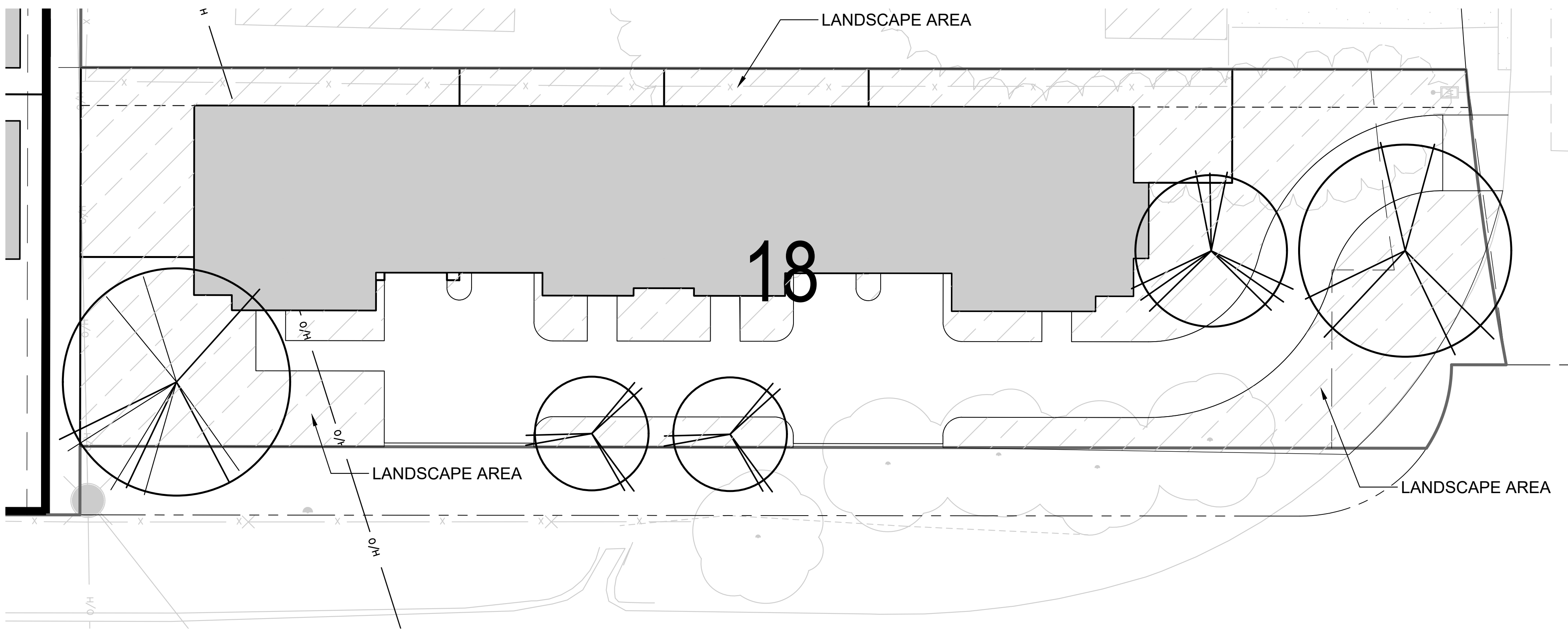
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LOT 18 LANDSCAPE PLAN

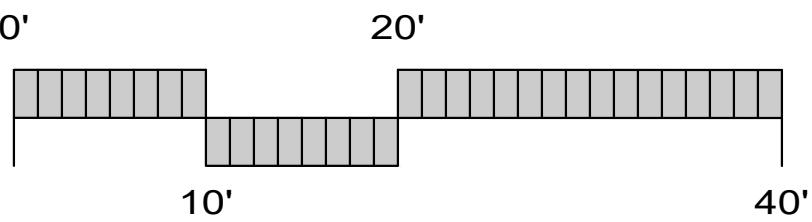
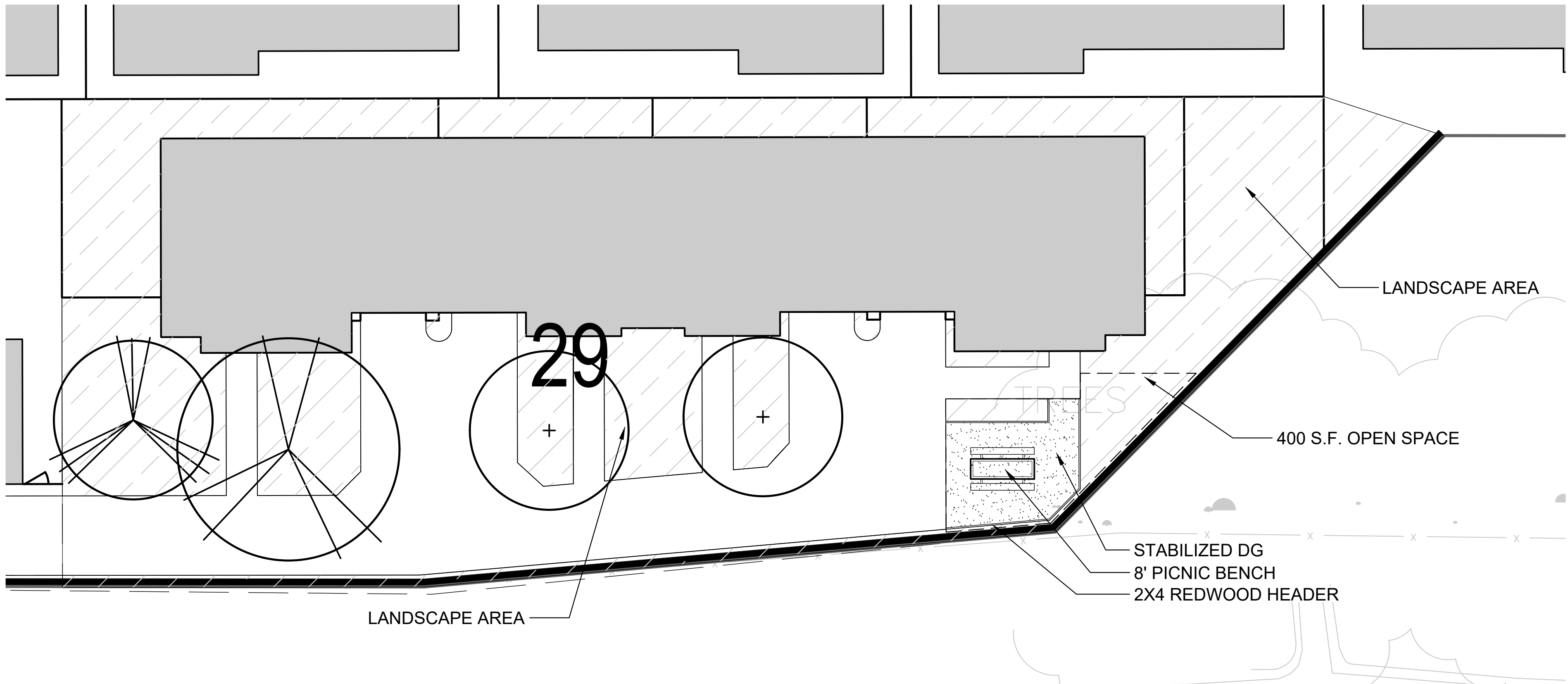


PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
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	ARB MUL	Arbutus x 'Marina' / Marina Strawberry Tree Multi-Trunk
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle
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	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree

SEE SHEET L 1.5 FOR FULL PLANT SCHEDULE

LOT 29 LANDSCAPE PLAN



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LANDSCAPE DEVELOPMENT PLANS

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AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=10'-0"

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2	7/3/25	Cycle 3 PC Comments

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Sheet Title

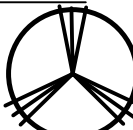
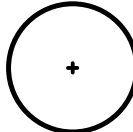
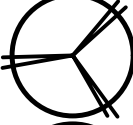
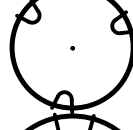
TYPICAL
PLANTING PLANS

Sheet No

L1.4

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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	H X W	WATER USE
TREES					
	ARB MUL	Arbutus x 'Marina' / Marina Strawberry Tree Multi-Trunk	15 gal	25' x25'	LOW
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	15 gal	20' X20'	LOW
	LAG TUS	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle	15 gal	15' x15'	LOW
	OLE LIT	Olea europaea 'Little Ollie' / Little Ollie Olive	15 gal	6' x6'	LOW
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	15 gal	35' X30'	LOW
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	40' x30'	MED
CODE	BOTANICAL / COMMON NAME	SIZE	H X W	WATER USE	
SHRUBS					
BER CHE	Berberis thunbergii 'Monomb' / Cherry Bomb Japanese Barberry	1 gal	4' x4'	LOW	
CAL DWA	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	1 gal	4' x5'	LOW	
CIS PRO	Cistus salviifolius 'Prostratus' / Sageleaf Rockrose	1 gal	2' x6'	LOW	
DIE IRI	Dietes iridioides / Fortnight Lily	1 gal	3' x3'	LOW	
LAV CRE	Lavandula dentata 'Goodwin Creek Gray' / Goodwin Creek Gray Lavender	1 gal	3' x3'	LOW	
LIR SUN	Liriope muscari 'Silvery Sunproof' / Silvery Sunproof Lilyturf	1 gal	2' x2'	LOW	
MAH SCR	Mahonia eurybracteata 'Soft Caress' / Soft Caress Mahonia	1 gal	3' x4'	LOW	
NAN COM	Nandina domestica 'Compacta' / Dwarf Heavenly Bamboo	1 gal	4' x3'	LOW	
NAN GUL	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	1 gal	2' x2'	LOW	
PRU BRI	Prunus caroliniana 'Bright 'N Tight' TM / Bright 'N Tight Carolina Laurel	5 gal	8' x6'	LOW	
RHA MOU	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal	6' x6'	LOW	
SAL SAL	Salvia greggii 'Furmans Red' / Furman's Red Salvia	1 gal	4' x3'	LOW	
VIB DAV	Viburnum davidii / David Viburnum	1 gal	3' x4'	LOW	
VIB SPR	Viburnum tinus 'Spring Bouquet' / Spring Bouquet Laurestinus	1 gal	6' X5'	LOW	
GRASSES					
MUH PIK	Muhlenbergia capillaris 'Pink Cloud' / Pink Cloud Pink Muhly Grass	1 gal	3' x3'	LOW	
CODE	BOTANICAL / COMMON NAME	SIZE	H X W	WATER USE	SPACING
GROUND COVERS					
ARC EME	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	1 gal	1' x4'	MED	36" o.c.
ROS DWA	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 gal	3' x6'	LOW	48" o.c.
DECOMPOSED GRANITE					
STA DG	Stabilized Decomposed Granite / Stabilizer Solutions	3" Deep			

PLANTING NARRATIVE

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

Shrubs and groundcover are minimum #1 size. Trees are minimum #15 size. Plant materials shall be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.



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LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE
AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale:

Date: 7/3/24

File Name: CW PL

No.	Date	Revision
	4/7/25	Cycle 2 PC Comments
	7/3/25	Cycle 3 PC Comments

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Seal



Sheet Title

PLANT SCHEDULE
& NARRATIVE

Sheet No

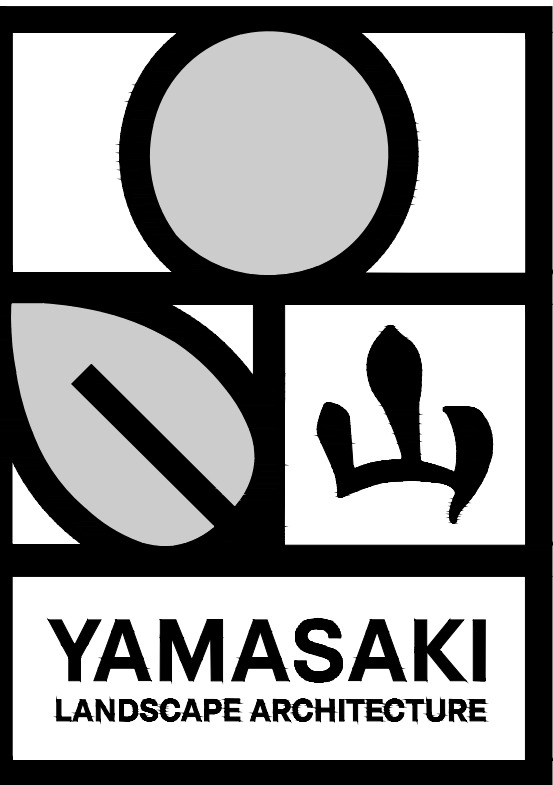
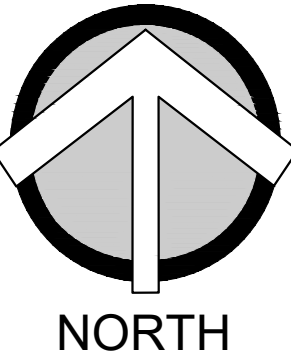
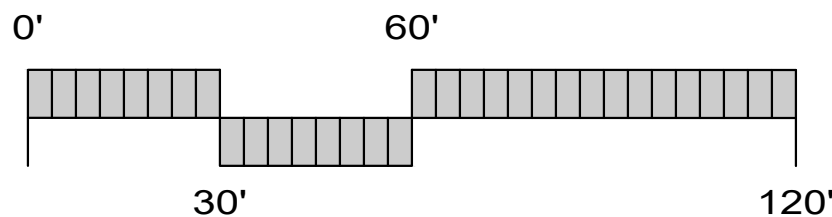
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FENCING LEGEND

DETAIL SHEET L2.2		
	A 6' GOOD NEIGHBOR FENCE	A
	B 6' WOOD ENHANCED FENCE	B
	C 6' GOOD NEIGHBOR FENCE ON WALL	SEE CIVIL PLANS
	D RETAINING WALL W/ 42" TUBE STEEL FENCE	SEE CIVIL PLANS
	E CMU SOUND WALL	SEE CIVIL PLANS SEE & SOUND REPORT



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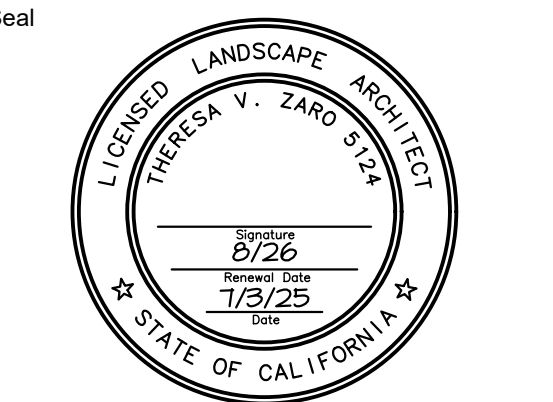
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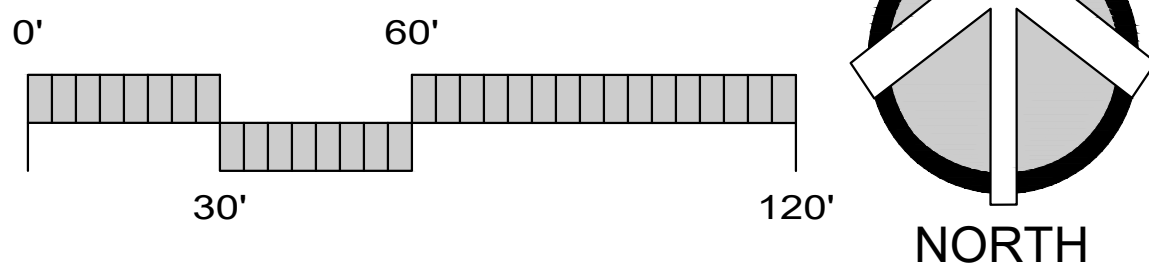
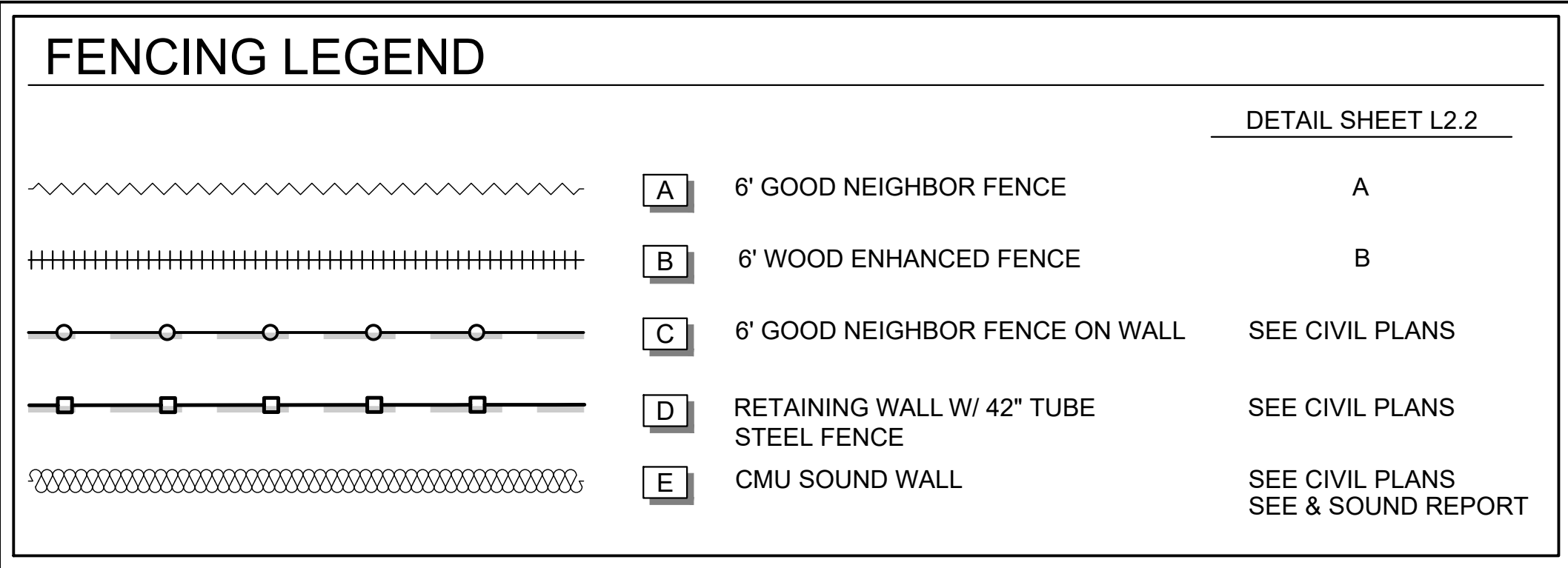
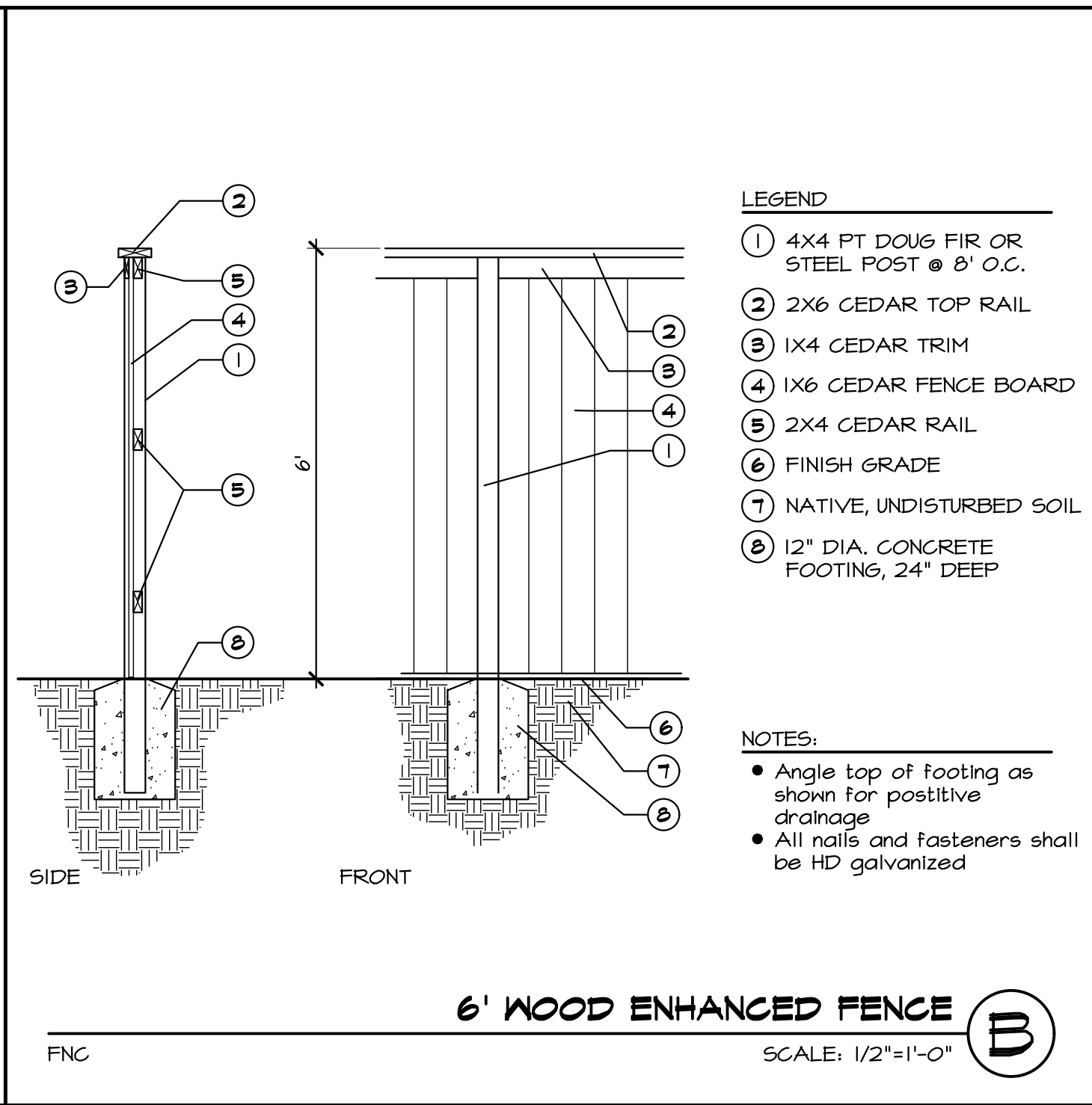
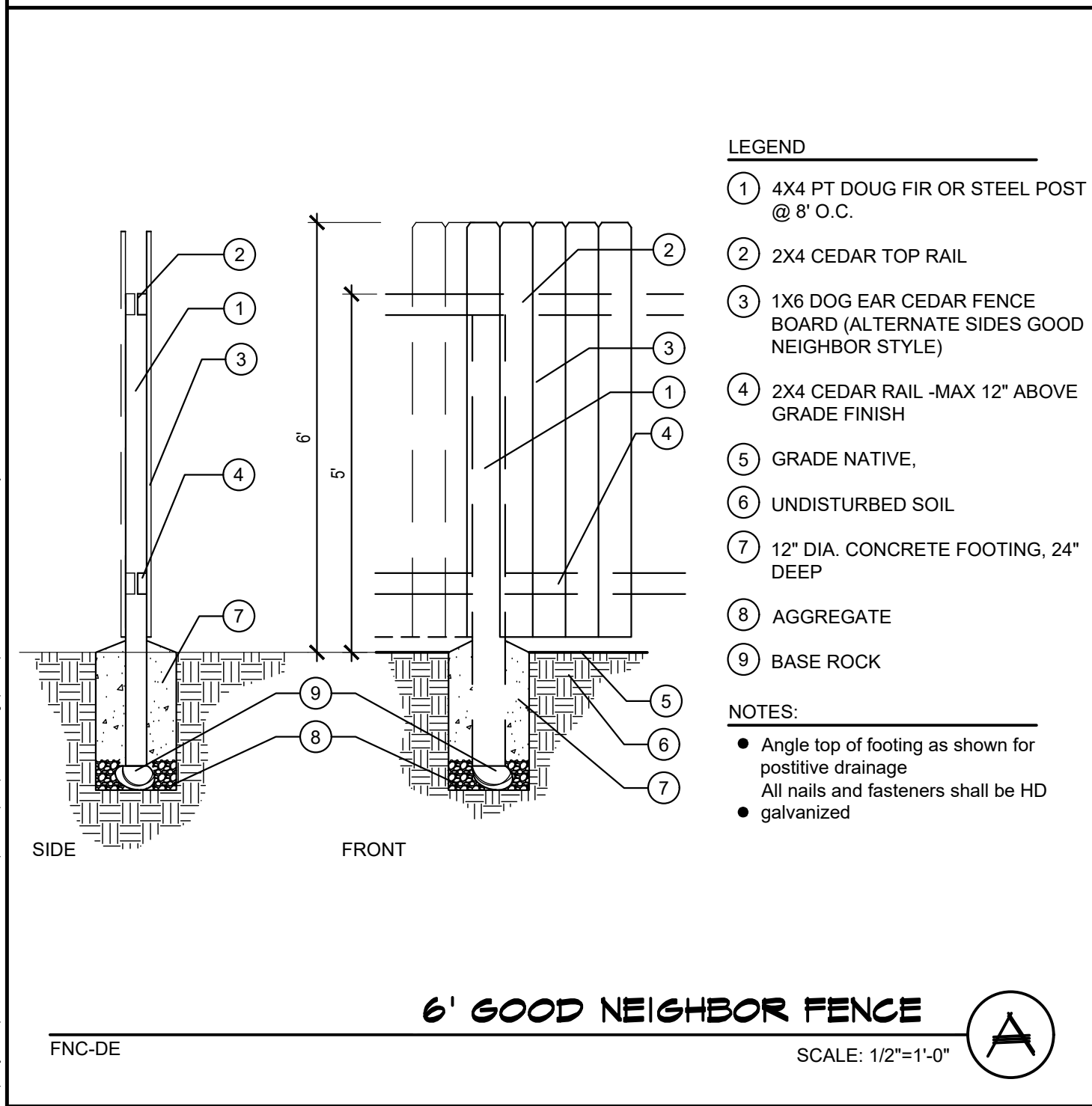
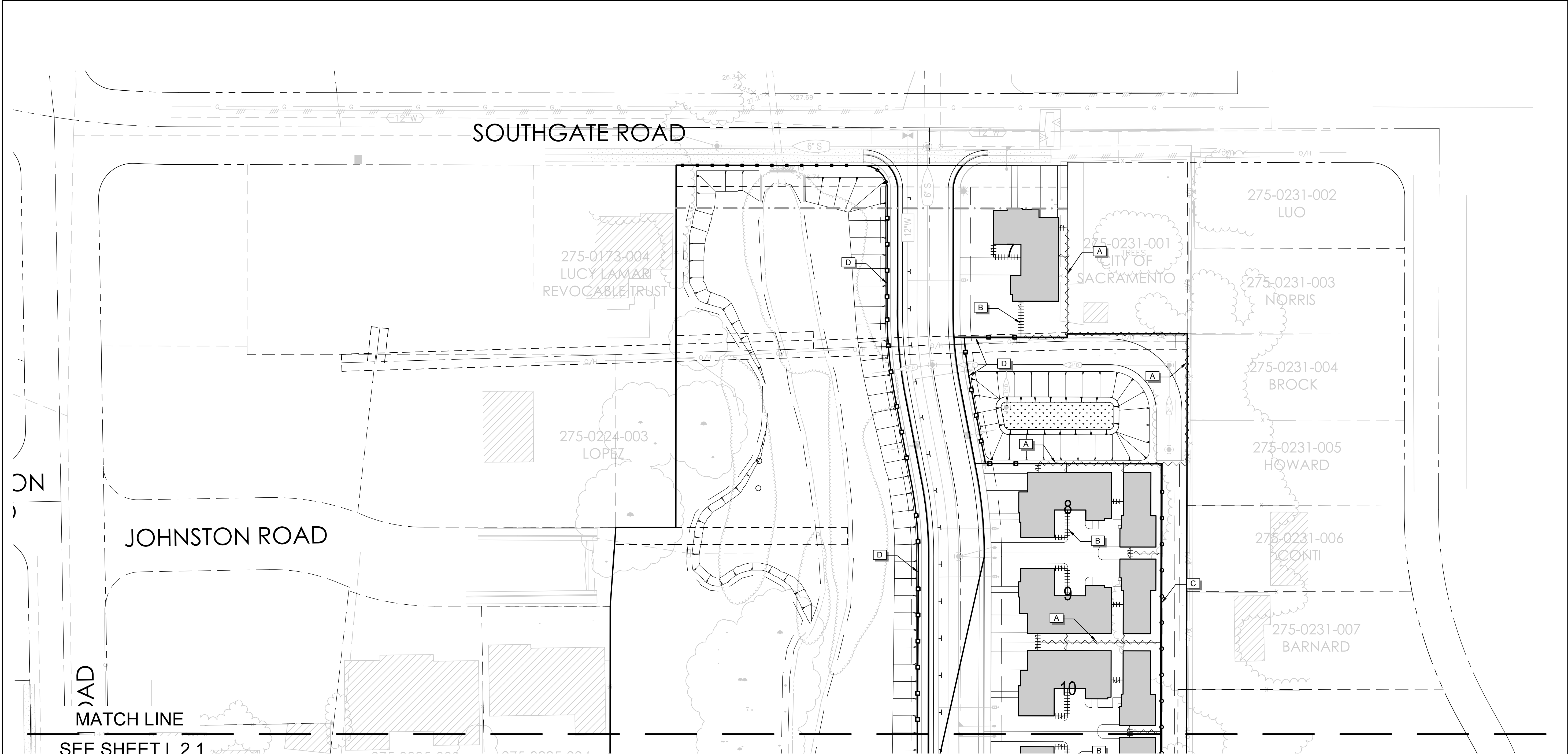
Sheet Title

FENCING PLAN
SOUTH

Sheet No

L2.1

of sheets



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LANDSCAPE DEVELOPMENT PLANS

**CREEKSIDE
AT WOODLAKE**

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=30'-0"

Date: 7/3/24

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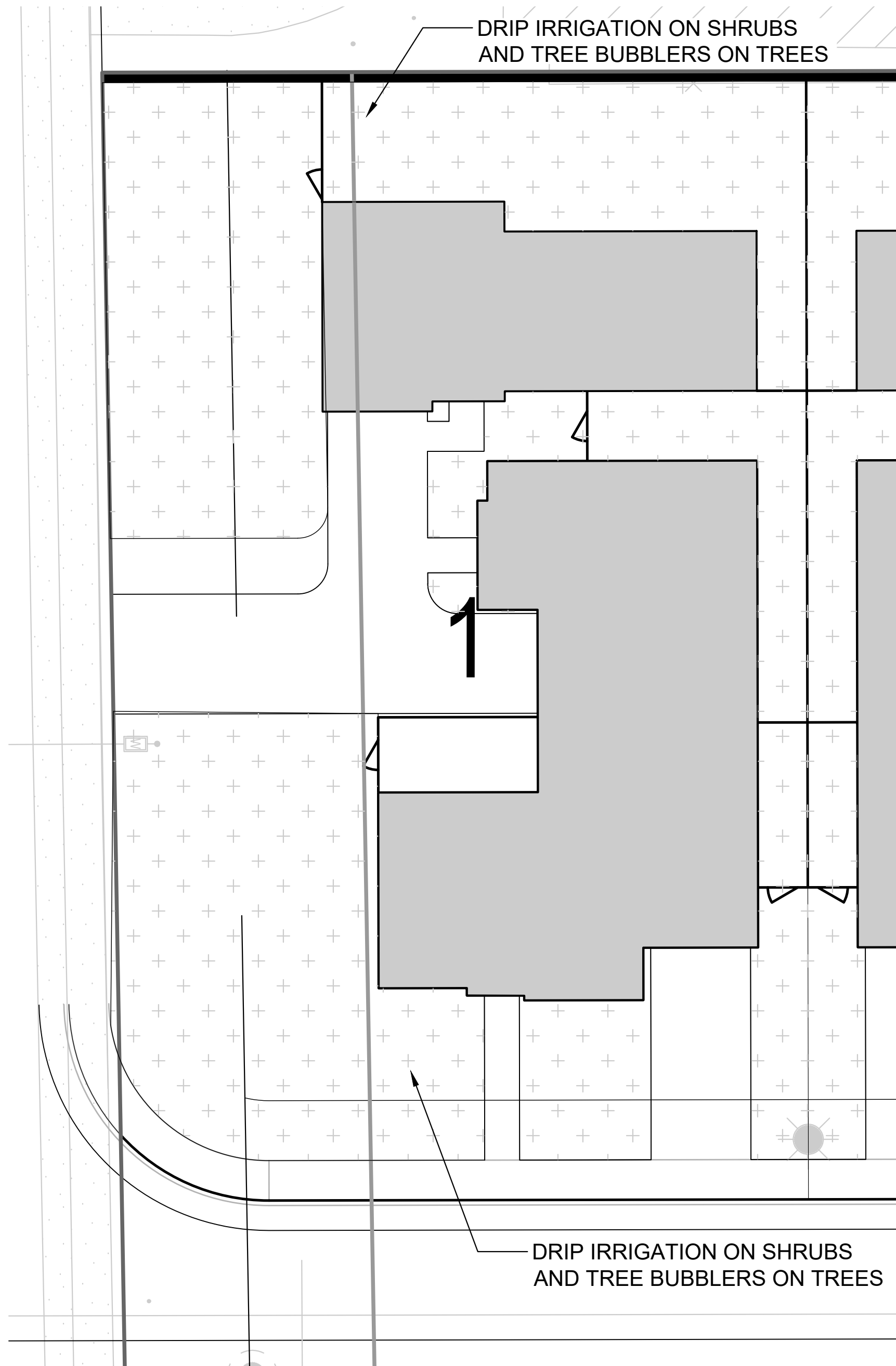
Sheet Title

**FENCING PLAN
NORTH**

Sheet No

L2.2

of sheets



IRRIGATION NARRATIVE

The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume inline drip irrigation. Proposed trees shall utilize bubbler irrigation to encourage deep root watering. The overall irrigation system will be designed with a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

PIPE SIZING SCHEDULE

PVC TYPE	SCH 40	CLASS 315	CLASS 200
PIPE SIZE	MAX. GPM	MAX. GPM	MAX. GPM
3/4"	8	-	-
1"	13	-	-
1-1/4"	22	-	-
1-1/2"	30	-	-
2"	50	-	-
2-1/2"	-	73	-
3"	-	109	-
4"	-	-	200
6"	-	-	425

- ALL MAINLINE PIPE SHALL BE MINIMUM 1".
- ALL LATERAL LINE PIPE SHALL BE MINIMUM 3/4".
- ALL PIPE 2" AND SMALLER SHALL BE SCH 40 PVC.
- ALL PIPE 2-1/2" TO 3" SHALL BE GASKETED CLASS 315 PVC WITH MECHANICAL JOINT RESTRAINTS.
- ALL PIPE 4" AND GREATER SHALL BE GASKETED CLASS 200 PVC WITH MECHANICAL JOINT RESTRAINTS AND DUCTILE IRON FITTINGS.

SLEEVING SCHEDULE

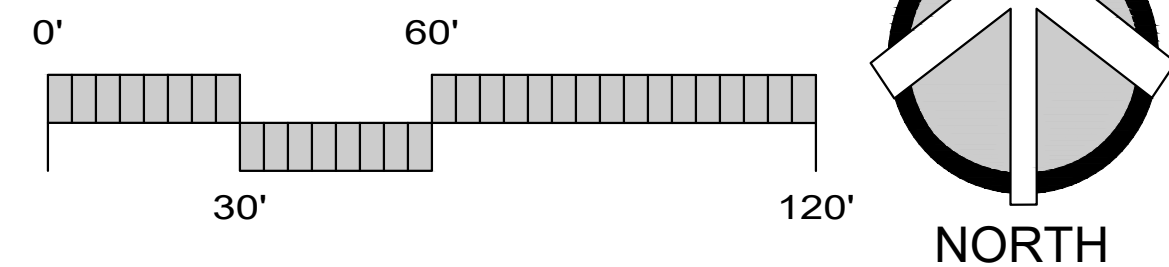
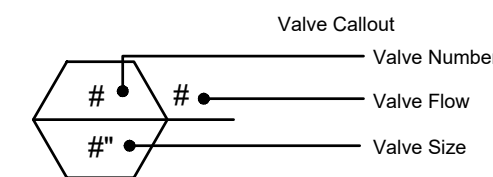
PIPE SIZE OR # OF WIRES	REQUIRED SLEEVE SIZE
3/4", 1"	1-2" SLEEVE
1-1/4", 1-1/2", 2", 2-1/2"	1-4" SLEEVE
3", 4"	1-6" SLEEVE
6"	1-12" SLEEVE
1-25 CONTROL WIRES	1-2" SLEEVE
26-50 CONTROL WIRES	2-2" SLEEVES

- ALL SLEEVES SHALL BE SCH 40 PVC.
- ALL PIPE AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVED AREAS, SIZE AS INDICATED ABOVE.
- SLEEVES SHALL EXTEND AT LEAST 12" BEYOND THE EDGE OF THE PAVEMENT.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ACZ-075-25 Drip control kit featuring a 3/4" PGV-ASV valve, with 3/4" HY075 filter system, and 25psi pressure regulated. Flow range: 0.5 GPM to 15 GPM. With 150 mesh stainless steel screen.
	Netafim TLSOV Netafim TLSOV- 1/2" manual flush valve, barbed insert. Install in 10" box, with adequate blank or "cobra" tubing to extend valve out of valve box. 17mm fits Techline HCVXR, HCVXR-RW/RWP, CV, DL, RW and RWP driplines, and PE irrigation hose
	Hunter PLD-AVR PLD-AVR allows for air to escape a RESIDENTIAL drip irrigation system to prevent blockage and water hammering. 1/2" MPT connection with 80 PSI maximum rating.
	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.
	Area to Receive Drip Emitters Hunter HE-B Point Source Drip Emitter with Self Piercing Barb. Color coded emitters for flow rates of 0.5, 1.0, 2.0, 4.0, and 6.0 GPH. Can be inserted into 1/2" and 3/4" tubing and have pressure compensating from 15-50 PSI. Optional diffuser cap (HE) available.
	Emitter Notes: 10HE-B emitters (3 assigned to each 15 gal plant)
	10HE-B emitters (2 assigned to each 1 gal plant)
	10HE-B emitters (2 assigned to each 5 gal plant)

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Nibco T-113 3/4", 1", 1-1/4", 1-1/2", 2" and 3" Bronze Shut Off Valves with Cross Handle. L3.1 "B".
	Rain Bird TM2-4-120V 4 station 120v model, Suitable for indoor or outdoor installations Factory-installed outdoor-rated power cord. With LNK WIFI: Link Wifi Module for remote control and notifications via iOS or Andriod device.
	Hunter RFC Rain and freeze sensor, with conduit installation, mount as noted. Normally closed switch.
	Cap for future use Cap at the mainline or lateral line for future use. The pressure and flow provided to that location are indicated next to the cap symbol.
	Point of Connection 1" See Civil plans for information.
—————	Irrigation Lateral Line: PVC Schedule 40
—————	Irrigation Mainline: PVC Schedule 40
=====	Pipe Sleeve: PVC Schedule 40



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LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE
AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=10'-0"

Date: 7/3/24

File Name: CW IR

No.	Date	Revision
	4/7/25	Cycle 2 PC Comments
	7/3/25	Cycle 3 PC Comments

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Sheet Title

TYPICAL
IRRIGATION PLAN

Sheet No

L3.1

S:\Projects\Creekside at Woodlake\DWG\DTPL\DW DTPL.dwg (4.1.17 Jun 2025 3:52 PM by Jeff Amadoris

LEGEND

1 TREE STAKE

2 TREE TIE

3 ROOTBALL

4 SOIL RING

5 AMENDED BACKFILL

NOTES:

- WIDTH OF HOLE SHALL BE 3 TIMES THE WIDTH OF THE ROOTBALL
- DEPTH OF THE HOLE SHALL BE HEIGHT OF THE ROOTBALL WITH 1 1/2" OF TOP OF ROOTBALL HIGHER THAN SURROUNDING FINISH GRADE
- CUT TREE STAKES WITHIN 2" OF TIES
- WATER BACKFILL HEAVILY TO REDUCE AIR POCKETS
- REMOVE NURSERY STAKE PRIOR TO THE END OF THE MAINTENANCE PERIOD
- MAINTAIN A MINIMUM DISTANCE OF 18" BETWEEN EDGE OF LAWN AND TRUNK OF TREE(S)

TREE PLANTING AND STAKING

PLT-TREE1

SCALE: N.T.S.

A

LEGEND

1 ROOTBALL

2 SOIL RING

3 AMENDED BACKFILL

NOTES:

- WIDTH OF HOLE SHALL BE 3 TIMES THE WIDTH OF THE ROOTBALL
- DEPTH OF THE HOLE SHALL BE DEPTH OF THE ROOTBALL WITH 1 1/2" OF TOP OF ROOTBALL HIGHER THAN SURROUNDING FINISH GRADE
- WATER BACKFILL HEAVILY TO REDUCE AIR POCKETS

SHRUB PLANTING

PLT-SHRB1

SCALE: N.T.S.

B

LEGEND

1 GROUNDCOVER SPACING PER PLANT SCHEDULE.

2 GROUNDCOVER CENTERS.

3 WALL, WALK OR EDGE OF GROUNDCOVER PLANTING.

PLANVIEW

GROUNDCOVER PLANTING

PLT-GRDCVR

SCALE: N.T.S.

C

LEGEND

1 CURB/ STREET/ SIDEWALK

2 NDS - EP SERIES - #EP2450 24"X24" ROOT BARRIER PANELS OR EQUAL

NOTES:

- INSTALL (4) 24" PANELS ON EACH SIDE OF TREE
- CENTER THE PANELS ON TRUNK OF TREE
- ROOT BARRIERS ARE REQUIRED IN ALL LOCATIONS WHERE TREES ARE PLACED CLOSER THAN 48" FROM CURBS, SIDEWALKS, CONCRETE OR ASPHALT, AND WHERE SHOWN ON PLANS.
- SET TOP OF ROOT BARRIER 4" BELOW TOP OF WALK OR CURB, OR 2" BELOW FINISHED GRADE, WHICHEVER IS LOWER.

TREE ROOT BARRIER

PLT-BARR

SCALE: N.T.S.

D

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LANDSCAPE DEVELOPMENT PLANS

CREEKSIDE
AT WOODLAKE

SACRAMENTO, CA

Client/Subconsultant

Project Mgr: JMA

Drawn By: JMA

Scale:

Date: 7/3/24

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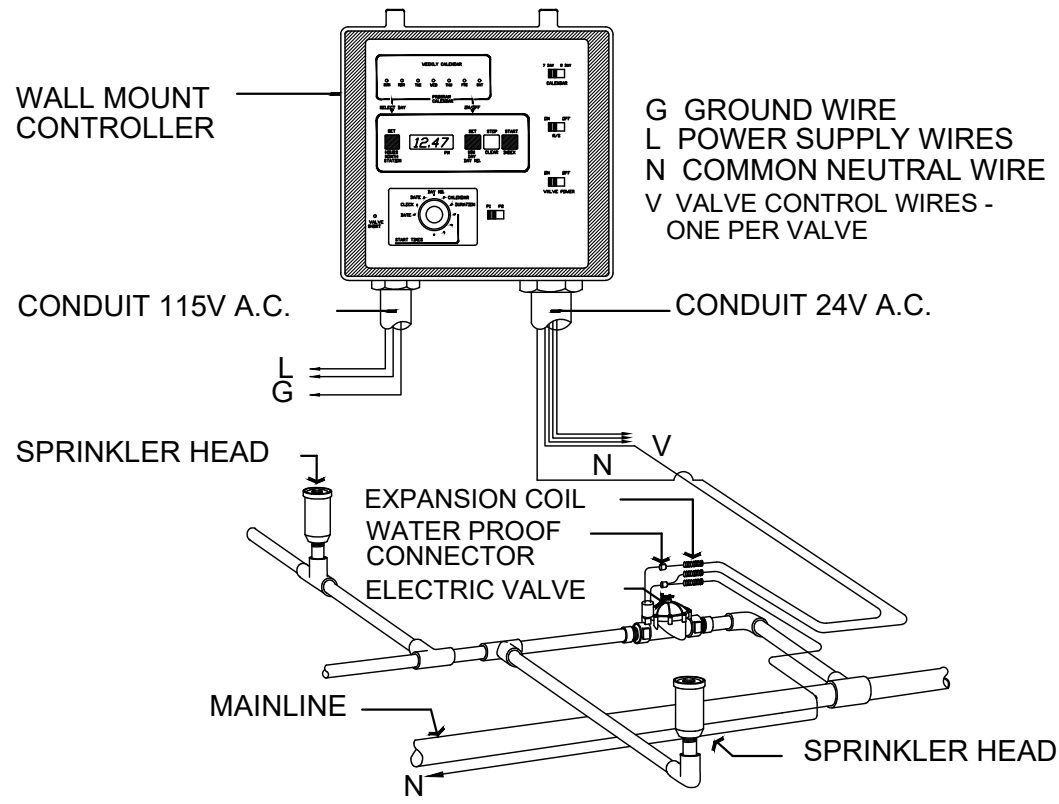
Sheet Title

PLANTING DETAILS

Sheet No

L4.1

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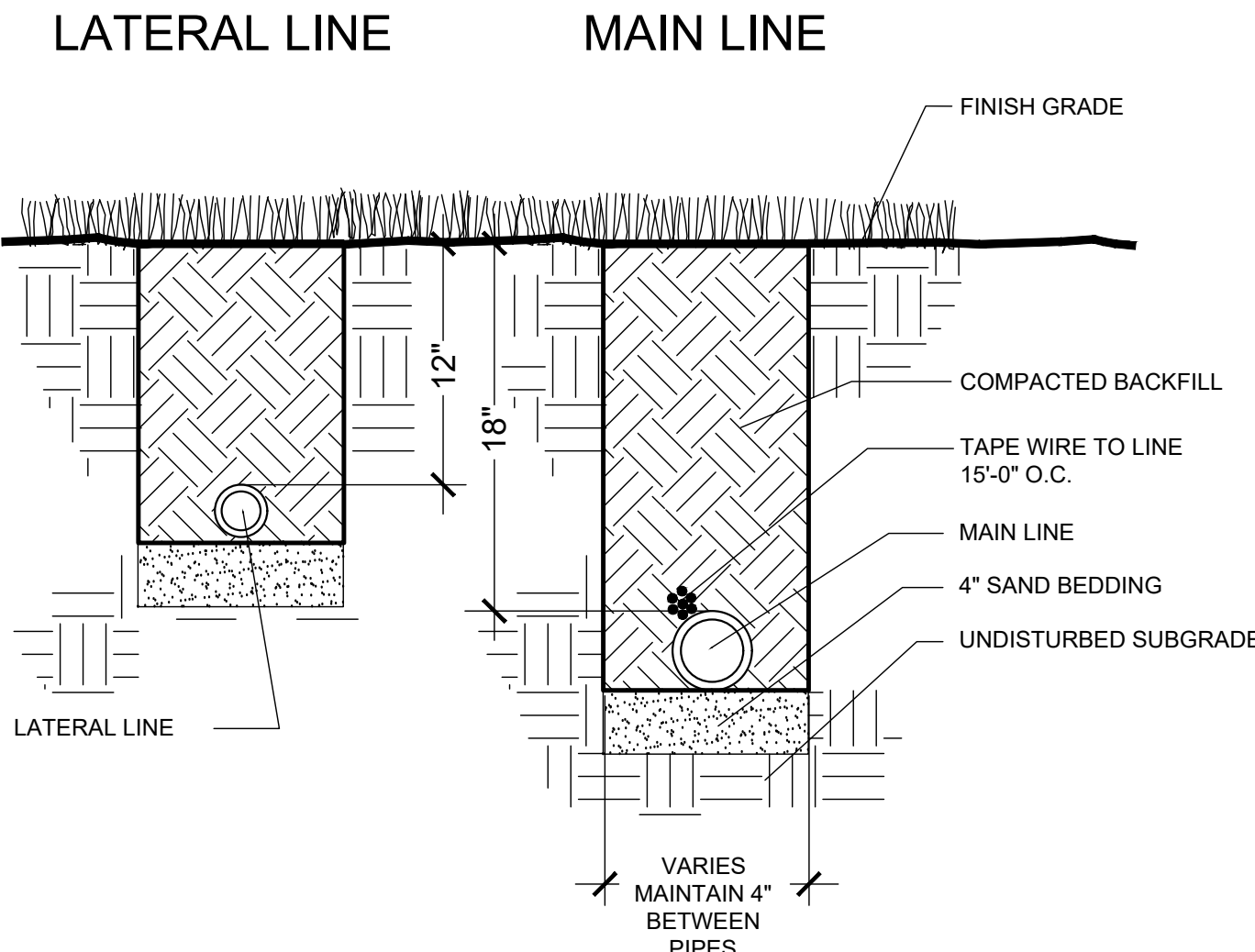
NOTE:
MOUNT CONTROLLER TO WALL STUDS WITH FOUR EACH 3/8" X 3" MINIMUM GALVANIZED LAG SCREWS, IMBED 2" MIN.

CONTROLLER INSTALLATION

CTRL1

SCALE: N.T.S.

A



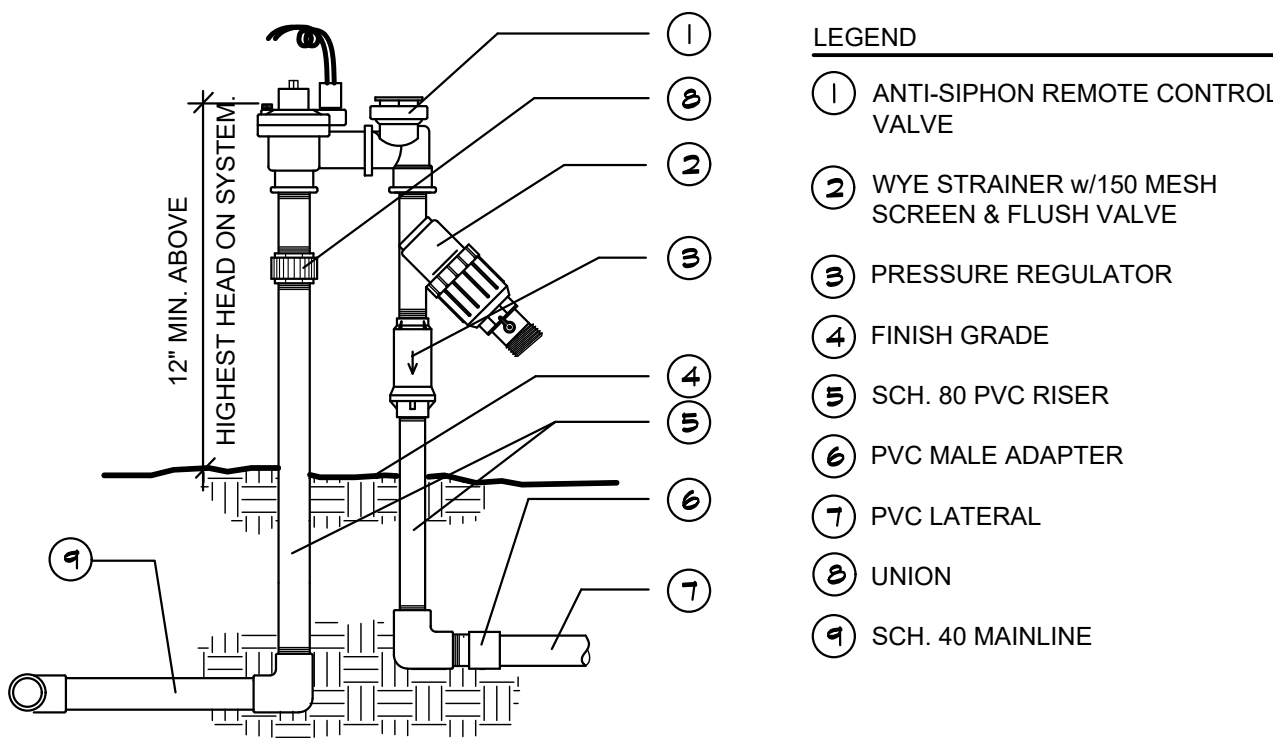
NOTE: DO NOT STACK PIPE ON TOP OF OTHER PIPE.

IRRIGATION TRENCH

TRNCH1

SCALE: N.T.S.

B



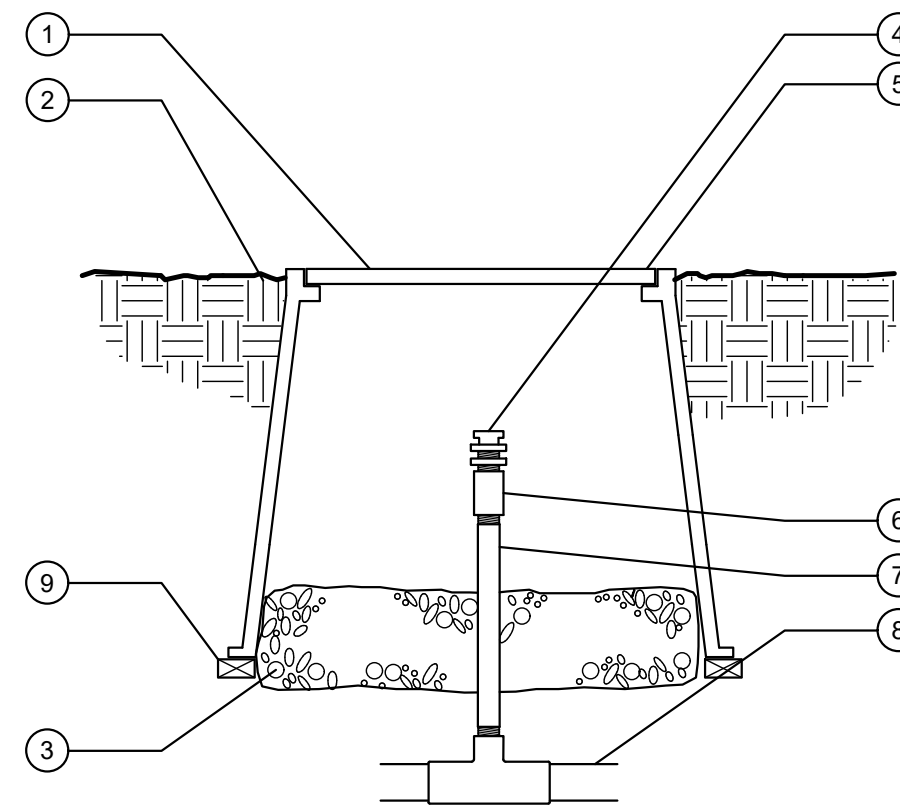
NOTES:
• Wye strainer and pressure regulator for drip irrigation only.
• Use Teflon Tape on all threaded manifold components.
• Bury Lateral Lines 12" min. and Mainlines 18" min.

ANTI-SIPHON DRIP VALVE ASSEMBLY

VLV-ANTI-DRIP

SCALE: N.T.S.

C



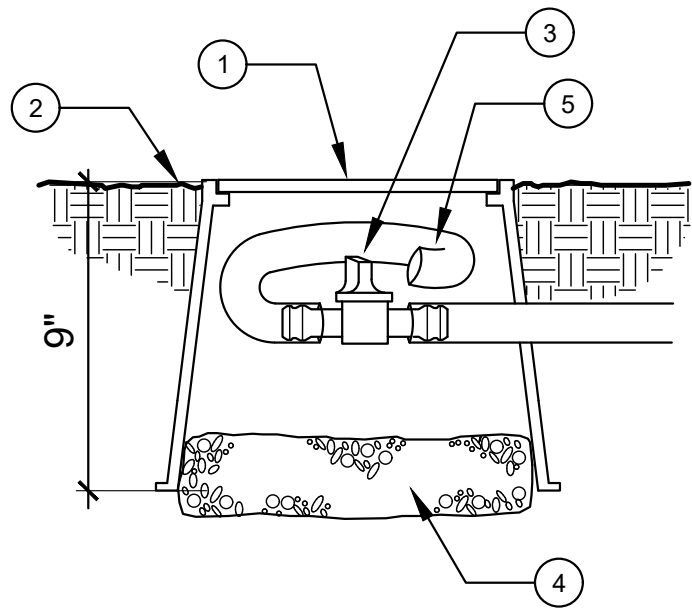
LEGEND
1 6" ROUND VALVE BOX
2 FINISH GRADE
3 PEA GRAVEL SUMP WRAPPED WITH LANDSCAPE FABRIC 6" DEEP
4 AIR/VACUUM RELIEF VALVE
5 VALVE BOX SET TO 2 3/4" ABOVE GRADE IN PLANTER AREAS, & 1 3/4" ABOVE GRADE IN SOD AREAS.
6 3/4" PVC COUPLING (TxT)
7 3/4" SCH 80 RISER
8 PVC PIPING AND FITTINGS
9 STANDARD BRICK

AIR/VACUUM RELIEF

NTFM-AIRVAC

SCALE: N.T.S.

D



LEGEND
1 6" ROUND VALVE BOX
2 FINISH GRADE
3 MANUAL LINE FLUSHING VALVE
4 4" DEEP PEA GRAVEL SUMP
5 18" OF BLANK DRIP TUBING

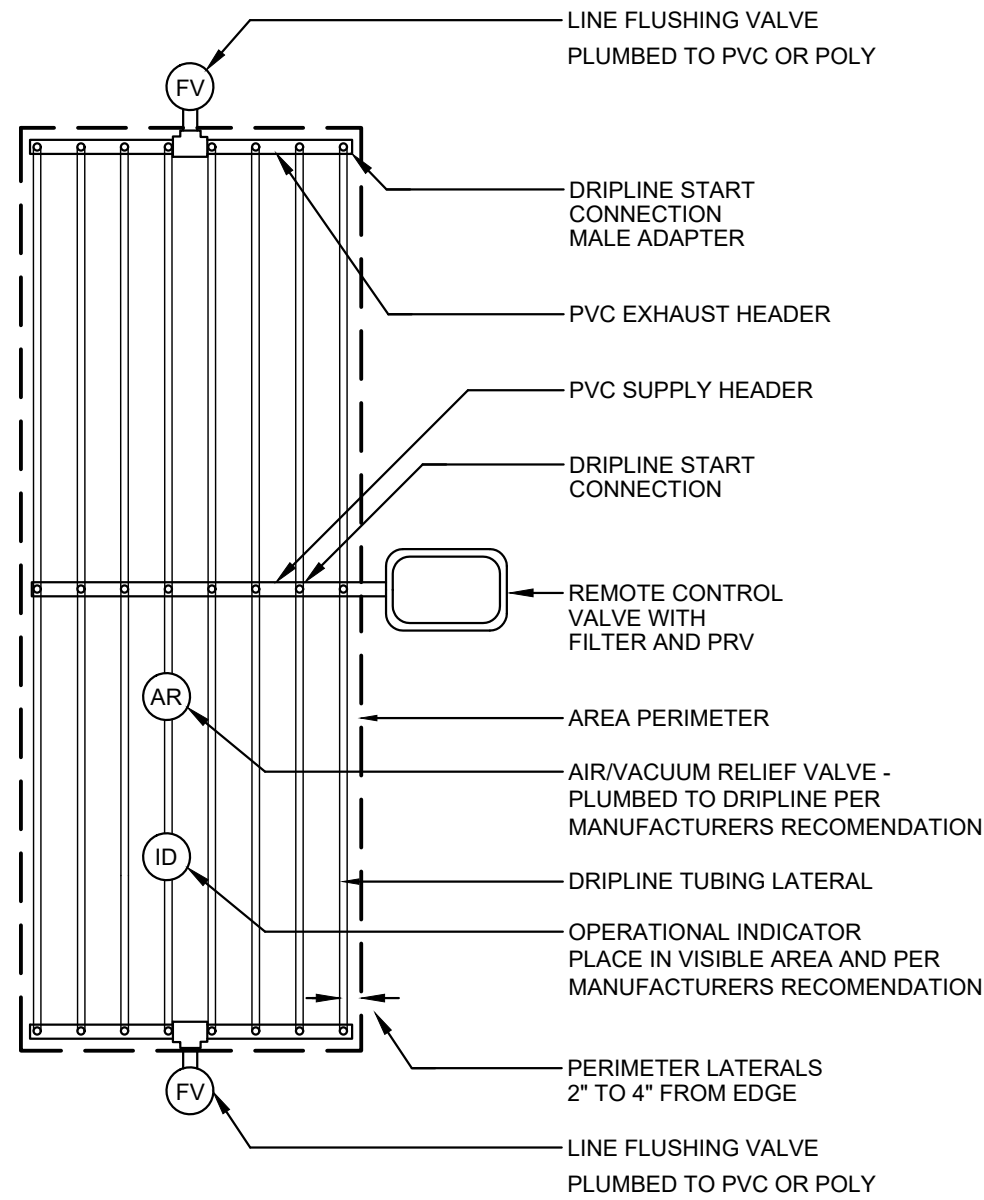
NOTES:
• USE TEFLON TAPE ON ALL THREADED MANIFOLD COMPONENTS
• LINE SUMP WITH FILTER FABRIC AND LEAVE EXPOSED OVER GRAVEL 2" MIN.

FLUSH VALVE

VLV-FLSH-MAN

SCALE: NTS

E

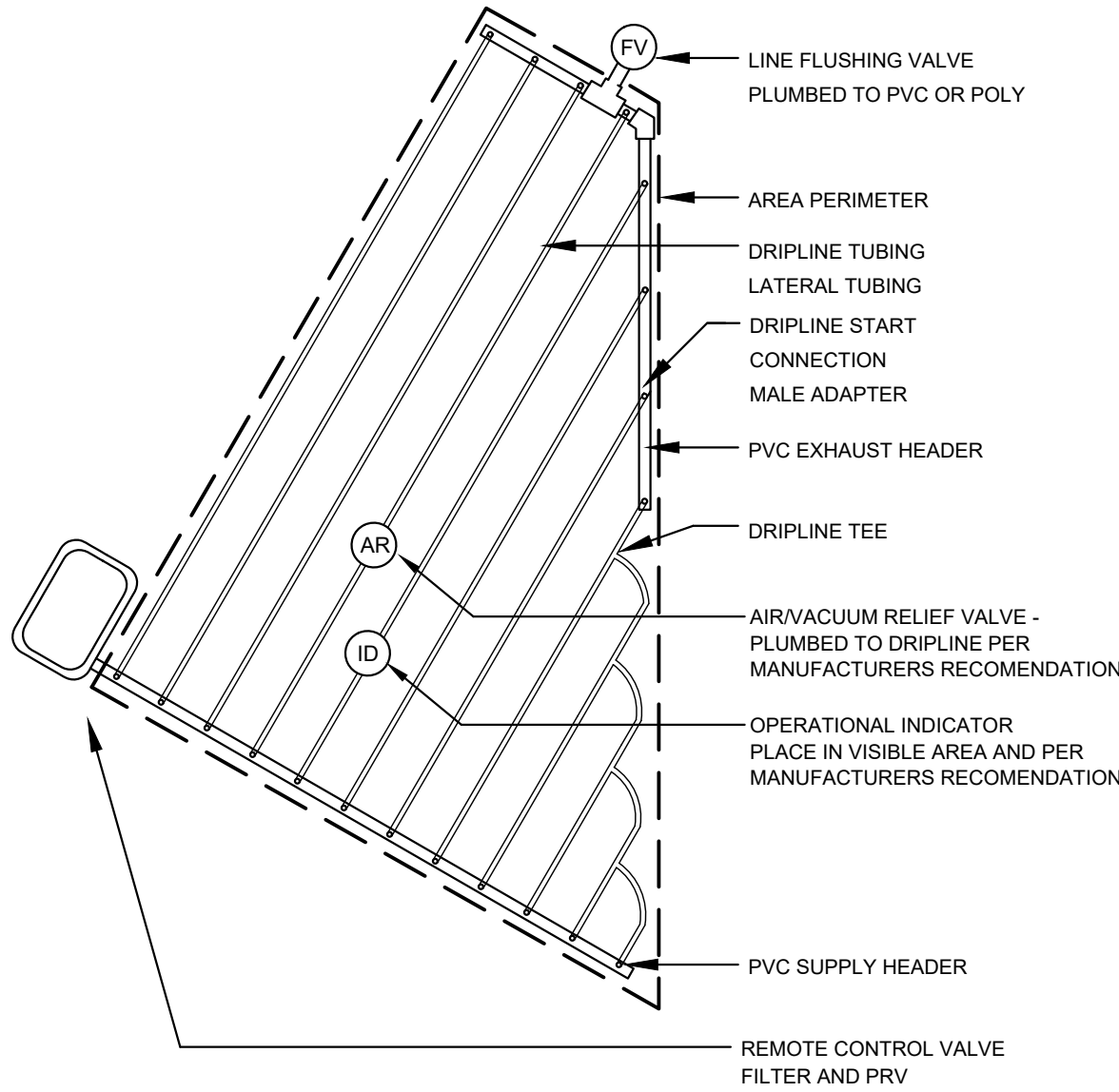


DRIPLINE LAYOUT - CENTER FEED

DRP-MID LAY

SCALE: N.T.S.

F

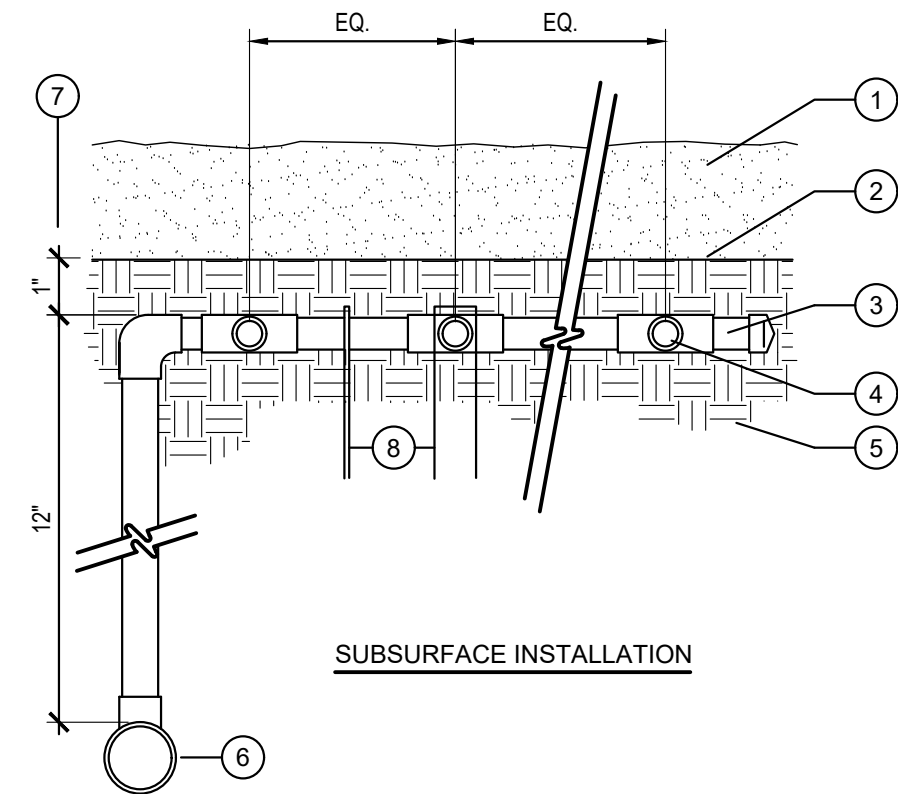


DRIPLINE IRREGULAR AREAS LAYOUT

NTFM-IRR

SCALE: N.T.S.

G

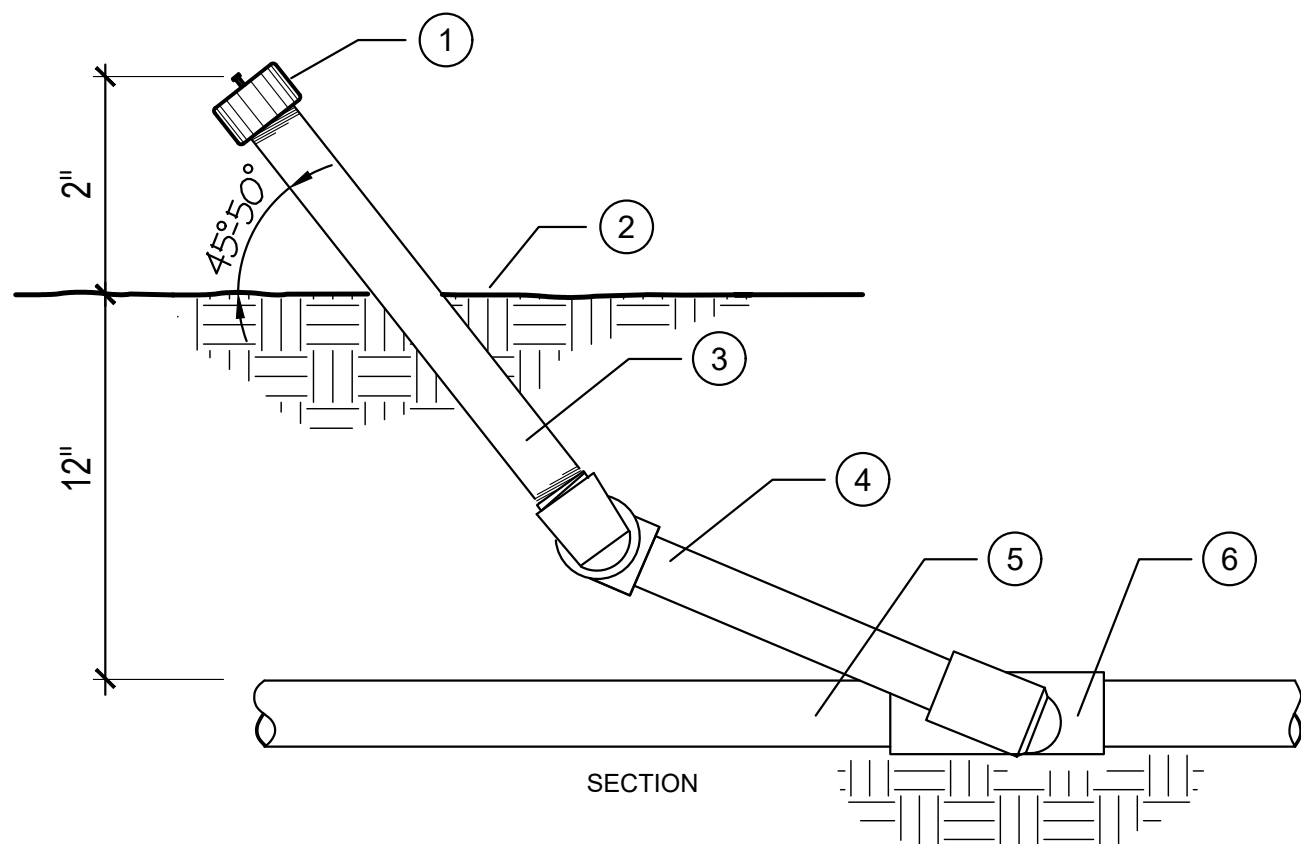


SUBSURFACE HEADER & DRIPLINE INSTALLATION

NTFM-DPTH

SCALE: N.T.S.

H



LEGEND
1 ADJUSTABLE FLOOD BUBBLER - INSTALLED AT AN ANGLE (45 DEGREES - 50 DEGREES)
2 FINISHED GRADE
3 SCH 80 RISER
4 12" SWING JOINT MARLEX ASSEMBLY
5 LATERAL PIPE
6 LATERAL TEE

TREE BUBBLER

BBLR-1 at angle

SCALE: N.T.S.

I

J

K

L



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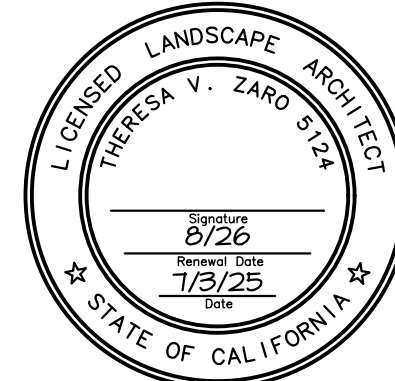
Date: 7/3/24

File Name: CW DTR

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Sheet Title

IRRIGATION DETAILS

Sheet No

L4.2

of sheets