

RESOLUTION NO. 2011-499

Adopted by the Sacramento City Council

August 23, 2011

ADOPTING FINDINGS OF FACT AND APPROVING THE NORTHWEST LAND PARK PROJECT'S PHASE 1 TENTATIVE MAP, SUBDIVISION MODIFICATION AND SPECIAL PERMIT TO DEVELOP 201 CONDOMINIUM UNITS IN THE R-4-PUD ZONE FOR AREA BOUNDED BY BROADWAY ON THE NORTH, 5TH STREET ON THE EAST, MCCLATCHY WAY ON THE SOUTH, AND I-5 ON THE WEST. (APN: 009-0030-008, 019, 043, 045; 009-0223-007, 012, 013, 016; 009-0237-018; 009-0270-009, 015, 017, 028, 029, 032, 033; 009-0286-001, 012, 013, 014, 018) (P10-039)

BACKGROUND

- A. On July 14, 2011, the City Planning Commission conducted a public hearing on the Northwest Land Park project, and forwarded to the City Council a recommendation to approve the project.
- B. On August 23, 2011, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a), (b), and (c) (publication, posting, and mail 500'), and received and considered evidence concerning the Northwest Land Park project.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

Section 1. Based on the verbal and documentary evidence received at the hearing on the Northwest Land Park project, the City Council approves the project based on the findings of fact and subject to the conditions of approval as set forth below.

Section 2. The City Council approves the Project entitlements based on the following findings of fact:

A. Tentative Map: The Tentative Map to subdivide approximately 8.1 gross acres into 17 condominium lots, three private street lots and one temporary detention basin lot is **approved** based on the following findings of fact:

- 1. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision as follows:
 - a. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan, all applicable community and specific plans, and Title 16 of the City Code, which is a specific plan of the City;

b. The site is physically suitable for the type of development proposed and suited for the proposed density;

c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife their habitat;

d. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;

e. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use, of, property within the proposed subdivision.

2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and Title 16 Subdivisions of the City Code, which is a specific plan of the City (Gov. Code §66473.5);
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. code §66474.6);
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1);
5. The City Council has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

B. Subdivision Modification: The Subdivision Modification to allow non-standard elbow is **approved** based on the following findings of fact:

1. That the property to be divided is of such size or shape, or is affected by such topographic conditions, or that there are such special circumstances or conditions affecting the property that it is impossible, impractical, or undesirable in the particular case to conform to the strict application of these regulations;

Due to the shape of the parcel and site constraints, it is impractical or undesirable in this particular case to conform to the strict application of these regulations.

2. That the cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification;

The cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification.

3. That the modification will not be detrimental to the public health, safety or welfare or be injurious to other properties in the vicinity;

The modification will not be detrimental to the public health, safety or welfare or be injurious to other properties in the vicinity in that the elbow does not abut residential driveways and adequate turning movements by fire trucks can be achieved.

4. That granting the modification is in accord with the intent and purposes of these regulations and is consistent with the general plan and with all other applicable specific plans of the city.

The density and the land use are consistent with general plan goals and policies for Urban Neighborhood Medium designation.

C. Special Permit: The Special Permit to construct 201 condominiums in the proposed Multi-Family Planned Unit Development (R-4-PUD) zone is **approved** based on the following findings of fact:

1. A special permit shall be granted upon sound principles of land use.
Staff finds that the proposed residential development is an appropriate land use that will have positive contribution to the surrounding area, in that the project site is in close proximity to future commercial and open space uses and that the site will be well served by auto, bicycle, and pedestrian linkages.
2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.
Staff finds that the proposed condominium development site and building design are consistent with the Northwest Land Park PUD Guidelines and the Multi-Family Residential Design Principles and will not be detrimental to public health, safety or welfare.
3. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.
The proposed project is consistent with the goals and policies of the Urban Neighborhood Medium designation in the General Plan and the Land Park Community Plan.

Section 3. The City Council approves the Project entitlements subject to the following conditions of approval:

Conditions of Approval

A. The **Tentative Map** to subdivide approximately 8.1 gross acres into 17 condominium lots, three private street lots and one temporary detention basin lot is hereby approved subject to the following conditions:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map or any contradictory provisions in the PUD guidelines approved for this project (P10-039). The design of any improvement not covered by these conditions or the PUD Guidelines shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Transportation.

GENERAL: All Projects

- A1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
- A2. Pursuant to City Code Section 16.40.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the Department of Transportation after consultation with the U.S. Postal Service.
- A3. Private reciprocal ingress, egress, maneuvering and parking easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement for Conveyance of Easements with the City stating that a private reciprocal ingress/egress, maneuvering, and parking easement shall be conveyed to and reserved from all appropriate parcels, at no cost, at the time of sale or other conveyance of either parcel.
- A4. Comply with requirements included in the Mitigation Monitoring and Reporting Program developed by, and kept on file in, the Planning Division Office (P10-039).
- A5. Show all continuing and proposed/required easements on the Final Map.
- A6. Multiple Final Maps may be recorded. Prior to recordation of any Final Map all infrastructure/improvements necessary for the respective Final Map must be in place to the satisfaction of the Departments of Utilities, and Department of Transportation.

Department of Transportation: Streets

- A7. Submit a Geotechnical Analysis prepared by a registered engineer to be used in street design. The analysis shall identify and recommend solutions for groundwater related problems, which may occur within both the subdivision lots and public right-of-way. Construct appropriate facilities to alleviate those problems. As a result of the analysis street sections shall be designed to provide for stabilized subgrades and pavement sections under high groundwater conditions.
- A8. Construct standard subdivision improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. All improvements shall be designed and

constructed to the satisfaction of the Department of Transportation. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards. This shall include street lighting and the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property (5th street, McClatchy Way) per City standards to the satisfaction of the Department of Transportation.

- A9. The applicant shall dedicate a public easement and construct streets (Tailoff way, Lug Way, Cleat way and 4th street) within Phase 1 as an infill street section of 41-foot with attached sidewalks to the satisfaction of the Department of Transportation.
- A10. The applicant shall provide additional roadway width (approximately 2-feet) along the west side of 4th Street (Phase 1) and along the detention basin's frontage only and construct a modified 43-foot section with a raised curb to accommodate on-street parking to the satisfaction of the Department of Transportation.
- A11. The applicant shall dedicate sufficient right-of-way (If needed) and restripe 5th street to include one travel lane in each direction and bike lanes for each direction separated by a continuous two-way left turn lane along the project's frontage in phase 1 to the satisfaction of the Department of Transportation.
- A12. At its discretion, the City may require the inclusion of traffic calming devices along residential streets, to be constructed as part of the public improvements. These devices may include, but are not limited to, chicanes, undulations, additional 4-way intersections, etc. Undulations will be required on certain streets adjacent to school/park combinations, as determined by the Department of Transportation.
- A13. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Transportation.
- A14. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Transportation. The center lines of such streets shall be aligned.
- A15. Provide a temporary traffic turnaround at the end of 4th Street in the form of a hammer head to the satisfaction of the Department of Transportation.
- A16. The applicant shall provide for a temporary barricade at the end of 4th Street for phase 1 and shall provide all the appropriate signage and markings to the satisfaction of the Department of Transportation.
- A17. The applicant shall make provisions for bus stops, shelters, etc. to the satisfaction of

Regional Transit.

- A18. The applicant shall explore the feasibility of constructing a traffic circle at the intersection of McClatchy and 5th Streets as part of their public improvements. The traffic circle shall be constructed per City standards and to the satisfaction of the Department of Transportation. If the traffic circle construction is found to be infeasible, the applicant shall contribute the sum of \$50,000 to go towards a Neighborhood Traffic Management Program (NTMP) within the adjacent neighborhood, including 5th Street and Vallejo Street. If the construction of the traffic circle is found to be feasible, the applicant has agreed to construct the traffic circle. Should the total design and construction cost of the traffic circle be less than \$50,000, the remaining balance shall be paid towards the above referenced NTMP. This one time contribution, from the applicant, shall satisfy all requirements towards any neighborhood traffic calming program related to the development of the Northwest Land Park PUD.

Department of Transportation: Private Streets (DOT)

- A19. Design private drives to meet the City standards regarding structural section. Private drives shall be inspected to the satisfaction of the Department of Transportation.
- A20. The applicant shall delineate the private streets by constructing decorative paving at the entrance to the private streets from 5th Street and using appropriate streets signs to the satisfaction of the Department of Transportation.
- A21. The applicant may use a permeable material such as asphaltic concrete for the construction of all private drives to the satisfaction of the Department of Transportation. All private drives shall be maintained by the Home Owners Association. Any other material shall require the approval of the Department of Transportation and the Community Development Department.

PUBLIC/PRIVATE UTILITIES

- A22. An easement shall be granted on, over, under and across residential lots 1-17, as shown here on, as a blanket "Public Utility Easement" for dry utilities, excepting there from future building footprints.

FIRE (King Tunson, Fire Department, 808-1358)

- A23. All turning radii for fire access shall be designed as 35' inside and 55' outside. Shall apply to private streets and alleys designed for fire access.
- A24. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. *Shall apply to private streets and alleys designed for fire access.*
- A25. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. CFC 503.2.3 *The proposed usage of synthetic turf within the*

alley shall be submitted for review and approval by the Fire Marshal. The aggregate base sections shall be to the manufacture's specifications or should be 12 inches thick. Compaction shall be verified in writing to the Fire Marshal by a licensed engineer.

- A26. Provide the required fire hydrants in accordance with CFC 508 and Appendix C, Section C105.
- A27. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side. *Shall apply to private streets and alleys designed for fire access.*
- A28. Maintenance agreements shall be provided for the interior roadways of the proposed complex and for the fire protection systems. The agreement shall be recorded in the Office of the Sacramento County Recorder and shall provide for the following:
- 1 Provisions for the necessary repair and maintenance of the roadway surface.
 - 2 Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") and/or width of twenty feet (20').
 - 3 Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping.
 - 4 Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems.
 - 5 Unrestricted use of and access to the roadways covered by the agreements.
 - 6 Provisions for the control of vehicle parking in prohibited areas and a mechanism for the removal of vehicles illegally parked.
 - 7 Maintenance and timely repair of all fire protection systems, including but not limited to hydrants, fire alarm systems and fire sprinklers.

CITY UTILITIES (Inthira Mendoza, Utilities Department, 808-1473)

- A29. The onsite water, sewer and storm drain systems on Lots 1-17 shall be private systems maintained by the association. Prior to the initiation of any water, sanitary sewer or storm drainage services to the condominium project, an ownership association shall be formed and C.C. & R.s shall be approved by the City and recorded assuring maintenance of sanitary sewer, water and storm drainage facilities within the condominium project. The C.C. & R.s shall authorize the association to contract on behalf of all owners within the condominium project for sanitary sewer, water and storm drainage services for the condominium units, common areas and all other areas within the condominium project. The association shall enter a Utility Service Agreement with the DOU for sanitary Sewer, Water and storm drainage services.
- A30. A water study for this project shall be completed by the applicant and shall be approved by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be a least

30 pounds per square inch and (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. Contact the Department of Utilities for the pressure boundary conditions to be used in the water study.

- A31. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy. Any new domestic water services shall be metered.
- A32. Two points of connection for the water distribution system for this subdivision or any phase of this subdivision are required.
- A33. If required by the DOU, the applicant shall enter into and record a Hold Harmless Agreement, in a form acceptable to the City Attorney, for the placement of water meters within driveways, walkways, hardscape and concrete or asphalt concrete (AC) flat work.
- A34. Decorative paving which is removed by the City while repairing, maintaining and/or replacing surface and subsurface water, drainage and sanitary sewer facilities will be repaved with asphalt concrete (AC). A business association and/or homeowners association shall be responsible for replacing the decorative paving at no cost to the City. The business and/or homeowners associations shall enter into and record a hold harmless agreement, in a form acceptable to the City Attorney, regarding the removal and replacement of decorative paving by the City.
- A35. Dedicate all private streets and a minimum of 3 feet adjacent to private streets as public easement for water, sewer, drainage facilities and dry utilities. This easement shall be reviewed and approved by the Department of Utilities prior to recordation of the Final Map.
- A36. Public and private streets with City maintained water, sewer and drainage facilities shall have a minimum paved AC (asphalt concrete) width of 25-feet from the lip of curb to the lip of curb (i.e. water, sewer and drainage). Drain inlets, curb and gutter shall be constructed to City Standards for residential streets.
- A37. Public sewer and drainage mains shall be separate systems.
- A38. The water, sewer and drainage system within lots B, C, and D shall be public utilities. Public storm drain, water and sanitary sewer mains shall be designed and constructed within the asphalt section of the private street as per the City's Design and Procedures Manual, unless otherwise approved by the DOU.
- A39. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The Combined Sewer System fee at time of building permit is estimated to be **\$358,978.31** plus any increases to the fee due to inflation. The fee will be used for improvements to the CSS.

A40. Drain inlets shall be 6 inches above the 10-year HGL. Finished lot pad elevations shall be a minimum of 1.2 feet above the 100-year HGL and a minimum of 1.5 feet above the local controlling overland flow release elevation, whichever is higher or as approved by DOU.

Prior to or concurrent with the submittal of improvement plans, a combined sanitary sewer study is required for the entire project and shall be approved by the DOU. The study shall provide an analysis of the pre and post development condition of both the sewer and drainage flow that is contributing to the combined system. The drainage study shall include an overland flow release map for the proposed project. If it is shown that the post development conditions cause an increase in flow to the combined system, either onsite storage and/or improvements to existing combined sanitary system will be required to the satisfaction of the DOU.

A41. Per City Code, the Subdivider may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney. Sufficient off-site and on-site spot elevations shall be provided in the drainage study to determine the direction of storm drain runoff.

A42. The applicant shall design and construct the private detention basin on Lot A to the satisfaction of the DOU and Parks and Recreation Department pursuant to City Standards. A separate set of improvement plans shall be prepared for the detention basin.

A43. An as-built survey of the detention basin is required prior to issuance of a notice of completion for the subdivision.

A44. The applicant or HOA shall properly maintain the temporary detention basin to City standards. To ensure proper maintenance, the applicant shall enter into a maintenance agreement with the City which may require posting or depositing with the City of unconditional security for performance of the applicant's obligations, which security is adequate in the sole and exclusive discretion of the City, and which is in a form acceptable to the City Attorney.

A45. A note stating the following shall be placed on the Final Map: "Where necessary private reciprocal easement for ingress/egress, utilities, drainage, water and sanitary sewer facilities, and surface storm drainage, shall be granted and reserved, as necessary and at no cost, at or before the time of sale or conveyance of any parcel shown in this map.

A46. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to

existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

- A47. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- A48. Stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development in the area. Since the project is in the combined sewer area, only source controls are required. Storm drain public notice message is required at all drain inlets. Improvement plans must include the source controls measures selected for the site. Refer to the "Stormwater Quality Design Manual for the Sacramento and South Placer Regions", dated May 2007 for appropriate source controls measures.
- A49. Each block shall have a common metered irrigation service serving all parcels within the block. The applicant shall enter into a Utility Service Agreement for Common Irrigation with the DOU for a common irrigation service, on such terms and conditions as may be determined by the DOU. The applicant shall grant an easement or other property right to a HOA or an entity authorizing a common irrigation service for multiple parcels within each block.

PPDS: Parks (Mary de Beauvieres, Parks Department, 808-8722)

- A50. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 16.64 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§16.64.040 and 16.64.050 equal to the value of land prescribed for dedication under 16.64.030 and not satisfied by dedication. (See Advisory Note).
- A51. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district (contact Public Improvement Financing, Special Districts Project Manager.) In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.).
- A52. **Design Coordination for PUE's and Facilities:** If a public utility easement (PUE) for underground facilities and appurtenances currently exists or is required to be dedicated adjacent to and contiguous to Lot A, the applicant shall coordinate with PPDS and SMUD regarding the location of appurtenances within the PUE to minimize visual obstruction in relation to the park and to best accommodate future park improvements. The applicant shall facilitate a meeting with SMUD and PPDS prior to SMUD's facilities coordinating meeting for the project.

MISCELLANEOUS

- A53. Meet all applicable terms and conditions of the development agreement.
- A54. Title to any property required to be dedicated to the City in fee shall be conveyed free and clear of all rights, restrictions, easements, impediments, encumbrances, liens, taxes, assessments or other security interests of any kind (hereafter collectively referred to as "Encumbrances"), except as provided herein. The applicant shall take all actions necessary to remove any and all Encumbrances prior to approval of the Final Map and acceptance of the dedication by City, except that the applicant shall not be required to remove Encumbrances of record, including but not limited to easements or rights-of-way for public roads or public utilities, which, in the sole and exclusive judgment of the City, cannot be removed and/or would not interfere with the City's future use of the property. The applicant shall provide title insurance with the City as the named beneficiary assuring the conveyance of such title to City. (DOT)
- A55. Form a Homeowner's Association. CC&R's shall be approved by the City and recorded assuring maintenance of all private streets (Tailoff way, Lug Way, Cleat way and 4th street) and all private drives. The Homeowner's Association shall maintain all private streets, private drives, lights, private utilities, common landscaping/open space (Lot A), common areas and the landscaping sliver within parcel 4 along the west side of 4th street. (DOT)

ADVISORY NOTES:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- A56. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition. (DOT)
- A57. Prior to the initiation of any water or storm drainage services to the condominium project, the owner(s) and ownership association shall enter into a utility service agreement with the City to receive such utility services at points of service designated by the DOU. Such agreement shall provide, among other requirements, for payment of all charges for the condominium project's water and storm drainage services, shall authorize discontinuance of utility services at the City's points of service in the event that all or any portion of such charges are not paid when and as required, shall require compliance with all relevant utility billing and maintenance requirements of the City, shall require sub-metering of water service to the condominium units if requested by the DOU or required by any other government agency, and shall be in a form approved by the City Attorney. (DOU)
- A58. Many projects within the City of Sacramento require on-site booster pumps for fire suppression and domestic water system. Prior to design of the subject project, the

Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the applicant's engineers in the design of the on-site domestic, irrigation and fire suppression systems. (DOU)

- A59. Location of the wet utilities in the street without center medians shall be as follows, drainage mains shall be placed in the centerline of the street, water mains shall be placed north and west of the centerline and the sewer main shall be placed south and east of the centerline. The location of wet utilities in streets with medians shall be approved by DOU pursuant to City Standards prior to design. (DOU)
- A60. Prior to issuance of any building permits within any phase, all sanitary sewer, storm drainage, water, and flood control improvements shall be in place and fully functioning as determined by DOU unless otherwise approved by the Department of Utilities. (DOU)
- A61. The proposed project is located in the Flood zone designated as **Shaded X** zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective February 18, 2005. Within the Shaded X zone, there are no requirements to elevate or flood proof. (DOU)
- A62. The applicant is responsible for obtaining all necessary permits, easements and approvals from federal, state and local agencies, and private landowners for the construction of this project. (DOU)
- A63. Developing this property will require the payment of SRCSD Sewer Impact fees. Impact fees shall be paid prior to issuance of Building Permits. Applicant should contact the Fee Quote Desk at (916) 876-6100 for sewer impact fee information. (SRCSD)
- A64. **Improvements:** The applicant shall construct the following public improvements prior to and as a condition of City's eventual acceptance of Lot A as the park site. Even though Lot A will be dedicated as parkland in a subsequent phase, the frontage improvements should occur during Phase 1 as follows:
- 1 Full street improvements for Lot A, including but not limited to curbs, gutters, accessible ramps, street paving, streetlights, and sidewalks.
 - 2 A concrete sidewalk and vertical curb along all street frontages that open onto "Lot A". The sidewalk shall be contiguous to the curb (attached) for neighborhood parks.
- A65. As per City Code, acreage within an existing or proposed drainage area, easement, public right-of-way, or areas with 10% and greater slopes shall not receive parkland dedication credit. Quimby parkland credit can be granted only to "buildable acres". (PARKS)
- A66. As per City Code, the applicant will be responsible to meet his/her obligations regarding: (PARKS)

- 1 Title 16, 16.64 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$664,350. This is based on 29 single family, 112 duplex / halfplex, and 60 multi-family residential units and an average land value of \$250,000 per acre for the Land Park Community Planning Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment.
- 2 Title 18, 18.44 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$771,939. This is based on 29 single family residential units at \$5,191 each, 112 duplex / halfplex residential units at \$3,910 each, and 60 multi-family residential units at \$3,058 each. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. The fee adjusts for inflation on July 1 of each year.
- 3 Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

B. The **Special Permit** to construct 201 condominiums in the proposed Multi-Family Planned Unit Development (R-4-PUD) zone is hereby approved subject to the following conditions:

Planning

- B1. This approval is for the construction of 201 condominium units per attached exhibits. Any change in the design, materials, or colors from this approval shall be submitted to the Planning Division for review and determination for further actions.
- B2. Final landscape and circulation plans shall be submitted to Planning Division for review and comment prior to submittal for building permits.
- B3. The applicant shall obtain all necessary building permits prior to commencement of construction.
- B4. Building plans and elevations shall be plotted such that no two same elevations and no two same color schemes are adjacent to one another. All building side elevations facing a street shall be enhanced with window openings, trims and decorative elements.
- B5. Provide an ownership association responsible for the care and maintenance of all common areas and common improvements and any other interest common to the condominium owners. Complete and true copies of all covenants, conditions and restrictions, articles of incorporation and by-laws shall be subject to review and approval by the city prior to occupancy as a condominium unit.

- B6. The homeowner's association shall conduct periodic inspections, not less than monthly, of the exterior of all buildings, trash enclosures and recreation facilities.
- B7. The homeowner's association shall establish and conduct a regular program of routine maintenance for the property. Such a program shall include common areas and scheduled repainting, replanting and other similar activities that typically require attention at periodic intervals but not necessarily continuous. Owner/Operator shall repaint or retreat all painted or treated areas at least once every 8 years; provided that the Planning Director may approve less frequent painting or re-treatment upon a determination that less frequent repainting or re-treatment is appropriate, given the nature of the materials used or other factors. The program shall be subject to review and approval by the Planning Director.
- B8. The homeowner's association shall maintain landscaping and irrigation in a healthy and serviceable condition.
- B9. The homeowner's association shall indicate and maintain all locations of parking stalls for handicapped/disabled access and strictly enforce rules related thereto.
- B10. Each condominium unit shall comply with the state of California's Noise Insulation Standards (California Amended Code Section 1092).
- B11. Each condominium unit shall provide the following:
- a. A separate sewer service hookup; provided, that the planning commission may permit the use of common sewer lines that are oversized by one size or more, or which are hydraulically designed with the concurrence of the city engineer, finds the common sewer lines can adequately service the condominiums and that separate service hookups would not be feasible. For this provision, the Planning Commission is delegating the approval to the Planning Director subject to concurrence with the Public Works Director and the Utilities Department.
 - b. A separate water service hookup or shutoff; provided, that the planning commission may permit a single water system to service more than one condominium unit where shutoffs are provided wherever practicable and where the planning commission, with the concurrence of the city engineer, finds that the single water system can adequately service the condominiums and separate service hookups or shutoffs are not feasible. For this provision, the Planning Commission is delegating the approval to the Planning Director subject to concurrence with the Public Works Director and the Utilities Department.
 - c. A separate gas service where gas is a necessary utility.
 - d. A separate electrical service, with separate meters and disconnects and ground fault interrupters where and as required by Building Code.
- B12. Each unit of a condominium project, and all commonly owned portions of a condominium building shall comply with all applicable building code standards. Nothing herein shall be construed to prevent or prohibit the applicant or the city from

providing or requiring building standards greater than those set forth in the Building Code where the greater standards are found to be necessary to carry out the purposes and objectives of this chapter. (Ord. 99-015 § 6-3-D)

B13. Landscaping & Walls and Fencing:

- a. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
- b. All mechanical equipment shall be located within enclosed cabinets or screened by landscaping and/or screening/fencing.
- c. In order to provide adequate surveillance opportunities, all *plants and shrubs* are to be maintained at maximum height of thirty inches (30"); the lowest branch height shall be at least six feet (6'). Decorative planting shall be maintained so as not to obstruct or diminish lighting level throughout the project.
- d. Walls and fences shall conform to City standards for sight line requirements at intersections and driveways.

B14. The applicant shall comply with the City's Recycling Ordinance (Section 17.72).

B15. Signage within Phase 1:

- a. All detached signs shall be monument-type, constructed of masonry with finish materials and colors, which are consistent with building architecture.
- b. The project identification sign(s) may be placed in the landscape setback area; however, it must be located farther than ten (10) feet from the public right-of-way.
- c. Attached signage shall consist of address numbers only.
- d. All signage shall comply with the Northwest Land Park PUD signage criteria; a sign permit shall be obtained prior to construction of any sign.

B16. Lighting:

- a. The type and location of the outdoor lighting (building, parking lot, walkway, etc.) must be approved by the Planning Director prior to issuance of a building permit. Lighting shall be provided in garage areas and each building address number shall be illuminated.
- b. Project lighting shall be provided as follows: one foot-candle of minimum maintained illumination per square foot of parking space and exterior walkways/sidewalks during hours of darkness and 0.25 foot-candle of minimum maintained illumination per square foot of surface on any interior walkway, alcove, passageway, etc., from one-half hour before dusk to one-half hour after dawn. All light fixtures are to be vandal-resistant.

- c. Per Section 17.68.030(B), exterior lighting, if provided, shall reflect away from residential areas and public streets.
 - d. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- B17. The applicant shall comply with the approved Mitigation Monitoring and Reporting Program (P10-039) on file at the Planning Division.
- B18. The final building color palette shall be submitted for review and approval by the Planning Director prior to the issuance of building permit.
- B19. The applicant shall paint electrical meters/cabinets, telephone connection boxes and other utility appurtenances to match the building to which they are attached.
- B20. *If security becomes a concern and if deemed necessary by the Police Department, the applicant shall contract with a reputable security firm to provide on-site security, night and day.*
- B21. Prior to the issuance of any building permits, the applicant shall provide the City with a copy of the certificate of payment of school fees for the applicable school district(s).
- B22. This approval does not include any vehicular gates. Any proposal for vehicular gates will require approval of an additional entitlement.
- B23. Condominiums addressing shall be to City standards.
- B24. Auto repairs on the street or within the private driveways are not permitted at any time, except in emergencies, such as flat tire or dead battery.

Department of Transportation

- B25. Construct standard improvements as noted in these conditions pursuant to section 18 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Transportation. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards. This shall include street lighting and the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property (5th street, McClatchy Way) per City standards to the satisfaction of the Department of Transportation.
- B26. The applicant shall dedicate a public easement and construct streets (Tailoff way, Lug Way, Cleat way and 4th street) within Phase 1 as an infill street section of 41-feet with attached sidewalks to the satisfaction of the Department of Transportation.

- B27. The applicant shall provide additional roadway width (approximately 2-feet) along the west side of 4th Street (Phase 1) and along the detention basin's frontage only and construct a modified 43-foot section with a raised curb to accommodate on-street parking to the satisfaction of the Department of Transportation.
- B28. The applicant shall dedicate sufficient right-of-way (If needed) and restripe 5th street to include one travel lane in each direction and bike lanes for each direction separated by a continuous two-way left turn lane along the project's frontage in phase 1 to the satisfaction of the Department of Transportation.
- B29. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Transportation.
- B30. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Transportation. The center lines of such streets shall be aligned.
- B31. Provide a temporary traffic turnaround at the end of 4th Street in the form of a hammer head to the satisfaction of the Department of Transportation.
- B32. The applicant shall provide for a temporary barricade at the end of 4th Street for phase 1 and shall provide all the appropriate signage and markings to the satisfaction of the Department of Transportation.
- B33. Design private drives to meet the City standards regarding structural section. Private drives shall be inspected to the satisfaction of the Department of Transportation.
- B34. The applicant shall delineate the private streets by constructing decorative paving at the entrance to the private streets from 5th Street and using appropriate streets signs to the satisfaction of the Department of Transportation.
- B35. The applicant may use a permeable material such as asphaltic concrete for the construction of all private drives to the satisfaction of the Department of Transportation. All private drives shall be maintained by the Home Owners Association. Any other material shall require the approval of the Department of Transportation and the Community Development Department.
- B36. The applicant shall record the Final Map, which creates the lot pattern shown on the proposed site plan prior to obtaining any Building Permits.
- B37. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards.

- B38. Form a Homeowner's Association. CC&R's shall be approved by the City and recorded assuring maintenance of all private streets (Tailoff way, Lug Way, Cleat way and 4th street) and all private drives. The Homeowner's Association shall maintain all private streets, private drives, lights, private utilities, common landscaping/open space (Lot A), common areas and the landscaping sliver within parcel 4 along the west side of 4th street.

Fire Department

- B39. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- B40. Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 508.4
- B41. The furthest projection of the exterior wall of a building shall be accessible from within 150 ft of an approved Fire Department access road and water supply as measured by an unobstructed route around the exterior of the building. (CFC 503.1.1)
- B42. Provide appropriate Knox access for site- *Shall apply to all proposed R-2 occupancies.*
- B43. An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 3,599 square feet. *This shall apply to all proposed R-2 occupancies.*
- B44. Locate and identify Fire Department Connections (FDCs) on address side of building no further than 50 feet and no closer than 15 feet from a fire hydrant. *Shall apply to all proposed R-2 occupancies.*
- B45. An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. Fire control rooms shall be located within the building at a location approved by the Chief, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. CFC 903.8 *Shall apply to all proposed R-2 occupancies.*
- B46. Provide at least 5' setback for second story and 8' for third story bedroom windows to allow for fire ladder rescue operations. Provide clear access to buildings openings, free to landscaping and other obstructions. Exterior doors and openings required by this code or the Building Code shall be maintained readily accessible for emergency access by the Fire Department. CFC 504.1
- B47. Applicant must explain the potential use of tunnel and provide access for rescue operations.

Utilities Department

- B48. The onsite water, sewer and storm drain systems shall be private systems maintained by the association. Prior to the initiation of any water, sanitary sewer or storm drainage services to the condominium project, an ownership association shall be formed and C.C. & R.s shall be approved by the City and recorded assuring maintenance of sanitary sewer, water and storm drainage facilities within the condominium project. The C.C. & R.s shall authorize the association to contract on behalf of all owners within the condominium project for sanitary sewer, water and storm drainage services for the condominium units, common areas and all other areas within the condominium project.
- B49. Prior to the initiation of any water or storm drainage services to the condominium project, the owner(s) and ownership association shall enter into a utility service agreement with the City to receive such utility services at points of service designated by the DOU. Such agreement shall provide, among other requirements, for payment of all charges for the condominium project's water and storm drainage services, shall authorize discontinuance of utility services at the City's points of service in the event that all or any portion of such charges are not paid when and as required, shall require compliance with all relevant utility billing and maintenance requirements of the City, shall require sub-metering of water service to the condominium units if requested by the DOU or required by any other government agency, and shall be in a form approved by the City Attorney.
- B50. A water study for this project shall be completed by the applicant and shall be approved by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be a least 30 pounds per square inch and (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. Contact the Department of Utilities for the pressure boundary conditions to be used in the water study.
- B51. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy. Any new domestic water services shall be metered
- B52. Two points of connection for the water distribution system for this subdivision or any phase of this subdivision are required.
- B53. If required by the DOU, the applicant shall enter into and record a Hold Harmless Agreement, in a form acceptable to the City Attorney, for all lots within the subdivision regarding the placement of water meters within driveways, walkways, hardscape and concrete or asphalt concrete (AC) flat work.
- B54. Decorative paving which is removed by the City while repairing, maintaining and/or replacing surface and subsurface water, drainage and sanitary sewer facilities will be repaved with asphalt concrete (AC). A business association and/or homeowners association shall be responsible for replacing the decorative paving at no cost to the City. The business and/or homeowners associations shall enter into and record a hold

harmless agreement, in a form acceptable to the City Attorney, regarding the removal and replacement of decorative paving by the City.

- B55. Dedicate all private streets and a minimum of 3 feet adjacent to private streets as public easement for water, sewer, drainage facilities and dry utilities. This easement shall be reviewed and approved by the Department of Utilities prior to recordation of the Final Map.
- B56. Public and private streets with City maintained water, sewer and drainage facilities shall have a minimum paved AC (asphalt concrete) width of 25-feet from the lip of curb to the lip of curb (i.e. water, sewer and drainage). Drain inlets, curb and gutter shall be constructed to City Standards for residential streets.
- B57. No public water, sewer or drainage mains shall be placed under the planter area.
- B58. Public sewer and drainage mains shall be separate systems.
- B59. Public storm drain, water and sanitary sewer mains shall be designed and constructed within the asphalt section of public street right-of-ways as per the City's Design and Procedures Manual, unless otherwise approved by the DOU.
- B60. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The Combined Sewer System fee at time of building permit is estimated to be \$358,978.31 plus any increases to the fee due to inflation. The fee will be used for improvements to the CSS.
- B61. Drain inlets shall be 6 inches above the 10-year HGL. Finished lot pad elevations shall be a minimum of 1.2 feet above the 100-year HGL and a minimum of 1.5 feet above the local controlling overland flow release elevation, whichever is higher or as approved by DOU.
- B62. Prior to or concurrent with the submittal of improvement plans, a combined sanitary sewer study is required for the entire project and shall be approved by the DOU. The study shall provide an analysis of the pre and post development condition of both the sewer and drainage flow that is contributing to the combined system. The drainage study shall include an overland flow release map for the proposed project. If it is shown that the post development conditions cause an increase in flow to the combined system, either onsite storage and/or improvements to existing combined sanitary system will be required to the satisfaction of the DOU.
- B63. Per City Code, the Subdivider may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable

to the City Attorney. Sufficient off-site and on-site spot elevations shall be provided in the drainage study to determine the direction of storm drain runoff.

- B64. The applicant shall design and construct the private detention basin on Lot A to the satisfaction of the DOU and Parks and Recreation Department pursuant to City Standards. A separate set of improvement plans shall be prepared for the detention basin.
- B65. An as-built survey of the drainage basin is required prior to issuance of a notice of completion for the subdivision.
- B66. The applicant or HOA shall properly maintain the temporary detention basin to City standards. To ensure proper maintenance, the applicant shall enter into a maintenance agreement with the City which may require posting or depositing with the City of unconditional security for performance of the applicant's obligations, which security is adequate in the sole and exclusive discretion of the City, and which is in a form acceptable to the City Attorney.
- B67. A note stating the following shall be placed on the Final Map: "Where necessary private reciprocal easement for ingress/egress, utilities, drainage, water and sanitary sewer facilities, and surface storm drainage, shall be granted and reserved, as necessary and at no cost, at or before the time of sale or conveyance of any parcel shown in this map."
- B68. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
- B69. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B70. Stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development in the area. Since the project is in the combined sewer area, only source controls are required. Storm drain public notice message is required at all drain inlets. Improvement plans must include the source controls measures selected for the site. Refer to the "Stormwater Quality Design Manual for the Sacramento and South Placer Regions".
- B71. All existing easements and all existing right-of-ways shall be shown on the Final Map.

Solid Waste Division

- B72. Project must meet the requirements outlined in Sacramento City Code Chapter 17.72.

- B73. Solid waste trucks must be able to safely move about the property, with minimum backing, and be able to empty the bins and cans safely. When a solid waste truck has to make a turn, such as in and out of an alley, the truck must be able to make the turn safely around obstacles, such as tree wells and other planters. Please see the file "Truck, bin, can dimensions.xlsx" for the dimensions of a City solid waste truck, including turning radius, to confirm the truck can safely make all necessary turns.
- B74. All residences in this project are single family or condominium units, which are required by City Code Chapter 13.10 to be served by City of Sacramento Solid Waste Services.
- B75. Residents must place solid waste cans curbside on closest street. Cans cannot be placed in alleys.
- B76. All streets must be of standard public street construction, or a waiver must be submitted releasing the City of Sacramento of liability for normal wear-and-tear damage due to standard collection operations. This does not apply to alleys, as the City's solid waste vehicles will not be collected from alleys.
- B77. Homes facing a private alley or street are able to waive yard waste service, if desired. Homes facing a public street, however, may be required to have yard waste service. Or, the HOA must agree to maintain yard waste removal for all homes within the project.
- B78. HOA will provide a landscaping service for all common area greenery. Landscaper will then haul away yard waste.

Regional Transit

- B79. The project shall include a bus stop on 5th Street, somewhere between Crate Avenue and Cleat Way, at the developer's discretion. The bus stop shall be on the far side (south side) of an intersection and requires a vertical curb and a reinforced concrete pad where the bus will be stopping. Please contact Robert Hendrix at (916) 649-2759 for design specifics and final approval on bus stop location.
- B80. When Phase 4 is under way, the sidewalk on Broadway shall be built to accommodate a bus stop, with a vertical curb and reinforced concrete pad.
- B81. Project construction shall not disrupt transit service or pedestrian access to transit stops/stations.
- B82. Pedestrian access to 5th Street shall not be obstructed by any fences, walls, or other barriers.
- B83. Transit information shall be displayed in a prominent location in the residential sales/rental office, through a homeowner's association, or with real estate transactions.

Advisory notes for the **Special Permit**:

Planning

1. Final approved conditions of approval and project exhibits shall be included on full-size sheets as part of the building permit submittal. Additionally, an affidavit signed by the applicant that affirms the plans submitted for building permit comply with all conditions of approval and approved exhibits shall also be included.

Fire Department

2. An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 3,599 square feet. *Per the newly adopted 2010 California Residential Code, all new residential construction including 1 and 2 family dwellings and townhouses will be required to be sprinklered effective January 1, 2011.*

Utilities Department

3. Many projects within the City of Sacramento require on-site booster pumps for fire suppression and domestic water system. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the applicant's engineers in the design of the on-site domestic, irrigation and fire suppression systems.
4. Location of the wet utilities in the street without center medians shall be as follows, drainage mains shall be placed in the centerline of the street, water mains shall be placed north and west of the centerline and the sewer main shall be placed south and east of the centerline. The location of wet utilities in streets with medians shall be approved by DOU pursuant to City Standards prior to design.
5. The proposed project is located in the Flood zone designated as **Shaded X** zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective February 18, 2005. Within the Shaded X zone, there are no requirements to elevate or flood proof.
6. The applicant is responsible for obtaining all necessary permits, easements and approvals from federal, state and local agencies, and private landowners for the construction of this project.

Regional Transit

7. Develop a program to offer transit passes at a 50% or greater discount to new homeowners for a period of six months or more. Program shall be reviewed and approved by RT prior to approval of any special permit for the project.

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- Exhibit D: Phase 1 Planting Plan – 1 page
- Exhibit E: Phase 1 Product Type Key Map – 1 page
- Exhibit F: Phase 1 Circulation Plan – 1 page
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- Exhibit H: Interior Circulation Plan – Urban Courts and Towns – 1 page
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- Exhibit M: The Towns – 11 pages
- Exhibit N: Urban Courts – 25 pages
- Exhibit O: Cottages – 6 pages
- Exhibit P: Cottage Townhomes – 9 pages
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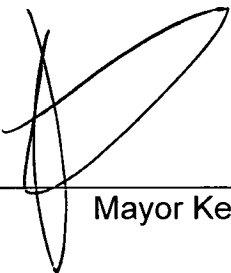
Adopted by the City of Sacramento City Council on August 23, 2011 by the following vote:

Ayes: Councilmembers Ashby, Cohn, D Fong, R Fong, McCarty, Pannell, Schenirer, Sheedy, and Mayor Johnson.

Noes: None.

Abstain: None.

Absent: None.



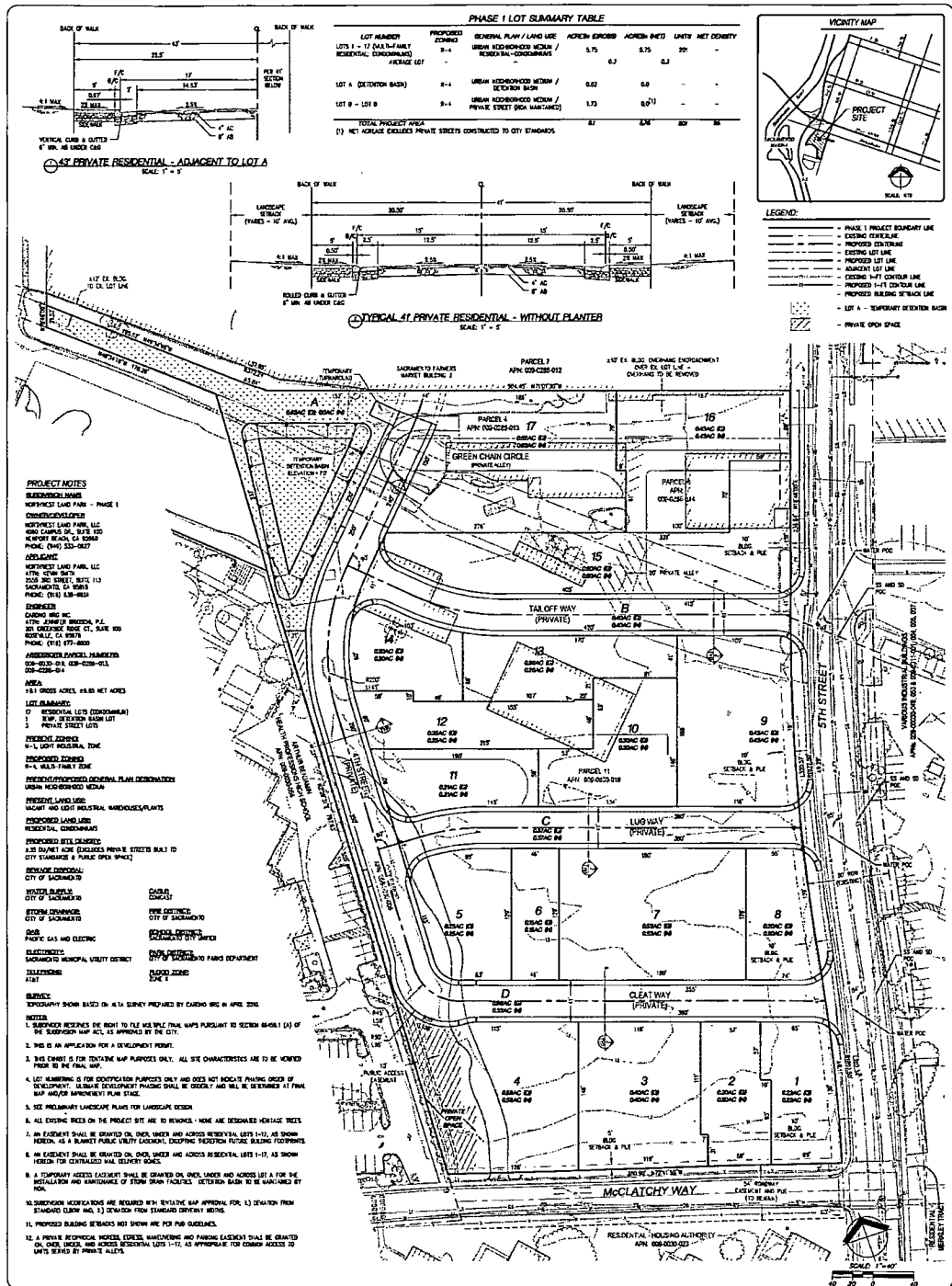
Mayor Kevin Johnson

Attest:



Shirley Concolino, City Clerk

Exhibit A: Phase 1 Tentative Map



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301 CENTER STREET, SUITE 100 SACRAMENTO, CA 95811
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Planning / Engineering / Landscape Architecture / Surveying

TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES - PHASE 1
NORTHWEST LAND PARK
 NORTHWEST LAND PARK, LLC
 SACRAMENTO, CALIFORNIA



PROJECT NO: 1000-1025-011
 DATE: 08/23/11
 CHECKED BY: JMM
 DRAWN BY: JMM
 CHECKED BY: JMM

TENTATIVE
 MAP
 PHASE 1

Exhibit C: Phase 1 Special Permit Site Plan

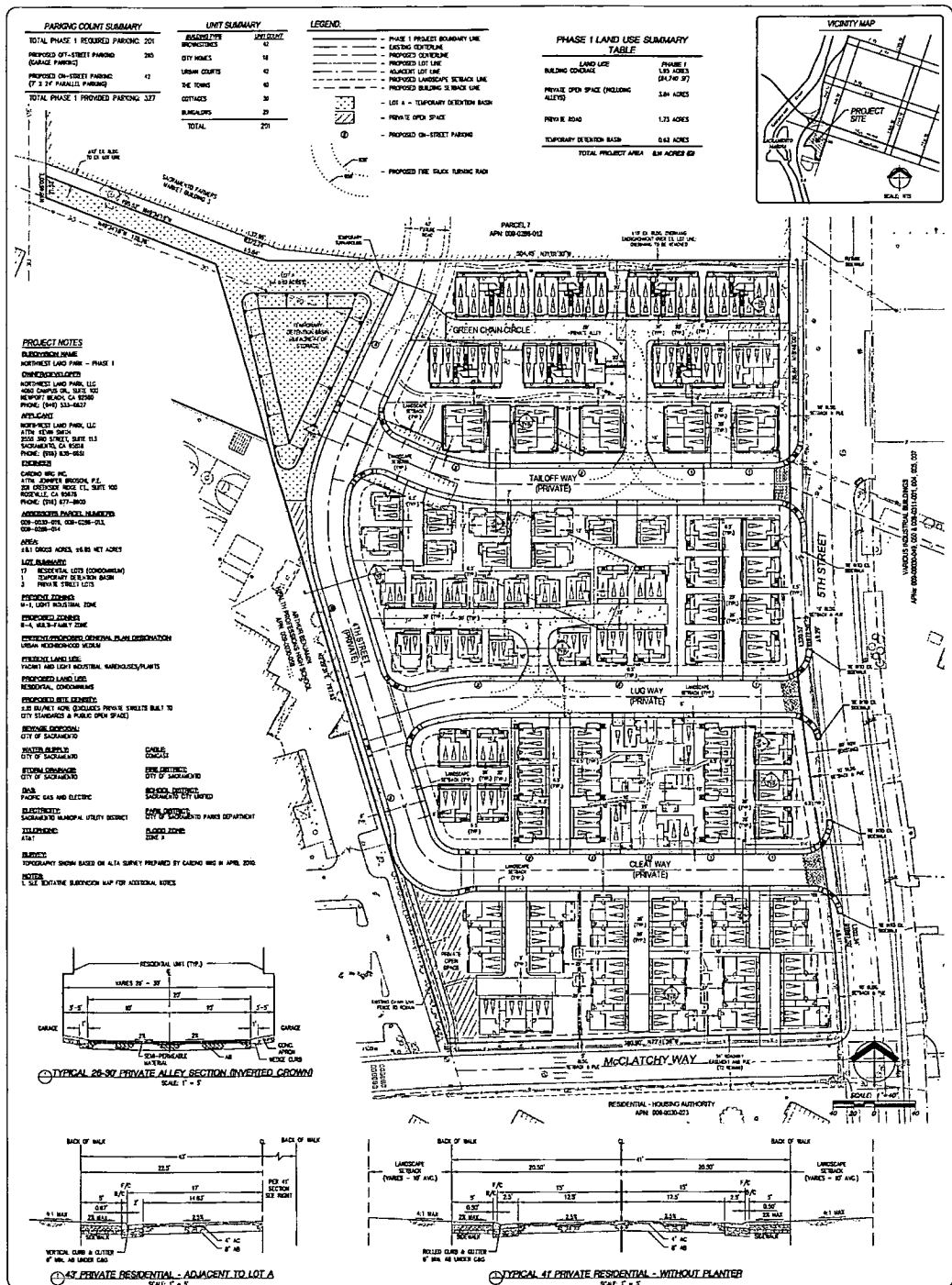
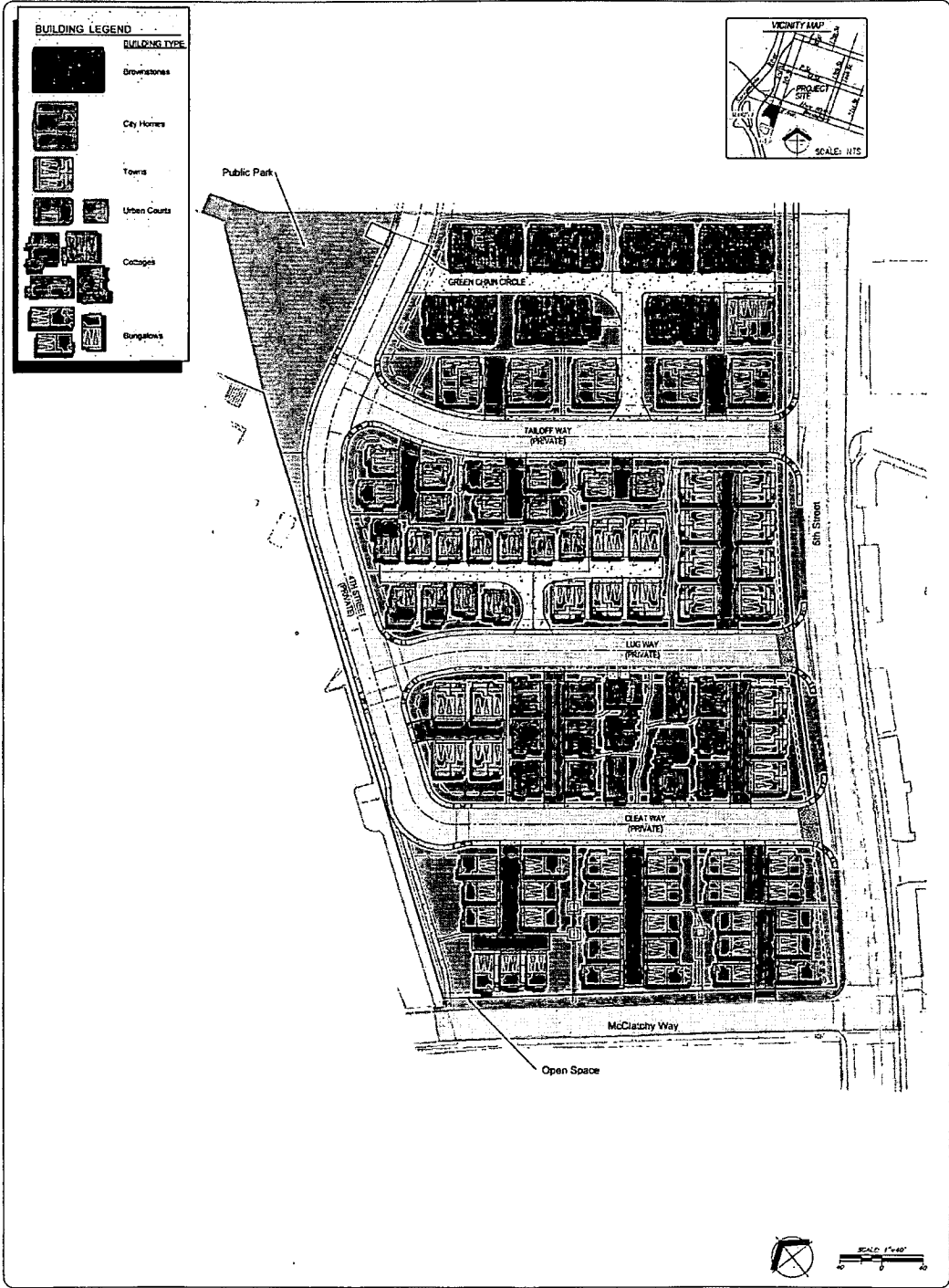


Exhibit E: Phase 1 Product Type Key Map

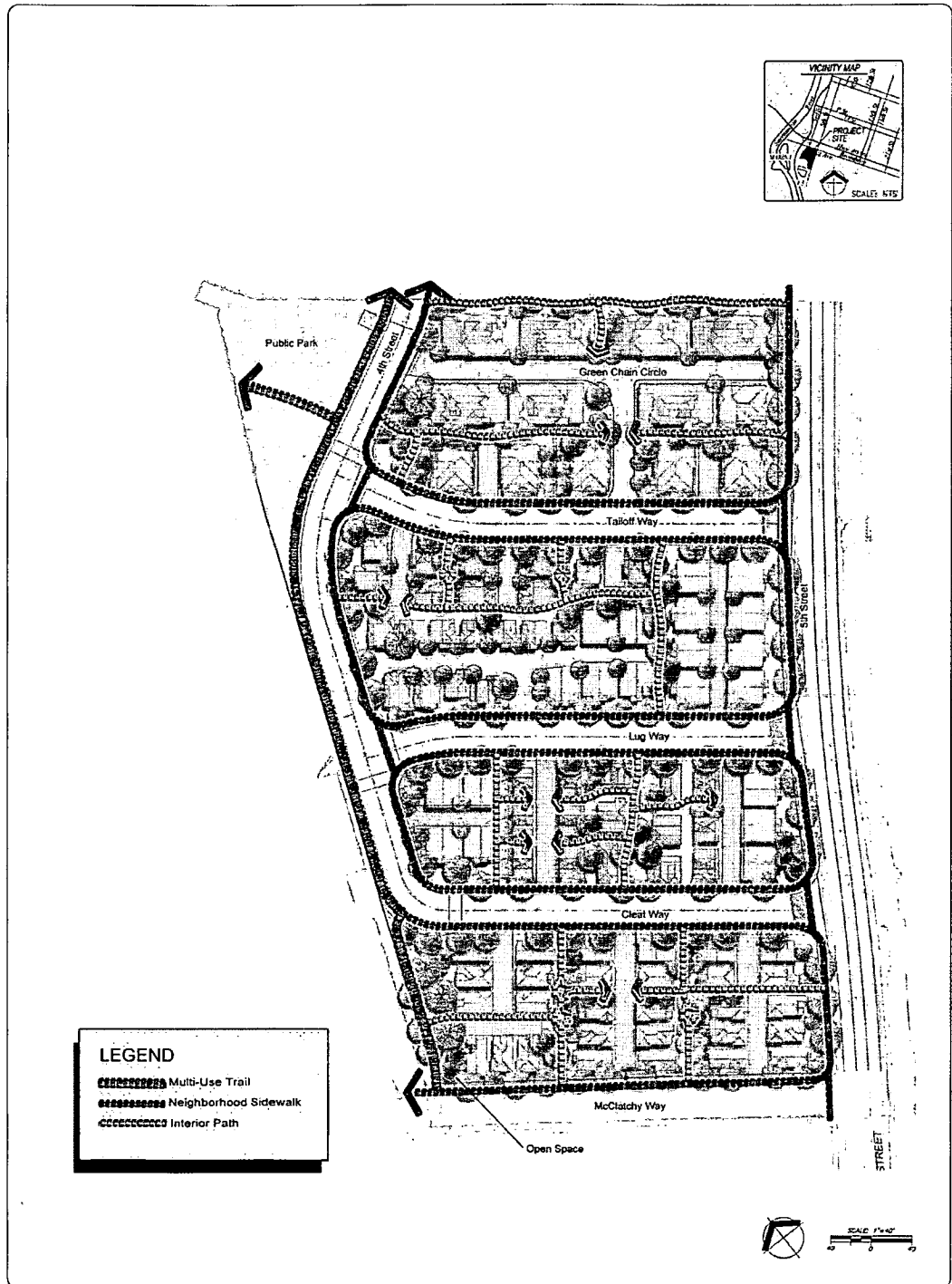


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 PLANNING - ENGINEERING - LANDSCAPE ARCHITECTURE - SURVEYING

PRODUCT TYPE KEY MAP
 NORTHWEST LAND PARK, LLC
 SACRAMENTO, CALIFORNIA

PROJECT NO.	00000002
DATE	06-10-11
DESIGNED BY	KCS/MS
DRAWN BY	KLS
CHECKED BY	JM

Exhibit F: Phase 1 Circulation Plan

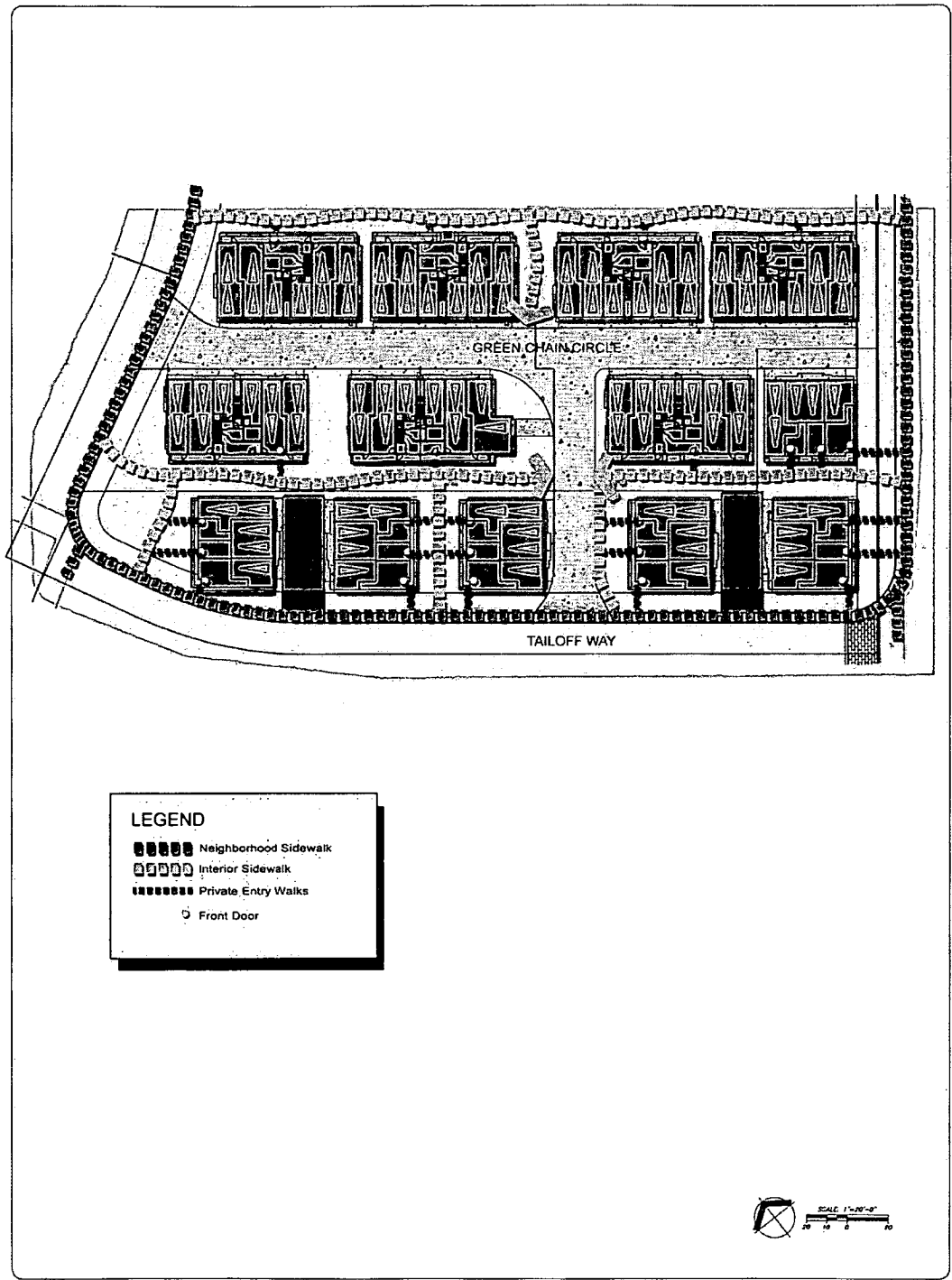


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PHASE 1 CIRCULATION PLAN
NORTHWEST LAND PARK, LLC
SACRAMENTO, CALIFORNIA

PROJECT NO.	10000000
DATE	08.09.11
DESIGNED BY	WELLMAN
DRAWN BY	K.S.
CHECKED BY	JOB

Exhibit G: Interior Circulation Plan – Brownstones and City Homes

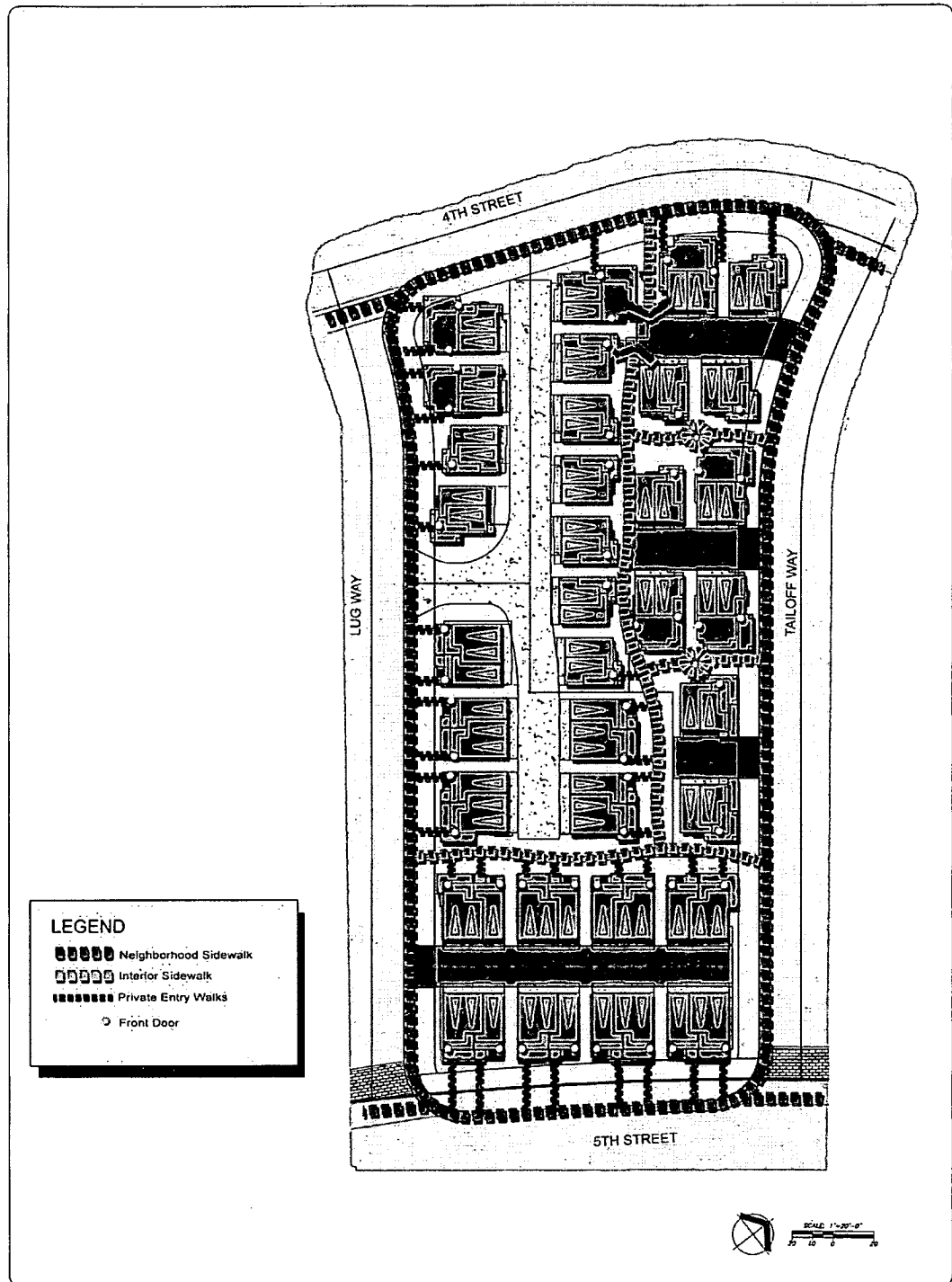


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INTERIOR CIRCULATION PLAN -
BROWNSTONES AND CITY HOMES
NORTHWEST LAND PARK, LLC
SACRAMENTO, CALIFORNIA

PROJECT NO.	00000000
DATE	04-19-11
DESIGNED BY	WHL/ML
CHECKED BY	WHL
DRAWN BY	JAB

Exhibit H: Interior Circulation Plan – Urban Courts and Towns

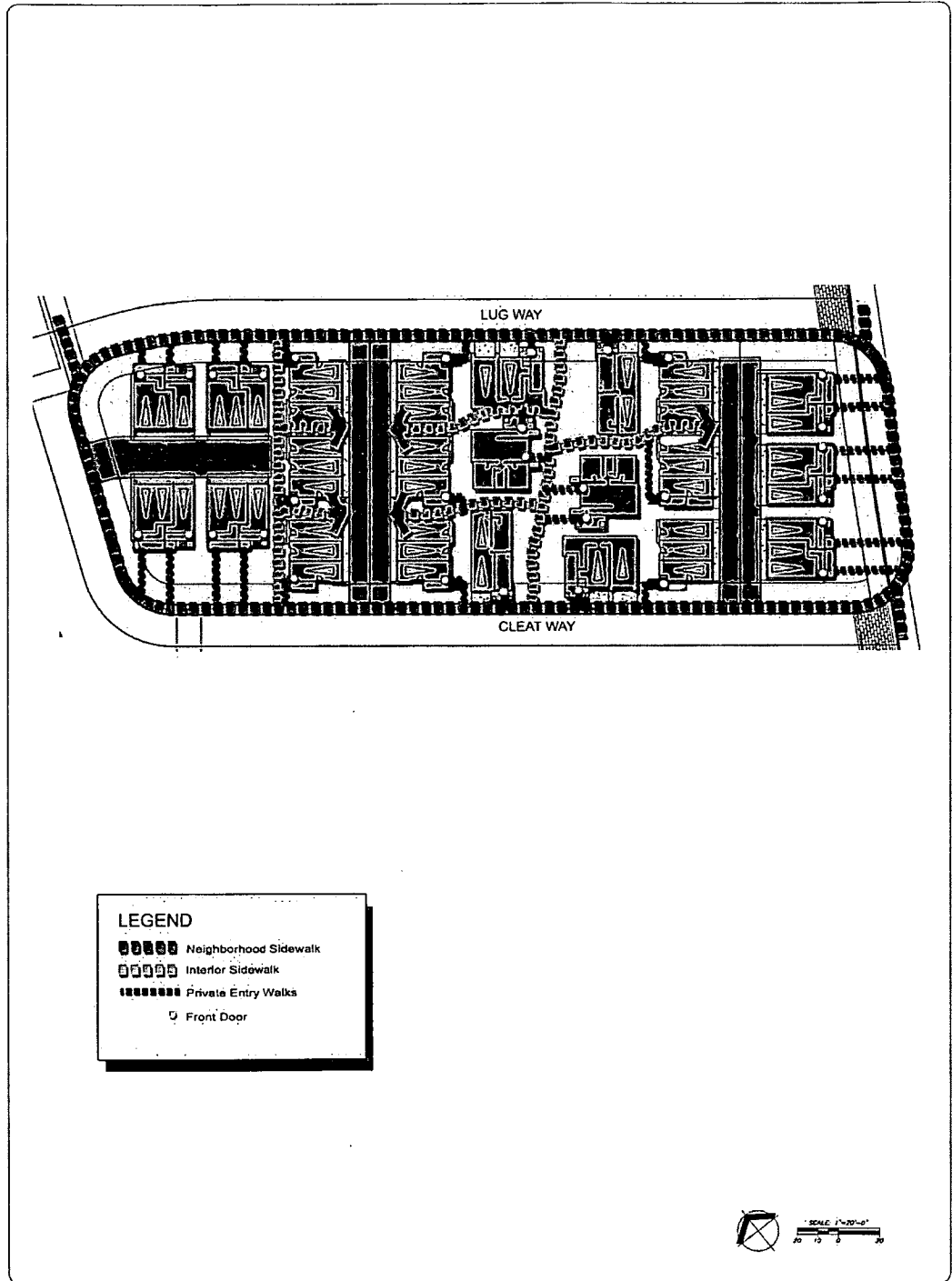


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A MAHLE | BINDER | LANGRISH ARCHITECTS | PARTNER

INTERIOR CIRCULATION PLAN -
URBAN COURTS AND TOWNS
NORTHWEST LAND PARK, LLC
SACRAMENTO, CALIFORNIA

PROJECT NO.	2011-011
DATE	08/23/11
DESIGNED BY	WJL
DRAWN BY	WJL
CHECKED BY	JAE

Exhibit I: Interior Circulation Plan – Cottages and Towns

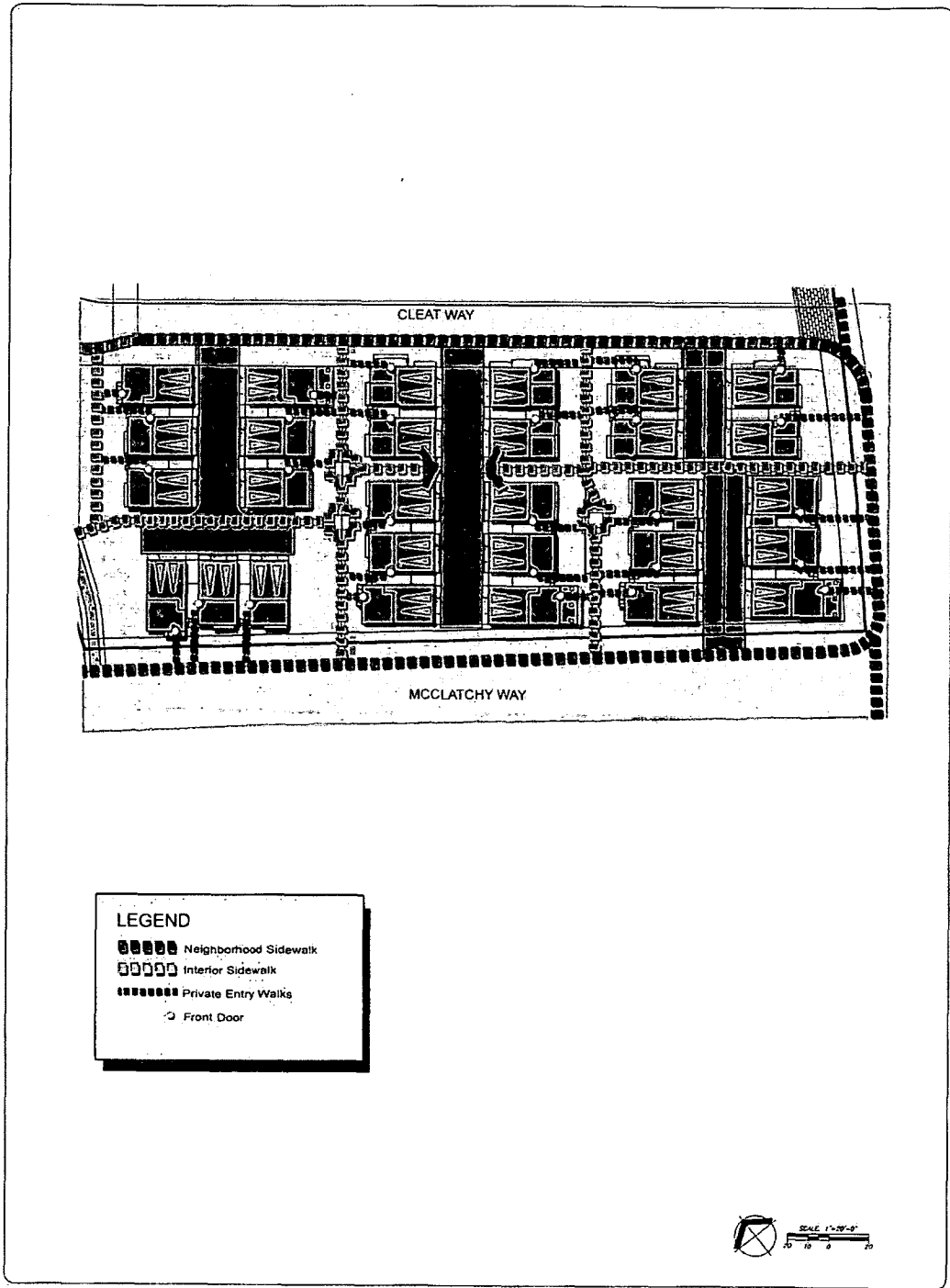


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INTERIOR CIRCULATION PLAN -
COTTAGES & TOWNS
NORTHWEST LAND PARK, LLC
SACRAMENTO, CALIFORNIA

PROJECT NO.	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
	08-23-11	WDL/JAE	WDL	JAE

Exhibit J: Interior Circulation Plan – Bungalows



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INTERIOR CIRCULATION PLAN -
BUNGALOWS
NORTHWEST LAND PARK, LLC
SACRAMENTO, CALIFORNIA

PROJECT NO.	04-13-11
DATE	04-13-11
DESIGNED BY	WRG
DRAWN BY	WRG
CHECKED BY	WRG

Date: July 12, 2010
 Preliminary 2007 CBC, Revised
 R-2 residential, Type V-A (one-hour) construction, NFPA 13 sprinklers

1. Occupancy
 a. Residential, R-2 (Section 310)
 b. Changes in use are permitted together (312 and 1103A.3.1)

2. Maximum Stories/Height
 a. Maximum height of the building will be 90'-00" (sprinkler increase, but not over 100' (Table 502 and 502.3)).
 b. Max stories (Table 503 and 504.2) = 4 stories
 1. Maximum per 502.3 see table of story mass.
 1. Aggregate area does not exceed 1/3 of the floor area of that story in which it is located (502.3).

3. Building Area
 a. Maximum building area per floor:
 i. A1 = 42,000 sf (Table 503)
 ii. Assume no height increase, H = 0
 iii. H = 2 in addition to story height increases (503.3)
 iv. Maximum area per floor A1a = 12,000 + (11,000 x 2) = 34,000 sf.
 b. Maximum Building Area (509.4) = A1a x 3 = 102,000 sf

4. Buildings on the Same Lot
 a. Two or more buildings on the same lot shall be considered as portions of the same building if the aggregate area of every building is within the limits established in Chapter 10 or a specific building (M.A.L. exception).
 i. Total area housing = 102,000 sf
 ii. 75,000 sf max = 102,000 sf story = 6 stories maximum on one lot, except for townhomes (502.1.2)

5. Fire Walls
 a. Show the actual area of the building per floor to not be more than 34,000 sf, and the total building area is less than 102,000 sf. There is no requirement for fire walls (502.1.2) if area does not exceed (M.A.L. exception).

6. Fire Resistance of Building Elements (Table 501)
 a. Structural Frame: 1 hour
 b. Exterior Walls, Windows & Etc.: 1 hour
 c. Non-bearing walls and partitions (Table 501 & 502):
 i. Fire Separation 2-COP-1
 ii. Fire Separation 2-A-20-0
 d. Floors: 1 or heavy timber
 e. Roof: 1 or heavy timber

7. Fire Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance (Table 502)
 a. 2x-8" 1 hour
 b. 2x-12" 0

8. Projections (Including Balconies)
 a. Maximum Projection: Max 12 inches where overhangs prohibited (104.2.3)
 b. Overhang prohibited where $K = 0.7$ (Table 704.6)
 c. Projections allowed where $K = 0.7$
 d. Combustible projections where overhangs are not permitted shall be 4 inches max (104.2.3)
 e. Maximum Area of Exterior Openings (Table 704.6 & 704.6.1)
 a. X-axis percent of facade
 1. $0.4x + 0.3$ Not Permitted
 2. $0.4x + 0.6$ 10%
 3. $0.4x + 0.9$ 25%
 4. $1.0x + 1.5$ 45%

10. Elevators
 a. Enclosed lobby not required in non-high-rise with automatic transfer switches (102.14.1, exception 4)

11. Unit/Occupancy Separation
 a. Between Units
 i. Walls and Supporting Structures: 1 hour fire partitions (709.3 and 709.4)
 ii. Floors and Supporting Structures: 1 hour (711.2 and 711.4)
 b. Residential to Private Garages per 406.1.4 (Table 509.3.3 and 406.1.4)

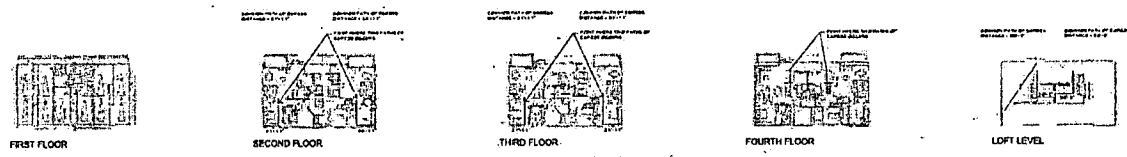
12. Stairways: NFPA 13 per 503.3.1.1

13. Egress
 a. Occupant Load: $(400 \text{ ft}^2 \text{ floor}) / (100 \text{ ft}^2) = 78,720 / 100 = 787$ occupant load = 888 occupant load
 b. Egress Width: Table 1008.1
 i. Stairways: Proportional to unit area (57 sq ft) = 1.78"
 ii. 36" min (1009.1, exception 1)
 iii. Corridors: 36" min (1017.2, exception 2)
 c. Accessible Means of Egress (1007.1)
 i. Occupant Load: 888
 ii. Accessible means of egress shall be provided with not less than one accessible means of egress. Where more than one means of egress is required by 1018.1 or 1019.1 from any accessible space, each accessible portion of the space shall be served by accessible means of egress in at least the same number as required by 1018.1 or 1019.1.
 1. Each unit is an accessible space
 2. Maximum Occupant Load = 8495

3. One wall is required from a space with occupant load > 10 (1018.1, Table 1018.1)
 4. One accessible means of egress required
 5. One accessible elevator (1007.2.1) and one accessible stair provided

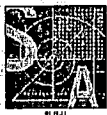
6. Stairs
 i. Width: 44"
 1. Min. Rise (1003.3.4) = 7.75"
 2. Min. Riser: 10"
 3. Min. Landing: 44" wide
 ii. Circles: 44"
 1. Min. Rise (1003.3) = 7"
 2. Min. Riser: 11"
 iii. Accessible Stair
 1. 1100 (1009.3.3 and 1009.11 and 1009.1, exception 1) 30" minimum
 2. Areas of Refuge: Existing Agency may reduce requirement if one area where occupants load on floors 200 (1007.2.2 and 1007.6.1, exception 4)
 a. Max Occupant Load = 12,055
 iv. Landings
 1. Doors opening onto landings shall not reduce landing to less than one half required width (1009.4.2)
 2. Common Path of Egress Travel: 120' max with NFPA 13 fire sprinklers (1014.5, exception 4)

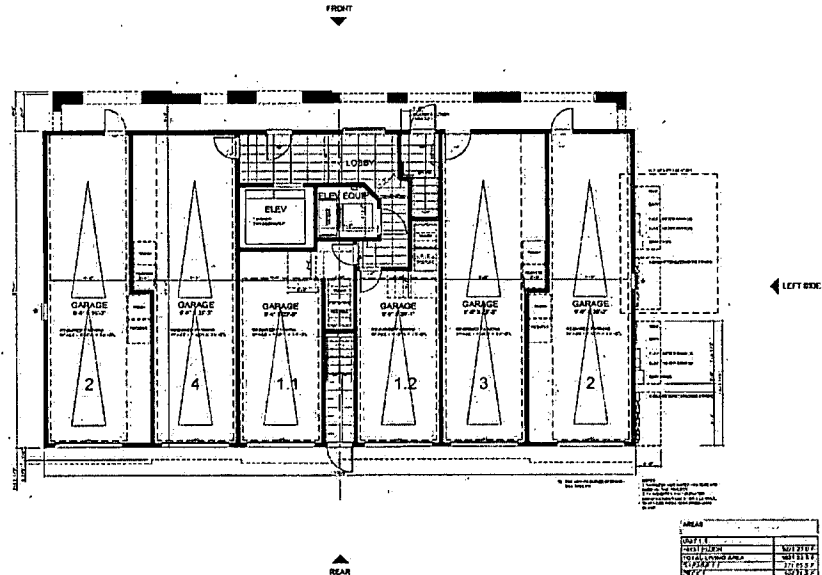
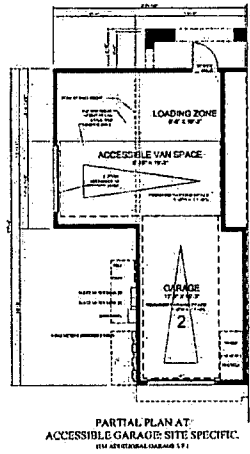
14. Accessibility within Building (see access, guest parking not in this review)
 a. Units
 i. All units are covered units (1103A.1.2 & 1103A.3.2)
 ii. Units, floors 1, 2, 3, 4 shall be accessible (1103A.1.2)
 iii. Townhomes, units 3 & 4: Entry served by elevator shall be accessible (1103A.3.2)
 b. Changes in Egress: 1. Egress routes shall be provided to all portions of building covered with route for public, connected building entrance to each unit, accessible to elevator (1117A.2)
 2. Path from non-accessible and stairs and an accessible route is not required to be accessible.
 c. Interior Routes of Travel: Accessible route provided to all portions of building covered with route for public, connected building entrance to each unit, accessible to elevator (1117A.2)
 i. Elevation shall comply with 1124A
 ii. 1124B shall comply with 1124A-1124B
 10. Vertical Circulation
 a. 1200 applies only to openings that provide required natural light or ventilation (1200.1 and ICC Commentary)
 b. Walls or ceilings with openings that do not provide required natural light or ventilation do not need to comply with 1200 requirements
 c. Balconies included on only 2 stories in a yard (1202)
 3. 4 story yards with required openings shall be if more than 100' (1202.1) 1 story over 2 = 4 = 2 = 1 = 1 (1202.2)
 4. Yard: measure width shall be measured from the ground to the sky (1202)
 c. Note: no required openings are located on sides of buildings



COMMON PATH OF EGRESS TRAVEL (CPET) DIAGRAMS

CODE ANALYSIS
 WITH
NORTHWEST LAND PARK - BROWNSTONES
 NORTHWEST LAND PARK, LLC



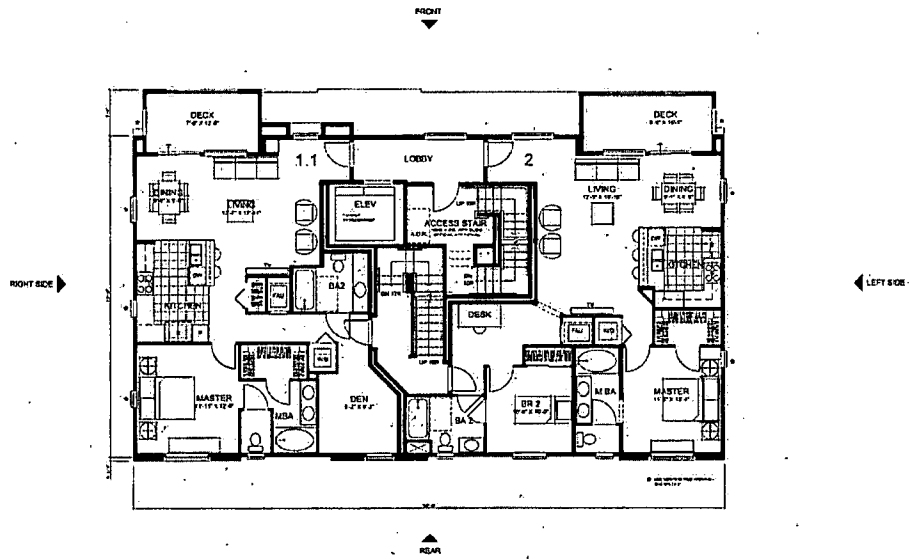


6-PLEX
FIRST FLOOR BUILDING PLAN
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



AREA	
OFFICE	101.00 SF
REAR PORCH	101.00 SF
TOTAL GARAGE AREA	1,011.00 SF
STAIRS	101.00 SF
CL. 1	101.00 SF
CL. 2	101.00 SF
CL. 3	101.00 SF
CL. 4	101.00 SF
CL. 5	101.00 SF
CL. 6	101.00 SF
CL. 7	101.00 SF
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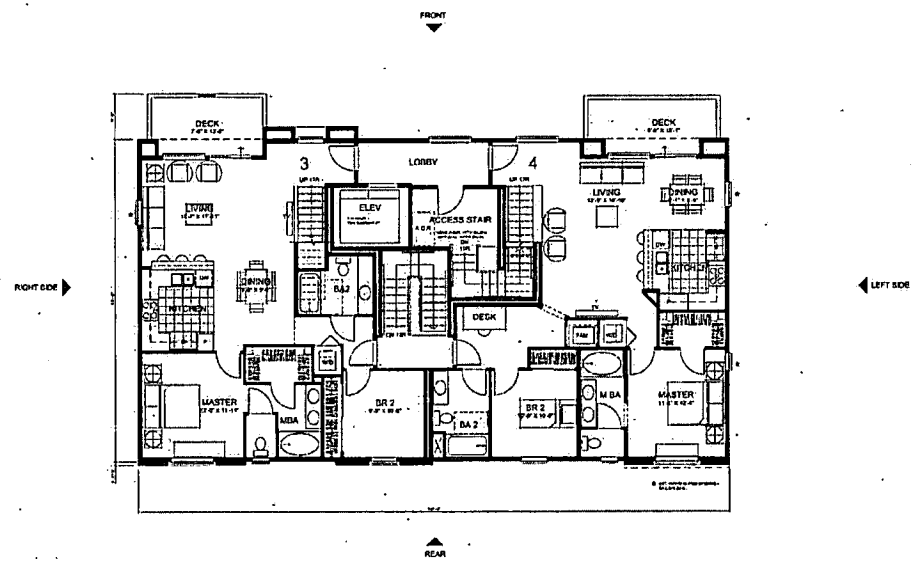


6-PLEX
SECOND FLOOR BUILDING PLAN
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



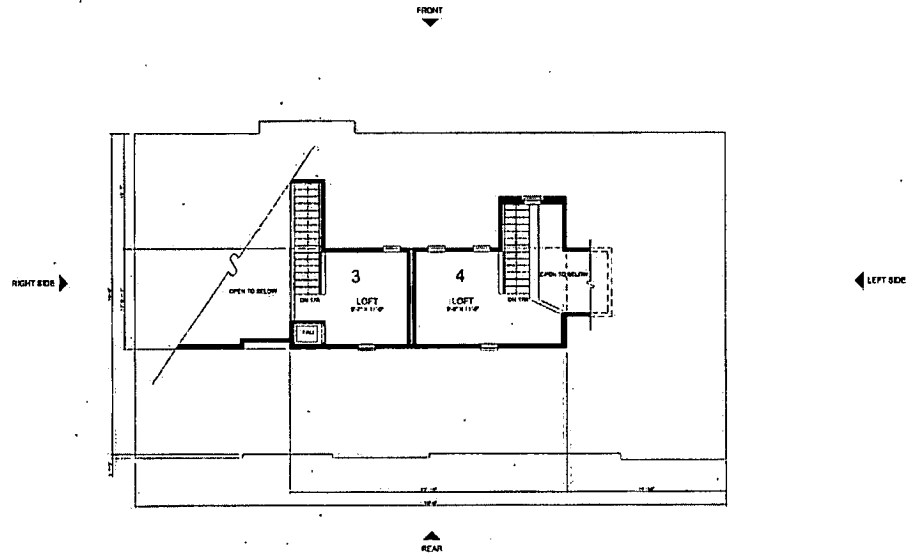
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6-PLEX
 FOURTH FLOOR BUILDING PLAN
 ELEVATION STYLE - 'A'
 NORTHWEST LAND PARK - BROWNSTONES
 NORTHWEST LAND PARK, LLC

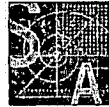


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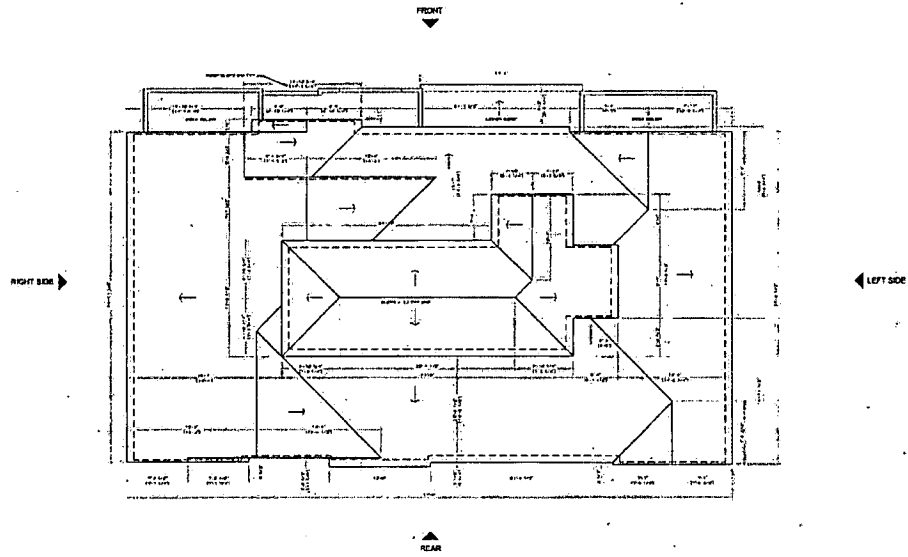


6-PLEX
LOFT LEVEL BUILDING PLAN
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC

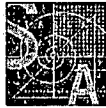


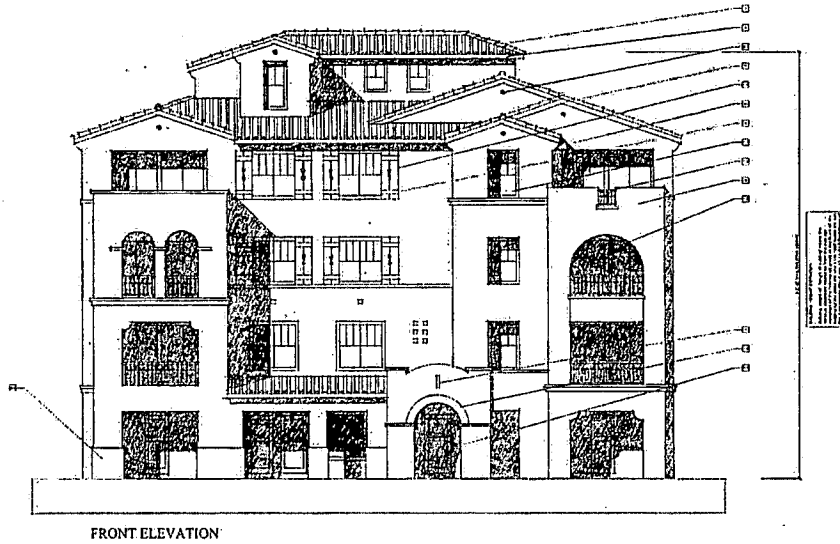
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6-PLEX
ROOF PLAN
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



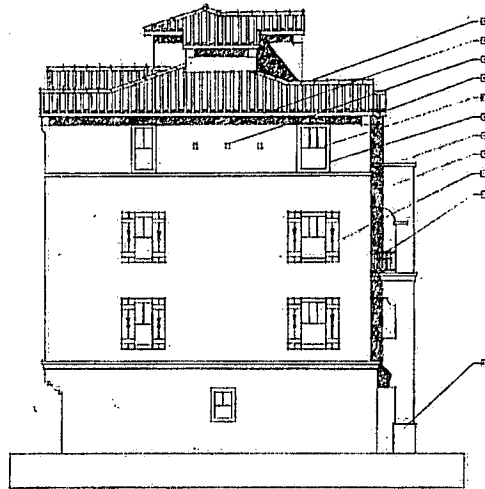


EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

UP-11-P
NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERIOL COLOR TILE ROOF
[Symbol]	INTERIOL COLOR FLAT TILE ROOF
[Symbol]	INTERIOL COLOR PLASTER
[Symbol]	EIFS PANEL
[Symbol]	PAVING BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER CORNISH
[Symbol]	PLASTER MOUNTING STRIP
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	PLASTER TRIM
[Symbol]	SOFTI FINISH
[Symbol]	HORIZONTAL SIDING
[Symbol]	DECORATIVE SHUTTER
[Symbol]	BRICK SYSTEM VENEER
[Symbol]	RAIL / SPANDREL
[Symbol]	METAL RAIL / SPANDREL
[Symbol]	FORMAL GLASS ENTRY DOOR
[Symbol]	GLASS GLASS DOOR
[Symbol]	METAL GLASS DOOR w/ MESH DOOR
[Symbol]	STONE GLASS DOOR
[Symbol]	DECORATIVE ASCENT TILE
[Symbol]	DECORATIVE - ENT
[Symbol]	HEAVY TEXTURE PLASTER
[Symbol]	PLASTER PLANKING
[Symbol]	EXPANDED GYPSUM
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



LEFT SIDE ELEVATION
SIMILAR FOR STYLES 'D' AND 'E'

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERIOR GLOSSY TILE ROOF
[Symbol]	INTERIOR GLOSSY FLAT TILE ROOF
[Symbol]	INTERIOR GLOSSY PLASTER
[Symbol]	EIFS FINISH
[Symbol]	EXTERIOR BOARD
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER CORNER
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[Symbol]	DEGRADATIVE PLASTER PALETTE
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[Symbol]	DEGRADATIVE TRIM
[Symbol]	TRIM / TRIM PLASTER
[Symbol]	PLASTER FINISH
[Symbol]	EXPANSION JOINT

*ALL METAL AND WOOD ELEMENTS TO BE PAINTED



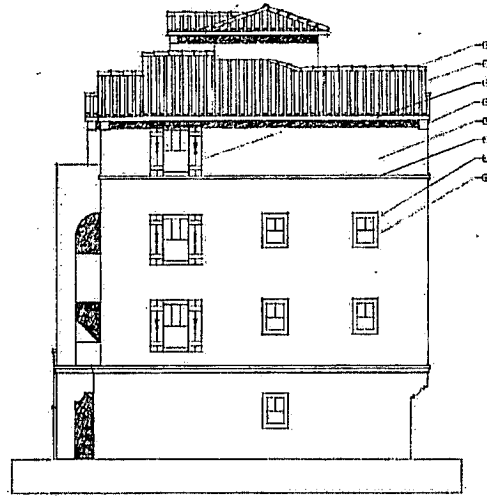
REAR ELEVATION .

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS.	
☐	INTERNAL GULCH S-TILE ROOF
☐	INTERNAL GULCH FLAT TILE ROOF
☐	INTERNAL GULCH PLASTER
☐	5'-X-5' PANEL
☐	SHIMMER BOARD
☐	PLASTER CORNER
☐	PLASTER CORNER
☐	PLASTER CORNER TRIM
☐	REGULATIVE PLASTER PROJECTION
☐	PLASTER TRIM
☐	JOINT BAND
☐	HORIZONTAL BOARD
☐	REGULATIVE BUTTER
☐	REGULATIVE VENEER
☐	RAIL / BOARDWALK
☐	METAL RAIL / BOARDWALK
☐	FINISHED GATE PIER
☐	STEEL WALK DOOR
☐	METAL REGULAR GARAGE DOOR
☐	STORAGE CABINET
☐	REGULATIVE PLASTER TRIM
☐	REGULATIVE VENT
☐	HEAVY TRIPLE PLASTER
☐	PLASTER MANAGED
☐	EXPANSION JOINT
* ALL METAL AND HARD ELEMENTS TO BE PAINTED	



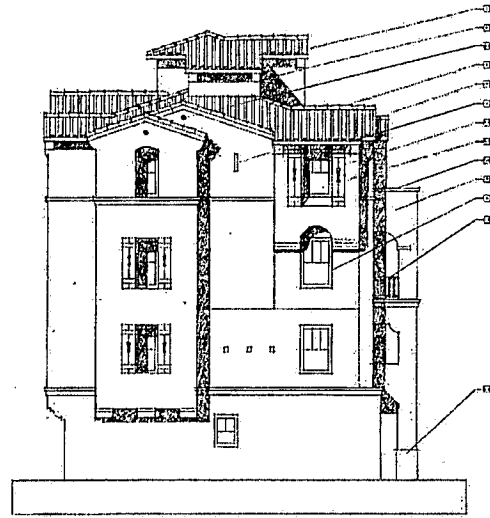
RIGHT SIDE ELEVATION
SIMILAR FOR STYLES 'D' AND 'E'

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

1/4" = 1'-0"
NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



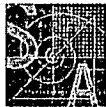
TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL CORNER 9" TILT ROOF
[Symbol]	INTERNAL CORNER FLAT TILT ROOF
[Symbol]	INTERNAL CORNER PLASTER
[Symbol]	2" F.F. B.C.A.
[Symbol]	1/2" INS. BOARD
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER HOOKUP TIE
[Symbol]	REGULATIVE PLASTER INSULATION
[Symbol]	PLASTER TIE
[Symbol]	VERT. HYDRON
[Symbol]	HORIZONTAL BRICK
[Symbol]	REGULATIVE GAFFER
[Symbol]	BRICK PATTERN VERTICAL
[Symbol]	BRICK / MASONRY
[Symbol]	METAL, GALV. / GALVANNEAL
[Symbol]	FABRICATION BIRTH DOOR
[Symbol]	BLIND ALUM. DOOR
[Symbol]	METAL REG. FORM. 4" x 4" x 4" DOOR
[Symbol]	EXPANSION JOINT
[Symbol]	REGULATIVE ACROFT TIE
[Symbol]	REGULATIVE BRICK
[Symbol]	HEAVY TEXTURE PLASTER
[Symbol]	PLASTER HOOKUP
[Symbol]	EXPANSION JOINT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



ENHANCED LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - "A"

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
[A]	METAL COLOR V-TILE ROOF
[B]	METAL COLOR PLAT TILE ROOF
[C]	METAL COLOR PLASTER
[D]	EIFS
[E]	EXPOSE BOARD
[F]	PLASTER CORNER
[G]	PLASTER CORNER
[H]	PLASTER HORIZONTAL TRIM
[I]	DECORATIVE PLASTER PROJECTION
[J]	PLASTER TRIM
[K]	TRIM FINISH
[L]	HORIZONTAL SIDING
[M]	MODULAR SIDING
[N]	BRICK PATTERNS/WORK
[O]	RAIL/SHARDAL
[P]	METAL RAIL / SHARDAL
[Q]	TRIM/SHARDAL/ROOF
[R]	BLEND ALUM DOOR
[S]	METAL SECTIONAL ALUM DOOR
[T]	SHARDAL GLAZING
[U]	DECORATIVE GLAZING
[V]	DECORATIVE TRIM
[W]	DECORATIVE TRIM
[X]	TRIM/PLASTER
[Y]	PLASTER FINISH
[Z]	EXPANDED JOINT

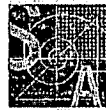
* ALL METAL AND HARD ELEMENTS TO BE PAINTED



FRONT ELEVATION
SEE STYLE 'A' FOR LEFT AND RIGHT ELEVATIONS

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

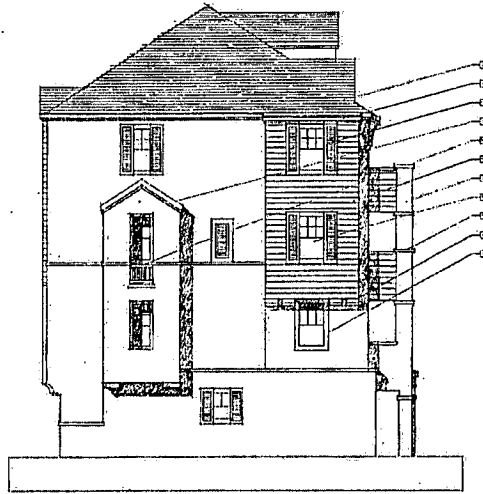
NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS

- ☐ INTERIAR COLOR 9 TILE ROOF
- ☐ INTERIAR COLOR PLAT TILE ROOF
- ☐ INTERIAR COLOR PLASTER
- ☐ 3" X 6" BOARD
- ☐ 2" X 4" LAM BOARD
- ☐ PLASTER CORNER
- ☐ PLASTER FINISH 1804
- ☐ DECORATIVE PLASTER PROJECTION
- ☐ PLASTER TRIM
- ☐ VINYL WINDOW
- ☐ HORIZONTAL BROWN
- ☐ DECORATIVE SHUTTER
- ☐ BRICK PATTERN VERTICAL
- ☐ RAIL / SHARPE - 1.5
- ☐ METAL RAIL / HANDRAIL
- ☐ FERRUGINOUS ENTRY DOOR
- ☐ SLIDING ALUMINUM DOOR
- ☐ METAL RECTANGULAR WALKWAY DOOR
- ☐ STORM DOOR
- ☐ DECORATIVE ACCESS FLE
- ☐ DECORATIVE VENT
- ☐ HEAVY TEXTURE PLASTER
- ☐ PLASTER HIGHLIGHT
- ☐ EXPANSION JOINT

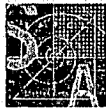
* ALL METAL AND FINISHES SHOULD BE PAINTED



ENHANCED LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
1	MATERIAL COLOR OF TILE ROOF
2	MATERIAL COLOR OF PLAT TILE ROOF
3	MATERIAL COLOR PLASTER
4	6" P FASCIA
5	2" RAKE BOARD
6	PLASTER SPINDLE
7	PLASTER CORNER
8	PLASTER WINDOW TRIM
9	DECORATIVE PLASTER PROJECTION
10	PLASTER TRIM
11	WOOD SIDING
12	HORIZONTAL SIDING
13	DECORATIVE SHUTTER
14	SHAKE PLASTER VERTICAL
15	SHAKE / SHEDDING
16	METAL RAIL / HANDRAIL
17	FIBERGLASS EXTRA DOOR
18	ALUMINUM BLINDS DOOR
19	METAL REGIONAL SUN HAT DOOR
20	6" SHAKES FLUSET
21	DECORATIVE AGENT FLE
22	DECORATIVE SHUT
23	HEAVY TEXTURED PLASTER
24	PLASTER HANDCOP
25	SPRINKLER HOSE

* ALL METAL AND WOOD ELEMENTS TO BE FINISHED



REAR ELEVATION

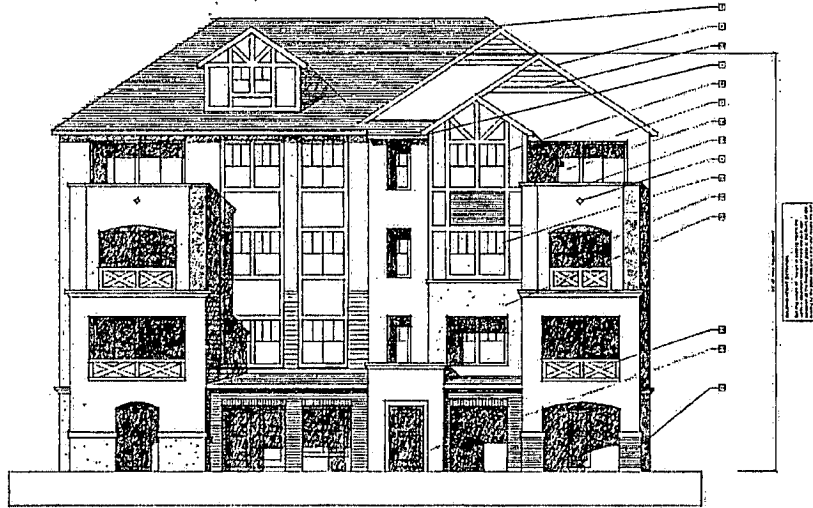
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLUMN W/ TILE ROOF
[Symbol]	INTERNAL COLUMN PLATE ROOF
[Symbol]	INTERNAL COLUMN PLASTER
[Symbol]	3" V-GROOVE
[Symbol]	3" X 6" SIPS BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER CORNICE TRAY
[Symbol]	RECURSIVE PLASTER PROJECTION
[Symbol]	PLASTER TRAY
[Symbol]	WENTY PATTERN
[Symbol]	HORIZONTAL BOARD
[Symbol]	RECURSIVE BRACKET
[Symbol]	RECURSIVE BRACKET
[Symbol]	METAL RAIL / HANDRAIL
[Symbol]	METAL RAIL / HANDRAIL
[Symbol]	FRIBERGLASS FIBER GLASS
[Symbol]	SLIPSH ALUMINUM DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR
[Symbol]	STORAGE CLOSET
[Symbol]	PROGRESSIVE ACCESS TIE
[Symbol]	PROGRESSIVE VENT
[Symbol]	RECURSIVE PLASTER
[Symbol]	PLASTER CORNICE
[Symbol]	EXPANDED JOINT

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



FRONT ELEVATION
SEE STYLE 'A' FOR LEFT AND RIGHT ELEVATIONS

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'E'

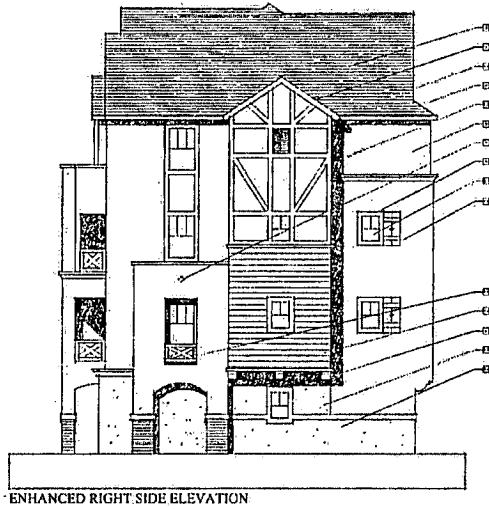
NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS

- INTERIOR COLOR OF THE ROOF
- INTERIOR COLOR FLAT TILE ROOF
- INTERIOR COLOR PLASTER
- S. FINISH
- 2" GIPS BOARD
- PLASTER CORNICE
- PLASTER COLUMN
- PLASTER HOPPED FIRM
- ORIGINATIVE PLASTER PROJECTION
- PLASTER TRIM
- WOOD FINISH
- HORIZONTAL SLIPING
- ORIGINATIVE MORTAR
- BRICK PATTERNS - VERTICAL
- RAIL / STAIRWELL
- METAL RAIL / STAIRWELL
- FIBERGLASS ENTRY DOOR
- SLIDING GLASS DOOR
- METAL SECTIONAL SLIDING DOOR
- STORM DOOR GLAZED
- ORIGINATIVE ACCENT TILE
- ORIGINATIVE MESH
- HEAVY TEXTURE PLASTER
- PLASTER HANDRAIL
- S. FINISH - CONT

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



ENHANCED RIGHT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'E'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIOR COLOR #1 TILE ROOF
<input type="checkbox"/>	INTERIOR COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERIOR COLOR PLASTER
<input type="checkbox"/>	EIFS FINISH
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<input type="checkbox"/>	PLASTER COLOR
<input type="checkbox"/>	PLASTER HIDDEN TAIL
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
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<input type="checkbox"/>	WELDED WIRE MESH
<input type="checkbox"/>	BRICK PATTERNS VENEER
<input type="checkbox"/>	RAM / SANDWICH
<input type="checkbox"/>	METAL RAIL / RAILING
<input type="checkbox"/>	7" BRICKS AS ENTRY FLOOR
<input type="checkbox"/>	BUILDING ALUMINUM DOOR
<input type="checkbox"/>	METAL MESH TYPICAL GARAGE DOOR
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<input type="checkbox"/>	DECORATIVE ACCENT TILE
<input type="checkbox"/>	DECORATIVE VENT
<input type="checkbox"/>	WOOD TRIMMED PLASTER
<input type="checkbox"/>	PLASTER ANNULOT
<input type="checkbox"/>	EMPHASIS JOINT

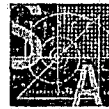
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



REAR ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'E'

NORTHWEST LAND PARK - BROWNSTONES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
1	INTERIOR GROUND FLOOR
2	INTERIOR GROUND FLOOR
3	INTERIOR GROUND FLOOR
4	2 FT FLOOR
5	BRICK SILLING
6	PLASTER GABLE
7	PLASTER CORNER
8	PLASTER MOUNTING
9	REGULATORY PLASTER PROJECTION
10	PLASTER TRIM
11	WOOD SHUTTER
12	WOOD SHUTTER
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99	WOOD SHUTTER
100	WOOD SHUTTER

Date: July 12, 2010
 Preliminary 2007 CBC Review
 10.2 residential, type V-A (one-hour) construction, IFFPA 13 sprinklers

1. Occupancy
 a. Residential R-2 (Section 210)
 b. Corridor, Unit entrance openings grouped together (117 and 1102A.2.1)

2. Maximum Height
 a. Maximum height of the building will be 67'-20" unbraced masonry, but not over 60' (Table 601 and 602)

3. Building Area
 a. Maximum building area per floor
 1. $A = 1/2 (200 + 175) = 187.5$
 2. $A = 2 \times 100 = 200$
 3. $A = 2 \times 100 = 200$
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 100. $A = 2 \times 100 = 200$

4. Fire Separation X=30' D

4. Floors:
 a. 1st floor: 1 or heavy timber
 b. 2nd floor: 1 or heavy timber

6. Fire Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance (Table 602)
 a. X=30' 1 hour
 b. X=30' 0

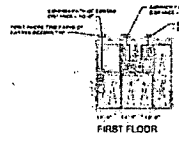
7. Projections
 a. Maximum Projection: Max 12 inches where openings prohibited (704.2.2)
 b. Openings prohibited where X=2' (Table 704.8)
 c. Projections allowed where X=2'
 d. Combustible projections where openings are not permitted shall be 1-hour min (704.2.2)

8. Maximum Area of Exterior Openings (Table 704.8 & 704.8.1)
 a. X=30' separation distance
 1. Green 2
 2. 3'-0" x 4'-0" 15%
 3. 3'-0" x 15' 25%
 4. 10'-0" x 15' 45%
 5. 15'-0" x 20' 75%

9. Unit/Occupancy Separations
 a. Between Units
 i. Walls and Supporting Structures: 1 hour fire partitions (708.3 and 708.4)
 ii. Floors and Supporting Structures: 1 hour (711.3 and 711.4)
 b. Residential to Private Garages per 406.1.4 (Table 603.3.3.4 and 606.1.4)
 10. Egress: IFFPA 13 per 1002.3.1.1

11. Egress
 a. Each unit exit to common outside stair, to ground level and out to own private front door, per 1015.1, where:
 i. Occupant load = 10
 1. Occupant load factor = 200 of (Table 1004.1.1)
 2. No unit > 2000 sq. ft. no unit occupant load = 10
 ii. Common Path of Egress Travel: 125' (1014.3, Exception 4)
 b. Egress Width: Table 1009.1
 i. Stairways: 20 occupants @ 8 occupants/m² = 2' x 1' 36" min (Section 1009.1, exception 1)
 ii. Corridors: 30' min (1017.2, exception 2)
 1. Occupant Load < 50
 c. Accessible Means of Egress (1007.1)
 i. Not required, no covered units. See 13 below

c. Gates
 i. Width units
 1. Min. clear (1009.3.4) = 7'7"
 2. Min. inside 10'
 3. Min. window blind width = 6" (1009.4.2)
 ii. Landings
 1. Doors opening onto landing shall not reduce landing to less than one-half required width (1009.4.2)
 a. Common Path of Egress Travel: 125' max with IFFPA 13 fire sprinklers (1014.3, exception 4)
 13. Access within Buildings (inter-access, guest parking not in this review)
 a. Changes
 i. All units are multi-story units in a non-levator building, which are exempt (1102A.3.1)
 ii. Requirement in mandatory openings for 10% "visible" units is provided in Plan 1 (visible and elevator-see floor plans (1102A.3.1)
 iii. 10% "visible" units per 1102A.3.1 are not covered units, no accessible guest or resident parking is required (1102A.1)
 14. Yards or Courts 1208
 a. 1208 applies only to openings that provide required natural light or ventilation (1208.1 and IBC Commercial)
 b. Yards with openings that do not provide required natural light or ventilation do not need to comply with 1208 requirements
 c. Space bounded on only 2 sides is a yard (1207)
 d. 4 story yards with required openings shall be 5' minimum width (7' min + 1 story over 2' = 2' + 2' + 1') (1200.2)
 e. Yard minimum width shall be constructed from the ground to the sky (702)
 f. Note: no required openings are located on sides of buildings.

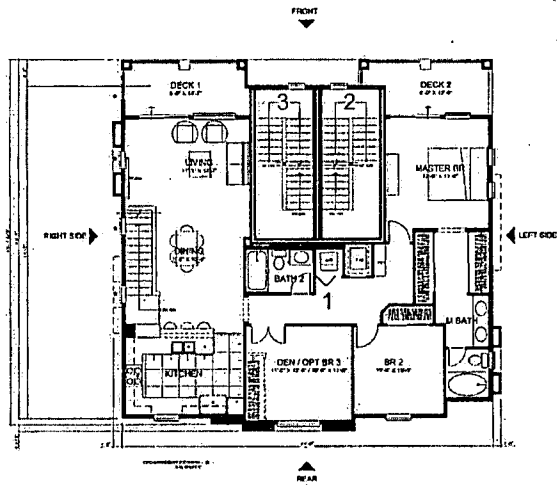


COMMON PATH OF EGRESS TRAVEL (CPET) DIAGRAMS

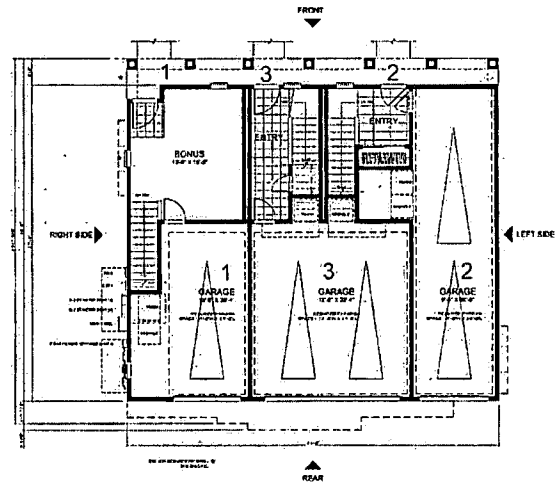
CODE ANALYSIS

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST.LAND PARK, LLC





SECOND FLOOR PLAN



FIRST FLOOR PLAN

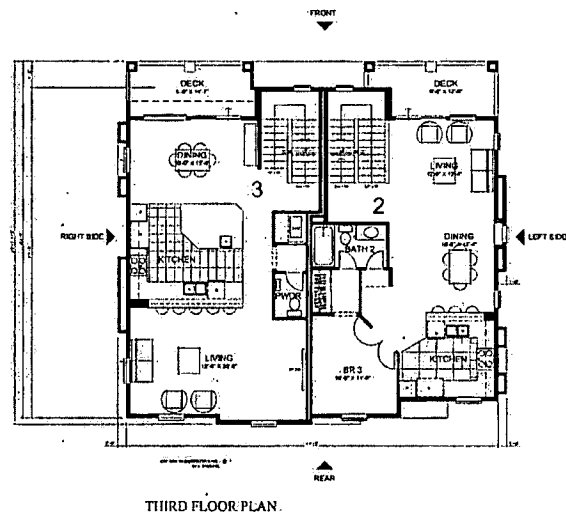
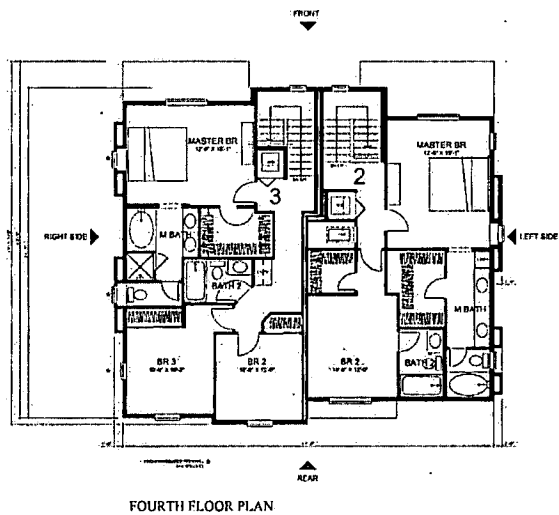
3-PLEX
FIRST / SECOND FLOOR BUILDING PLAN
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



08.11.11

3-PLEX AREA	
PLAN 1	10/10/11
PLAN 2	10/10/11
PLAN 3	10/10/11
PLAN 4	10/10/11
PLAN 5	10/10/11
PLAN 6	10/10/11
PLAN 7	10/10/11
PLAN 8	10/10/11
PLAN 9	10/10/11
PLAN 10	10/10/11
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PLAN 100	10/10/11

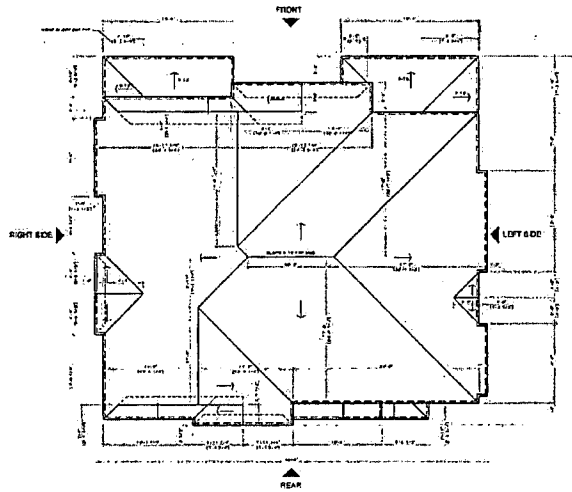


3-PLEX
 THIRD / FOURTH FLOOR BUILDING PLAN
 ELEVATION STYLE - '11

NORTHWEST LAND PARK - CITY HOMES
 NORTHWEST LAND PARK, LLC



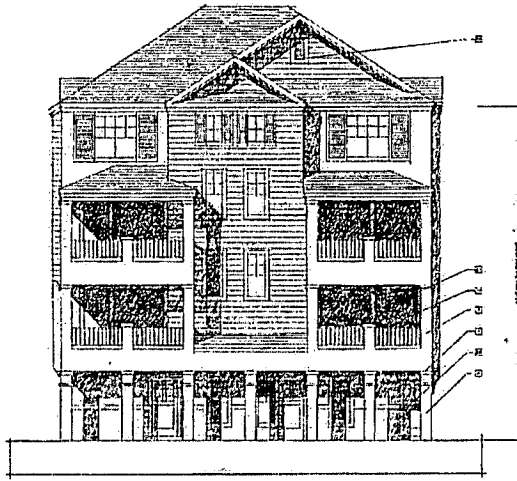
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PLAN 5	10' x 12' 6"
PLAN 6	10' x 12' 6"
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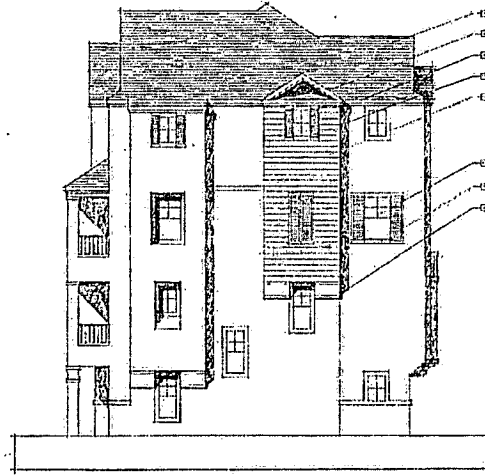
3-PLEX
ROOF PLAN
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC





FRONT ELEVATION



RIGHT SIDE ELEVATION

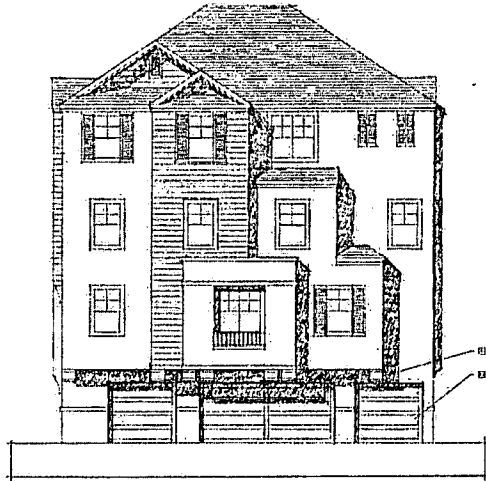
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



PLAN 11

TYPICAL BUILDING MATERIALS	
1	INTERIOR COLUMN FLAT TILE ROOF
2	INTERIOR COLUMN PLASTER
3	3/4" FASCIA
4	3/4" GYPSUM BOARD
5	PLASTER CORNER
6	PLASTER COLUMN
7	PLASTER WINDOW TRIM
8	ORIENTATIVE PLASTER PROJECTION
9	PLASTER TRIM
10	WOOD MUDGIR
11	WOOD TRIM AT STAIRS/HALL
12	INTERIOR WOOD TRIM
13	WOOD TRIM AT STAIRS/HALL
14	WOOD TRIM AT STAIRS/HALL
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98	WOOD TRIM AT STAIRS/HALL
99	WOOD TRIM AT STAIRS/HALL
100	WOOD TRIM AT STAIRS/HALL



REAR ELEVATION



LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 13'

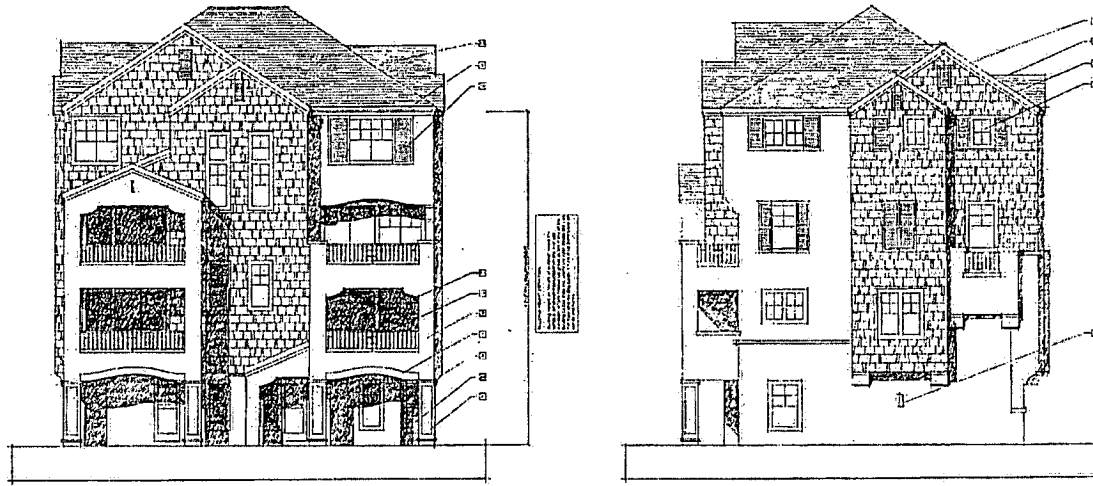
NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



PL 111

TYPICAL BUILDING MATERIALS:	
☐	INTERNAL COLOR PLATE ROOF
☐	INTERNAL COLOR PLASTER
☐	EIFS PANEL
☐	EIFS BOARD
☐	PLASTER CORNICE
☐	PLASTER COLUMN
☐	PLASTER WINDOW TRIM
☐	DECORATIVE PLASTER PROJECTION
☐	PLASTER TRIM
☐	WALL MASONRY
☐	PLASTER FILTERED SHADE
☐	HANDBOARDED GUMMUT BOARD
☐	HORIZONTAL SIDING
☐	BOARD AND BATTIE
☐	DECORATIVE SHUTTER
☐	BLEND / BLEND EDGE
☐	SHIM / PATTERN VENEER
☐	WALL / QUADRANT
☐	METAL PALE / SHIMMER
☐	PORCELAIN / METAL BOARD
☐	SLIMS SLATE BOARD
☐	METAL SECTIONAL FRAME BOARD
☐	DECORATIVE VEIN

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



FRONT ELEVATION

RIGHT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC

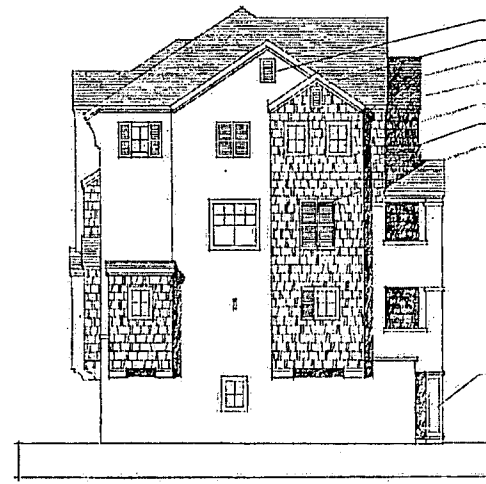


10/11

TYPICAL BUILDING MATERIALS	
1	INTERIOR COLOR PLANT TILE ROOF
2	INTERIOR COLOR PLASTER
3	8" x 16" SPC
4	3" x 6" SPC BOARD
5	PLASTER CORNER
6	PLASTER CORNER
7	PLASTER WINDOW TRIM
8	DECORATIVE PLASTER PROJECTION
9	PLASTER TRIM
10	UPPER WINDOW
11	PLASTER ENTRY PORCH
12	SHINGLED ROOF
13	HORIZONTAL SPC
14	SHINGLED ROOF
15	SHINGLED ROOF
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17	SHINGLED ROOF
18	SHINGLED ROOF
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100	SHINGLED ROOF



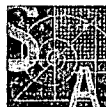
REAR ELEVATION



LEFT SIDE ELEVATION

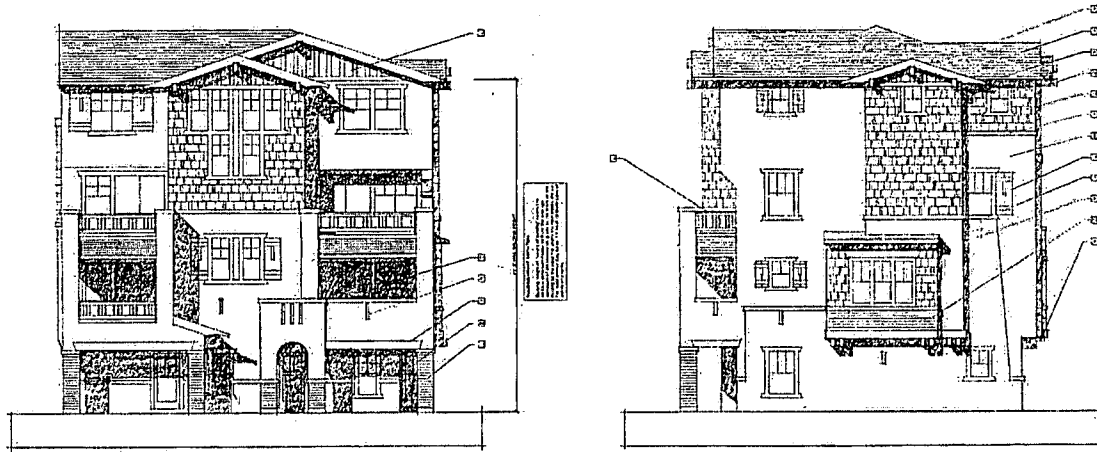
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



PL-11

TYPICAL BUILDING MATERIALS	
1	HYPEROL COLOR FLAT EXTERIOR
2	HYPEROL COLOR PLASTER
3	STAFFORD
4	31" PINE SHIP LAP
5	PLASTER CORNER
6	PLASTER GULLY
7	PLASTER ANCHOR TIE
8	DESCRIPTIVE PLASTER PROJECTION
9	PLASTER TIE
10	WINE WINDOW
11	PLASTER BATTERED WALL
12	PAINTED BRICK
13	BRICKWORK VENEER
14	SHINGLED SHUTTER
15	DESCRIPTIVE SHUTTER
16	BRICK / PINE SHIP LAP
17	BRICK PATTERN VENEER
18	PINE / SHIP LAP
19	HYPEROL / SHIP LAP
20	HYPEROL / SHIP LAP
21	HYPEROL / SHIP LAP
22	HYPEROL / SHIP LAP
23	DESCRIPTIVE VENT
* ALL METAL AND FINISH ELEMENTS TO BE PAINTED	



FRONT ELEVATION

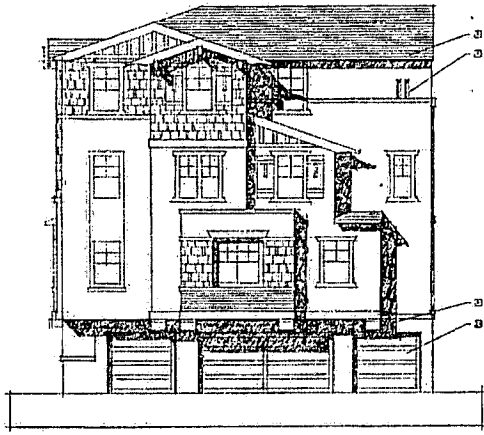
RIGHT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

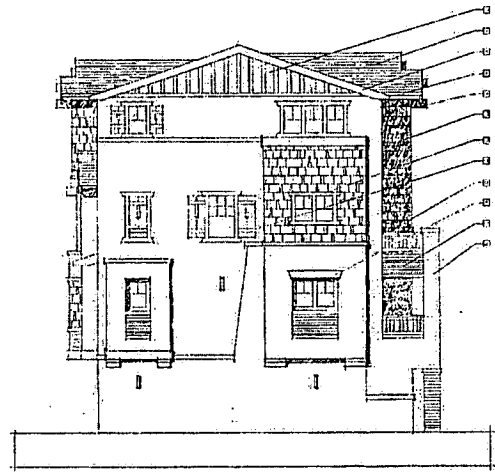
NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
☐	OPTIMAL COLOR FLAT TILE ROOF
☐	INTERIOR COLOR PLASTER
☐	3" X 6" PANDA
☐	1" X 4" B&B BOARD
☐	PLASTER CORNICE
☐	PLASTER COLLAR
☐	PLASTER ANCHOR TIE
☐	DECORATIVE PLASTER PROJECTION
☐	PLASTER TIE
☐	1" X 1" WINDOW
☐	PLASTER BATTERED WALL
☐	HANDMADE BRICK
☐	WOODEN SHUTTER
☐	BRASS SHUTTER
☐	DECORATIVE SHUTTER
☐	BRASS BEAM ENDS
☐	BRICK PATTERNO VENER
☐	1" X 1" HANDLING
☐	METAL RAIL / BALUSTRADE
☐	PERNIAL ASS ENTRY DOOR
☐	PLUMB BRASS DOOR
☐	METAL SECTION GARAGE DOOR
☐	DECORATIVE VENT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



REAR ELEVATION



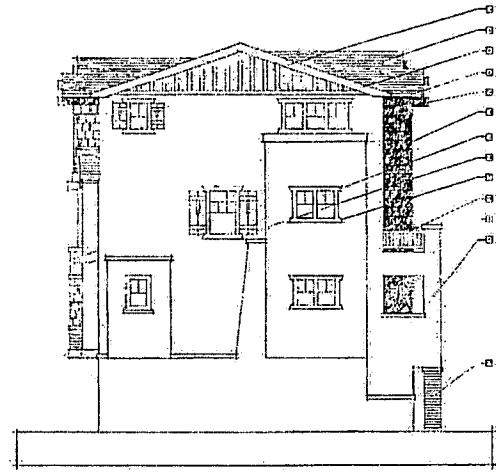
LEFT SIDE ELEVATION - ENHANCED

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



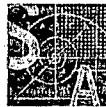
TYPICAL BUILDING MATERIALS	
[Symbol]	INTERIOR COLOR PLASTER BOARD
[Symbol]	INTERIOR COLOR PLASTER
[Symbol]	3" x 8" ANGLE
[Symbol]	1" x 4" DOWEL
[Symbol]	PLASTER GENERAL
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER JOINTS
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	PLASTER TRIM
[Symbol]	WOOD TRIM
[Symbol]	PLASTER SKIMMED WALL
[Symbol]	HANDSCRAPE SURFACE SCENE
[Symbol]	HORIZONTAL WOOD
[Symbol]	WOOD AND SLIT
[Symbol]	DECORATIVE WOOD
[Symbol]	WOOD TRIM
[Symbol]	PAINT PATTERNS
[Symbol]	PAINT PATTERNS
[Symbol]	METAL PLATE / BRACKET
[Symbol]	WOODWORK ENTRY DOOR
[Symbol]	WOODWORK ENTRY DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR
[Symbol]	DECORATIVE WOOD
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

NORTHWEST LAND PARK - CITY HOMES
NORTHWEST LAND PARK, LLC



11.11.11

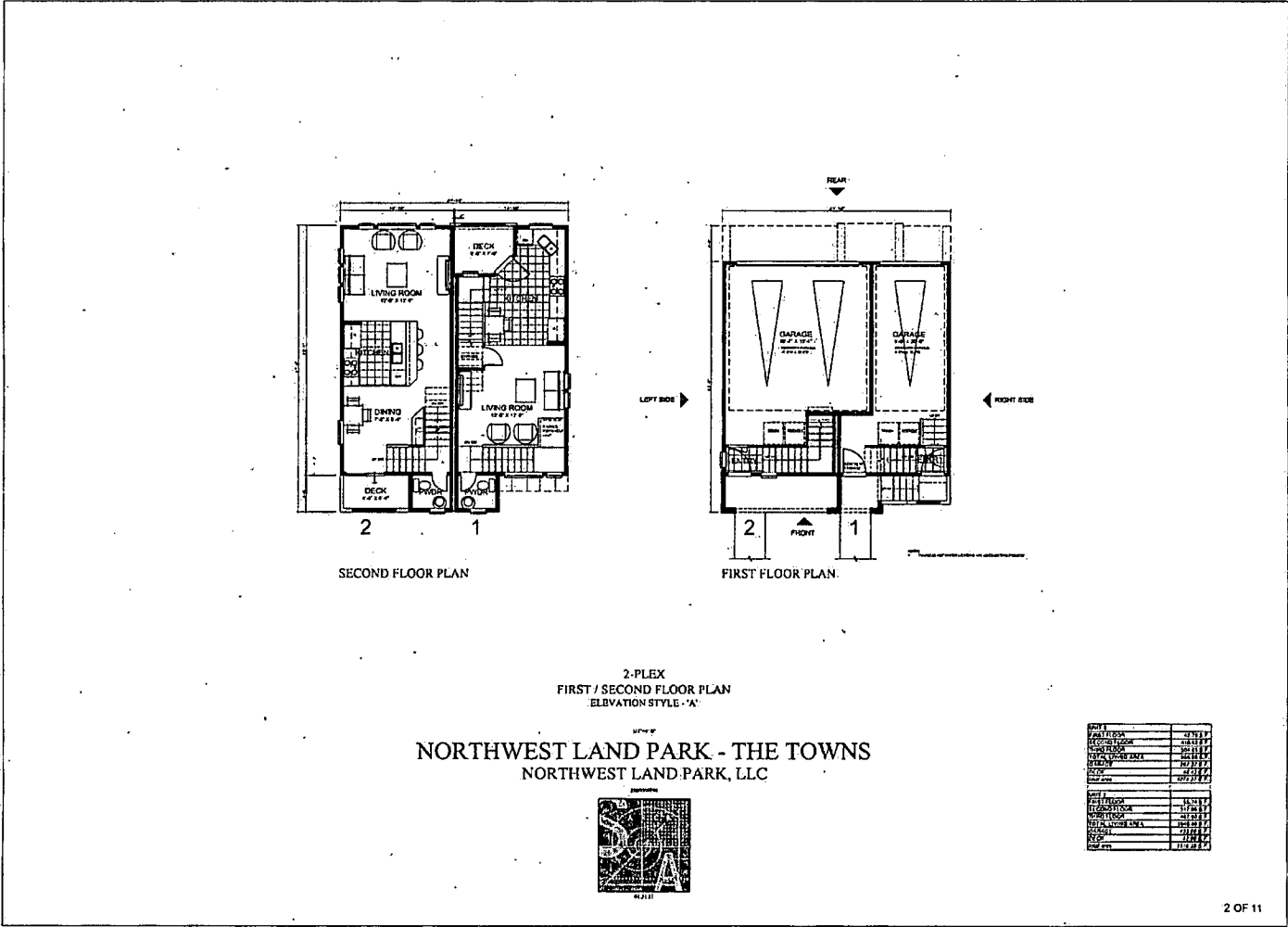
TYPICAL BUILDING MATERIALS	
□	INTERNAL COLOR FLAT TILE ROOF
□	INTERNAL COLOR PLASTER
□	3" X 6" FLOOR
□	2" BRICK SILLING
□	PLASTER GENERAL
□	PLASTER COLUMN
□	PLASTER WINDOW TRIM
□	DECORATIVE PLASTER PROJECTION
□	PLASTER TRIM
□	WALL WOODS
□	PLASTER BAFFLED HALL
□	WATERPROOF BATHS & DECK
□	NON-SLIP TILE
□	BRICK WOOD TRIM
□	DECORATIVE SHUTTER
□	BRICK / BRICK ENDS
□	BRICK PATTERN WOODEN
□	CLG / CORRUGAL
□	METAL MAIL / CORRUGAL
□	WIND BREAK OVER DOOR
□	WOODS IN LAM DOOR
□	METAL SECTION & LAM DOOR
□	DECORATIVE VENT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

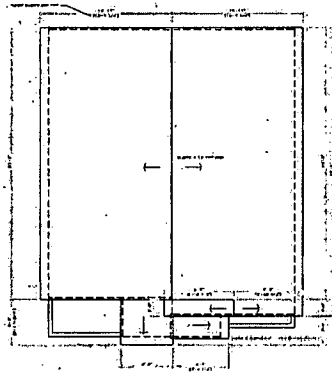
<p>Date: July 12, 2010 Preliminary 2007 CBC Review R-3 residential, type V-B (non-estd) construction, no sprinklers</p> <p>1. Occupancy a. Residential R-3 Duplex and Single Family (Section 310.1) b. Private Garages (AG 1); Group U necessary to R-3 occupancy</p> <p>2. Maximum Stories/Height a. Measured to average height of highest roof surface (502) b. Maximum height: 3 stories and 40' (Table 502) c. Maximum Building Area (Table 502) i. Unlimited ii. Unlimited</p> <p>4. Deckings on the Same Lot (704.3, Exceptions) a. Imaginary line assumed between duplex buildings and between single family b. R-3 area referred (Table 502)</p> <p>5. Fire Resistance of Building Elements (Table 601) a. Structural Frame: 0 hr b. Bearing Walls, Joist & Etc: 0 c. Non-bearing walls and partitions (Table 601): 0 d. Floor: 0 e. Roof: 0</p> <p>8. Fire Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance (Table 602) a. 1-hour b. 1-hour c. 1-hour d. 1-hour</p> <p>7. Projections (Including Balconies) a. Maximum Projection: Max 12 inches where openings prohibited (704.3.2) b. Openings prohibited where 2'-0" (Table 704.3) c. Projections allowed where 2'-0" d. Cantilevered projections where openings are not permitted shall be 1-hour only (704.3.3)</p> <p>9. Maximum Area of Exterior Openings (Table 704.6.4.c): a. % of the separation distance 1. 0% or less 2. 5% or less</p>	<p>9. Limited Access Requirements a. Common Entry 1. Private and Occupied Structure 1 hour fire partitions (704.3, 708.4) 2. Private and Occupied Structure: 1 hour (711.3, 711.4) b. Restricted to Private Garage per AG 1.4</p> <p>10. Egress a. Not required per 2007 CBC b. Not required per 2007 CBC c. Not required per 2007 CBC</p> <p>11. Egress a. Stairs when located within: 1. 100 sq ft (100.1, exception 1) 2'-0", maximum head 8'-0" 2. Max. run (1008.2.4) - 7'-2" 3. Min. tread 10" 4. Min. riser tread 6 1/2" b. Landings 1. Openings into landing shall not reduce landing to less than one-half required width (1008.1.2) 2. In R-3, a floor or landing is not required at the top of an interior flight of stairs provided the stairs are not longer than 1008.4.2) c. Entry 1. One exit required from each unit, Common Path of Egress Travel units are not apply in R-3. (1019.2.2) 2. Egress door: i. Min. 20" minimum (1024.1.1)</p> <p>12. Accessibility a. Dwellings and single family are exempt (1108A.1.2) b. Dwellings and single family are exempt from Multi-story Dwelling requirements (1108A.3.1)</p> <p>13. Vent of Outside Exhaust a. 100% required b. 100% required c. 100% required d. 100% required e. 100% required f. 100% required g. 100% required h. 100% required i. 100% required j. 100% required k. 100% required l. 100% required m. 100% required n. 100% required o. 100% required p. 100% required q. 100% required r. 100% required s. 100% required t. 100% required u. 100% required v. 100% required w. 100% required x. 100% required y. 100% required z. 100% required</p>	
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CODE ANALYSIS

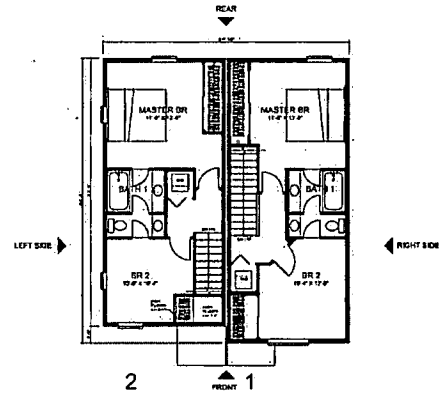
NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC







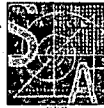
ROOF PLAN



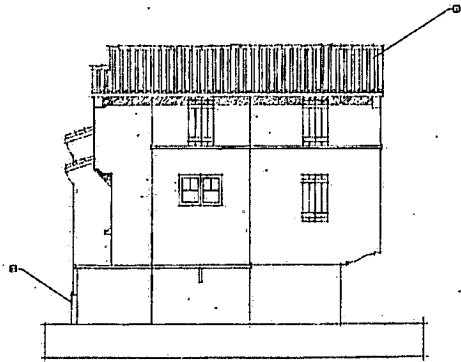
THIRD FLOOR PLAN

2-PLEX
 THIRD FLOOR PLAN / ROOF PLAN
 ELEVATION STYLE - 'A'

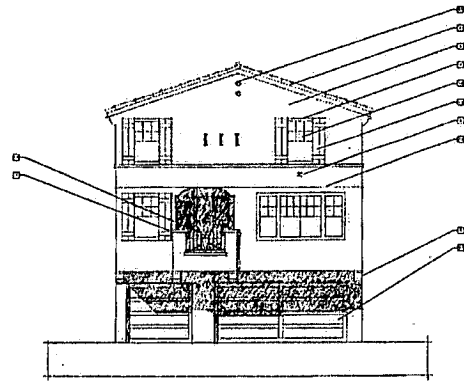
NORTHWEST LAND PARK - THE TOWNS
 NORTHWEST LAND PARK, LLC



AREA	
1ST FLOOR	13,717
2ND FLOOR	10,817
3RD FLOOR	10,717
TOTAL UNIT AREA	35,251
STAIR	2,117
MECH	1,117
ENTRANCE	1,117
LOFT	1,117
TECH SPACE	1,117
MECHANICAL	1,117
TOTAL GROSS AREA	53,537
NET AREA	35,251
MECH	1,117
ENTRANCE	1,117



RIGHT SIDE ELEVATION (B; C, D SIMILAR)



REAR ELEVATION

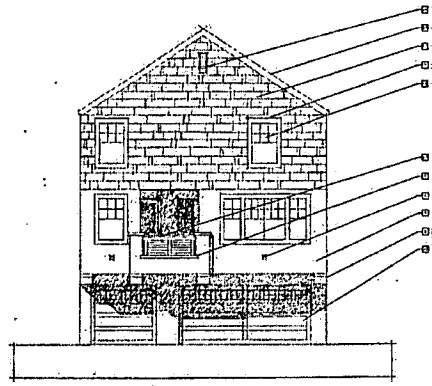
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
☐	INTERIOR GABLE V-TILE ROOF
☐	INTERIOR GABLE FLAT TILE ROOF
☐	INTERIOR GIBBY PLASTER
☐	6x6 TRACK
☐	CONCRETE
☐	BRICK
☐	PLASTER MASONRY TIE
☐	REGULAR TYPED PLASTER FINISH
☐	PLASTER TIE
☐	WOOD SIDING
☐	HORIZONTAL SHINGLES SIDING
☐	HORIZONTAL SIDING
☐	REGULAR TYPED BRICK
☐	TRIPLE
☐	STEEL
☐	RAFTER TIE
☐	RAIL / RAMPING
☐	METAL PANEL / SHINGLES
☐	TRIMMING AND TRIM
☐	ALUMINUM GLASS DOOR
☐	TRIM DOOR
☐	METAL INSULATED GARAGE DOOR
☐	STORAGE SHED
☐	REGULAR TYPED PORTLAND
☐	REGULAR TYPED ACENT TIE
☐	REGULAR TYPED
☐	PLASTER MASONRY
☐	TRIM DOOR
☐	EXTERIOR SIDING
☐	BRICK PATTERN FINISH

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



REAR ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	STRAIGHT CORNER 1/2" x 1/2" MOULD
<input type="checkbox"/>	STRAIGHT CORNER FLAT 1/2" x 1/2"
<input type="checkbox"/>	STRAIGHT SQUARE FINISH
<input type="checkbox"/>	2 1/2" PANEL
<input type="checkbox"/>	SCROLL
<input type="checkbox"/>	SHOULDER
<input type="checkbox"/>	FLASKER WINDOW TRIM
<input type="checkbox"/>	REGULATIVE PLASTER PROJECTION
<input type="checkbox"/>	FLASKER TRIM
<input type="checkbox"/>	WIND WINDOW
<input type="checkbox"/>	HANDSCHEW SQUARE CORNER
<input type="checkbox"/>	WINDSHIELD BARR
<input type="checkbox"/>	REGULATIVE SHUTTER
<input type="checkbox"/>	TRUSS
<input type="checkbox"/>	SHAW
<input type="checkbox"/>	WATER TAIL
<input type="checkbox"/>	RAIL / BARRONIAL
<input type="checkbox"/>	METAL RAIL / BARRONIAL
<input type="checkbox"/>	WINDSHIELD TRIM / BARR
<input type="checkbox"/>	ALUMINUM SLIDING DOOR
<input type="checkbox"/>	TRUSS PANEL
<input type="checkbox"/>	METAL BELL TUBULAR SHAW / BARR
<input type="checkbox"/>	WINDSHIELD
<input type="checkbox"/>	REGULATIVE / BARR
<input type="checkbox"/>	REGULATIVE / BARR
<input type="checkbox"/>	REGULATIVE / BARR
<input type="checkbox"/>	FLASKER TRIM
<input type="checkbox"/>	TRUSS / BARR
<input type="checkbox"/>	2 1/2" PANEL
<input type="checkbox"/>	SHAW / BARR
<input type="checkbox"/>	SHAW / BARR
<input type="checkbox"/>	SHAW / BARR

LEFT SIDE ELEVATION - ENHANCED

FRONT ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - C

UP OF

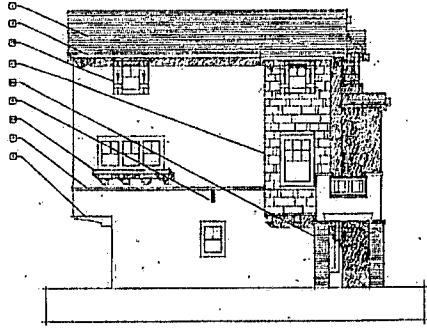
NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC

01/11

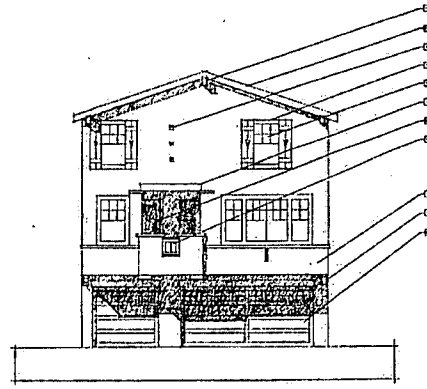
TYPICAL BUILDING MATERIALS

- METAL COLOR "TILE & BOP"
- METAL COLOR PLUM TILE ROOF
- METAL COLOR PLASTER
- EX. PLANK
- SOLID
- SOLID
- PLASTER FINISH TRIM
- REGULATED PLASTER FINISH TRIM
- PLASTER TRIM
- TRIM, WOOD
- UNPAINTED BRICK BOND
- HORIZONTAL SIDING
- REGULATED GYPSUM
- TRIM
- TRIM
- PLASTER TRIM
- SILL / BASE TRIM
- TRIM, SILL / BASE TRIM
- METAL AND WOOD DOOR
- SLIDING GLASS DOOR
- FRENCH DOOR
- METAL WINDOW SILL AND SILL
- WINDOW SILL
- REGULATED GYPSUM
- REGULATED GYPSUM
- REGULATED GYPSUM
- PLASTER ROOFING
- EX. PLANK
- BRICK PATTERNS

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



LEFT SIDE ELEVATION - ENHANCED WITH DECK



REAR ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	METAL COLOR TILE ROOF
<input type="checkbox"/>	METAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	3/4" FINISH
<input type="checkbox"/>	CONCRETE
<input type="checkbox"/>	CEILING
<input type="checkbox"/>	PLASTER THROUGH FINISH
<input type="checkbox"/>	EXTERIOR PLASTER W/RENDER
<input type="checkbox"/>	PLASTER FINISH
<input type="checkbox"/>	WOOD SHIP LAP SIDING
<input type="checkbox"/>	HORIZONTAL SIDING
<input type="checkbox"/>	VERTICAL SIDING
<input type="checkbox"/>	TRUSS
<input type="checkbox"/>	BEAM
<input type="checkbox"/>	CLAY TILE
<input type="checkbox"/>	BRICK
<input type="checkbox"/>	METAL WALK / BALCONY
<input type="checkbox"/>	METAL WALK / DOOR
<input type="checkbox"/>	ALUMINUM GLASS DOOR
<input type="checkbox"/>	FRONT DOOR
<input type="checkbox"/>	METAL SECTION GARAGE DOOR
<input type="checkbox"/>	WOODEN GARAGE
<input type="checkbox"/>	IMPERMEABLE POLYMER
<input type="checkbox"/>	IMPERMEABLE WOODEN
<input type="checkbox"/>	WOODEN GARAGE
<input type="checkbox"/>	PLASTER FINISH
<input type="checkbox"/>	3/4" FINISH JOINT
<input type="checkbox"/>	3/4" FINISH JOINT
<input type="checkbox"/>	WOOD FINISH

* ALL METAL AND ROOF ELEMENTS TO BE PAINTED

LEFT SIDE ELEVATION - ENHANCED

FRONT ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

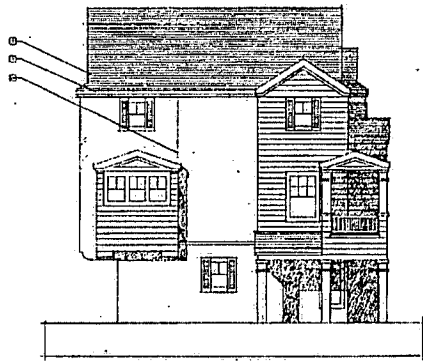
NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC

FIGURE 11

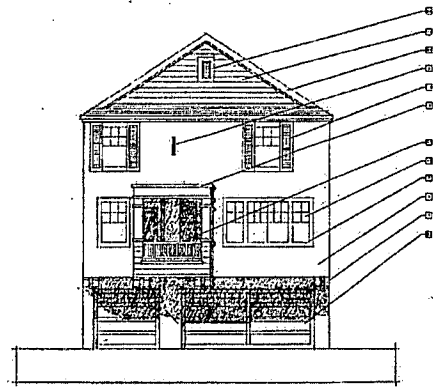
TYPICAL BUILDING MATERIALS

- 1. INTERIOR GROUND FLOOR FLOORING
- 2. INTERIOR SECOND FLOOR FLOORING
- 3. INTERIOR LARGE PLASTER
- 4. EX PLASTER
- 5. GYPSUM
- 6. CONCRETE
- 7. PLASTER FINISH TRIM
- 8. ONE OR TWO PLASTER PROJECTIONS
- 9. 1/2" DRYWALL
- 10. VINYL SIDING
- 11. UNFINISHED SCHEDULE 40 PIPE
- 12. UNFINISHED SCHEDULE 40 PIPE
- 13. PROGRAMATIC SILLING
- 14. TRIM
- 15. TRIM
- 16. RAFTER TIE
- 17. GUTTER
- 18. METAL FLASHING
- 19. METAL AND ENTRY DOOR
- 20. METAL AND ENTRY DOOR
- 21. METAL AND ENTRY DOOR
- 22. METAL AND ENTRY DOOR
- 23. METAL AND ENTRY DOOR
- 24. METAL AND ENTRY DOOR
- 25. METAL AND ENTRY DOOR
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- 99. METAL AND ENTRY DOOR
- 100. METAL AND ENTRY DOOR

* ALL METAL AND ENTRY DOORS TO BE FINISHED



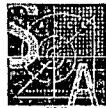
LEFT SIDE ELEVATION - ENHANCED WITH DECK



REAR ELEVATION

EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

DRWING
NORTHWEST LAND PARK - THE TOWNS
NORTHWEST LAND PARK, LLC



8/2011

TYPICAL BUILDING MATERIALS

- INTERIOL GARDEN TYLE POOP
- INTERIOL GARDEN PLANTER
- INTERIOL GARDEN PLANTER
- DE FRANCH
- CORNER
- GARDEN
- PLASTER HORIZONTAL
- REGULAR PLASTER PAINTING
- PLASTER PAINT
- VINYL FINISH
- CORRUGATED METAL SHEET
- HORIZONTAL SHEET
- REGULAR SHEET
- FLOOR
- ROOF
- RAFTER TAIL
- GUTTER DRAINAGE
- METAL BLIND / WINDOW
- FORMAL ENTRY DOOR
- ALUMINUM ENTRY DOOR
- TRUCK DOOR
- METAL SECTIONAL GARAGE DOOR
- WINDOW CURTAIN
- REGULAR PARTWELL
- REGULAR ACCEPT TIE
- REGULAR FINE VIEW
- PLASTER HANDSET
- EXPANSION JOINT
- DE BRICK BONDING
- BRICK PATTERNS

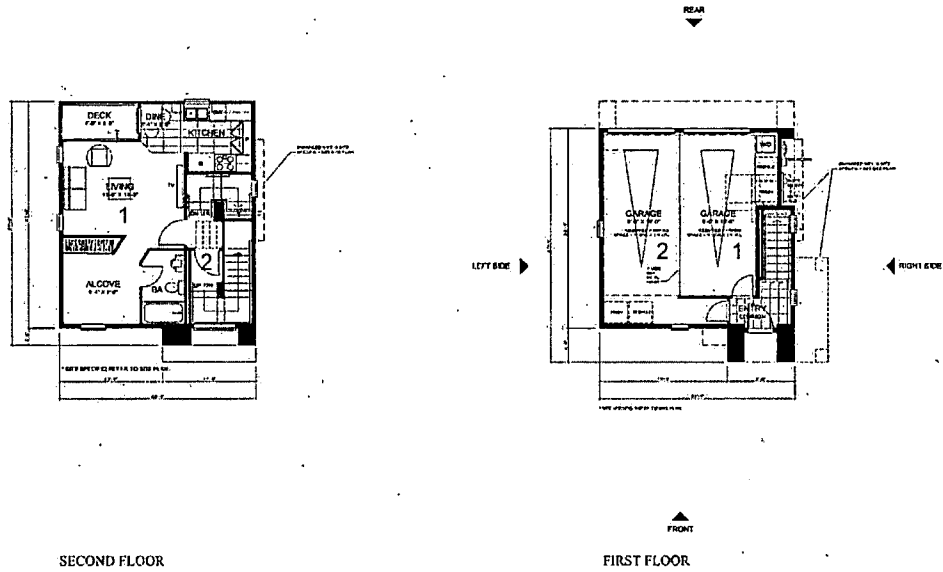
* ALL METAL AND FIBER ELEMENTS TO BE PAINTED

<p>DATE: MAY 12, 2011</p> <p>FOR: 2007 CBC Review R-3 residential, type V-2 (non-retail) construction, no alterations</p> <p>1. Occupancy a. Residential: R-3 Duplex and Single Family (Section 110.1) b. Private Garage (209.1): Group U accessory to R-3 occupancy</p> <p>2. Maximum Story Height a. Maximum height of highest floor finished (102) b. Maximum height: 3 stories and 40' (Table 103)</p> <p>3. Maximum Building Area (Table 103) a. Unfinished</p> <p>4. Setbacks on the Same Lot (Table 5.1, Exemption) a. If primary fire separated between double buildings and between single family b. If 3 area unfenced (Table 503)</p> <p>5. Fire Separation of Building Elements (Table 503) a. Structural Frame: 0 hr b. Roaming Walls, 1st & 2nd: 0 c. Non-bearing walls and partitions (Table 503): 0 d. Floor: 0 e. Roof: 0</p> <p>6. Fire Resistance Rating (Requirements for Exterior Walls based on Fire Separation - Distance (Table 602)) a. 0-20'-0" = 1 hr b. 20'-0" = 0</p> <p>7. Projections (Including Balconies) a. Maximum Projection: No more than 12 inches above finished (Table 2.3) b. Openings can occur where 2x4's (Table 704.2) c. Projections allowed where 2x4's d. Combustible projections where openings are not permitted shall be 4 inches max (Table 2.3)</p> <p>8. Maximum Area of Exterior Openings (Table 704 (L2.3)) a. unless specified otherwise: i. One-way: Not permitted ii. Two-way: 25%</p>	<p>1. 374 - Unfinished</p> <p>9. Unfinished Interiors a. Structural Frame i. Walls and Supporting Structure: 1 hour fire protection (Table 7.2.2.4) ii. Floors and Supporting Structure: 1 hour (Table 7.2.2.4) b. Residential: Private Garages: see 404.1.1</p> <p>10. Egress a. Not included per 2007 CBC</p> <p>11. Egress a. Stairways: minimum clear: i. Min Width: 1000 L x 48 inches (1:30) maximum head: 10 ii. Min. clear: 2000 L x 14" F 70" iii. Min. head: 6'7" iv. Min. slope: 1:12 b. Landings: i. Clear width: same as landing and not reduce landing or maximum min. head: 6'7" (1008.4.2) ii. If 11.3.8 Balcony landing is not included at the fire or barrier type of stairs: minimum clear width: 48" (1008.4.3)</p> <p>12. Egress a. One way egress from each and common Plan of Egress: 1008.4.2 b. If 11.3.8 Balcony landing is not included at the fire or barrier type of stairs: minimum clear width: 48" (1008.4.3)</p> <p>13. Egress Count a. 1008.4.3 minimum (1008.4.3)</p> <p>14. Accessibility a. Duplex and single family are exempt (1102.5.1) b. Duplex and single family are exempt from: (1102.5.1) c. 1008.4.3 minimum (1008.4.3)</p> <p>15. Egress Count a. 1008.4.3 minimum (1008.4.3)</p> <p>16. Egress Count a. 1008.4.3 minimum (1008.4.3)</p>
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CODE ANALYSIS

NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC





SECOND FLOOR

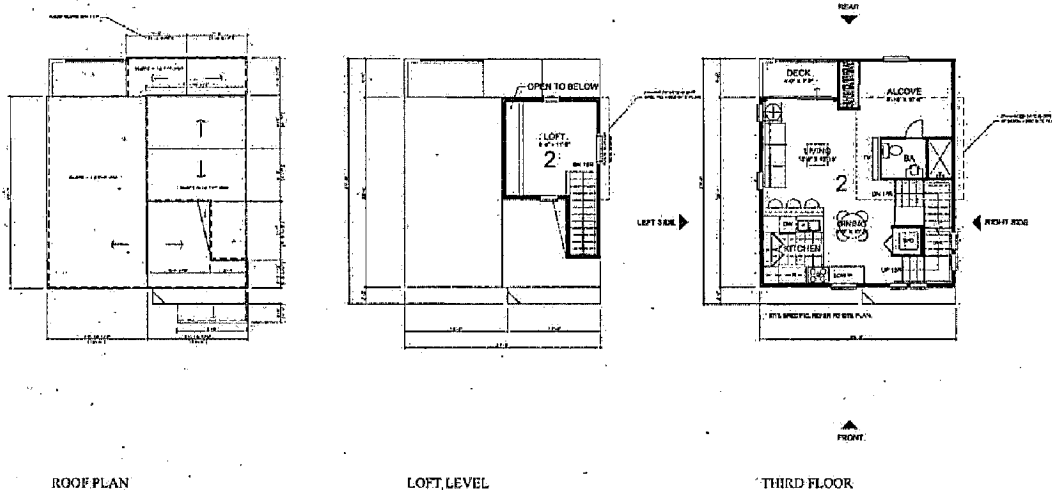
FIRST FLOOR

UNIT 1/2
FIRST / SECOND FLOOR BUILDING PLANS
ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC

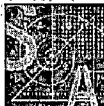


UNITS	
UNIT 1	438 sq ft
SECOND FLOOR	438 sq ft
TOTAL LIVING AREA	438 sq ft
CLIFFS	77 sq ft
DECK	27 sq ft
Garage	0 sq ft
CLIFFS	
SECOND FLOOR	1371 sq ft
FIRST FLOOR	679 sq ft
CLIFFS	179 sq ft
TOTAL LIVING AREA	1550 sq ft
CLIFFS	77 sq ft
DECK	27 sq ft
Garage	0 sq ft
REAR PORCH AREA	
FIRST FLOOR	1434 sq ft
SECOND FLOOR	1138 sq ft
TOTAL LIVING AREA	2572 sq ft
UNITS	
UNIT 2	438 sq ft
SECOND FLOOR	438 sq ft
TOTAL LIVING AREA	438 sq ft
CLIFFS	77 sq ft
DECK	27 sq ft
Garage	0 sq ft
CLIFFS	
SECOND FLOOR	1371 sq ft
FIRST FLOOR	679 sq ft
CLIFFS	179 sq ft
TOTAL LIVING AREA	1550 sq ft
CLIFFS	77 sq ft
DECK	27 sq ft
Garage	0 sq ft

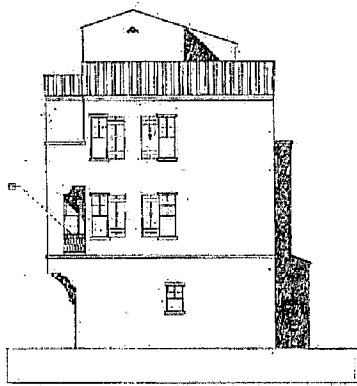


UNIT 1/2
 FIRST / THIRD FLOOR / LOFT LEVEL / ROOF PLAN
 ELEVATION STYLE - "A"

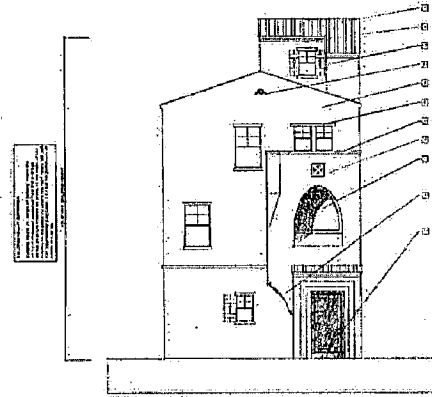
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC.



AREA	
LOFT	12.83 SF
ROOF PLAN	12.83 SF
LOFT LEVEL	12.83 SF
THIRD FLOOR	12.83 SF
UNIT 1	12.83 SF
SECOND FLOOR	12.83 SF
THIRD FLOOR	12.83 SF
LOFT	12.83 SF
LOFT LEVEL	12.83 SF
ROOF PLAN	12.83 SF
THIRD FLOOR	12.83 SF
UNIT 2	12.83 SF
SECOND FLOOR	12.83 SF
THIRD FLOOR	12.83 SF
LOFT	12.83 SF
LOFT LEVEL	12.83 SF
ROOF PLAN	12.83 SF
THIRD FLOOR	12.83 SF
UNIT 3	12.83 SF
SECOND FLOOR	12.83 SF
THIRD FLOOR	12.83 SF
LOFT	12.83 SF
LOFT LEVEL	12.83 SF
ROOF PLAN	12.83 SF
THIRD FLOOR	12.83 SF



LEFT SIDE ELEVATION



FRONT ELEVATION

UNIT 1/2
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

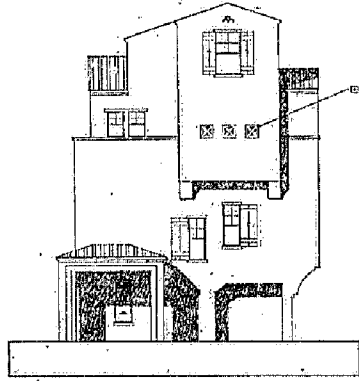
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



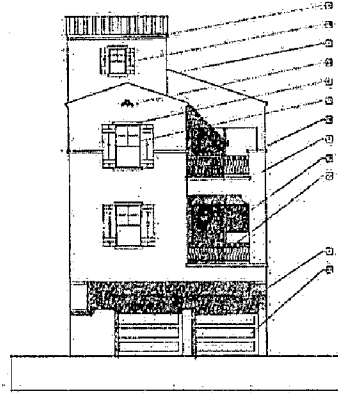
PLAN 11

TYPICAL BUILDING MATERIALS:

- 1. EXTERIOR COLOR TO FLE ROOF
- 2. EXTERIOR COLOR PLAT FOR ROOF
- 3. EXTERIOR COLOR PLASTER
- 4. 2x4 FRAMING
- 5. 2x6 FLOOR BOARD
- 6. PLASTER CORNER
- 7. PLASTER COLUMN
- 8. ALUMINUM FINISH TRIM
- 9. ALUMINUM FINISH PROJECTION
- 10. ALUMINUM TRIM
- 11. GAVEL WINDOW
- 12. UNGRADED BRICKLE BRICK
- 13. UNGRADED BRICK
- 14. BRICK PATTERNS/VEIN
- 15. POLYURETHANE/STYRE
- 16. METAL TRAIL/BRASS/BRASS
- 17. FLOOR BRICK/STY/BRICK
- 18. ALUMINUM BRASS DOOR
- 19. BRICK BRICK/BRICK/BRICK
- 20. BRICK/BRICK/BRICK
- 21. BRICK/BRICK/BRICK
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- 97. BRICK/BRICK/BRICK
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- 100. BRICK/BRICK/BRICK



ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

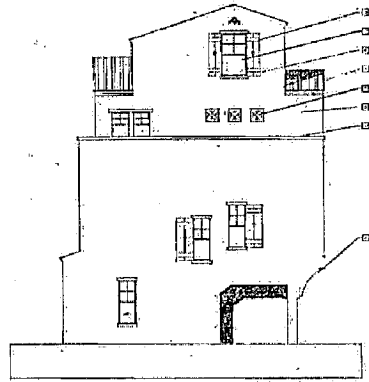
UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC

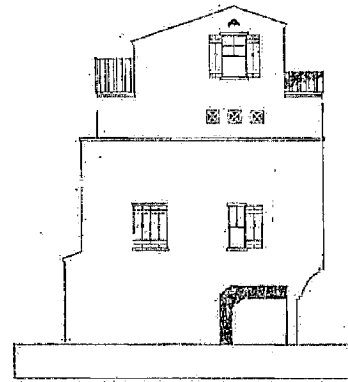


08.11.11

TYPICAL BUILDING MATERIALS	
1	INTERNAL GROUND FLOOR ROOF
2	INTERNAL GROUND FLOOR ROOF
3	EXTERNAL GROUND FLOOR ROOF
4	FRASH
5	1/4" X 1/2" BOARD
6	PLASTER CORNER
7	PLASTER COLUMN
8	PLASTER WINDOW TRIM
9	REGULATED PLASTER PRODUCTION
10	PLASTER TRIM
11	SMALL CORNER
12	ROUNDWOOD SHIMMER BOARD
13	WOODWORK MOULD
14	SMALL PATTERN CORNER
15	REGULATED SHUTTER
16	WALL PANEL / ROOFING
17	WOODWORK IN-TOP ROOM
18	PLASTER GROUND FLOOR
19	REGULATED PORTLAND
20	REGULATED ACCESS FLOOR
21	REGULATED VENT
22	REGULATED TRIM
23	PLASTER WINDOW
24	WOODWORK ROOF
25	ALL METAL AND WOOD ELEMENTS TO BE PAINTED



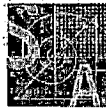
RIGHT SIDE ELEVATION



RIGHT SIDE ELEVATION (SITE SPECIFIC)

UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'A'

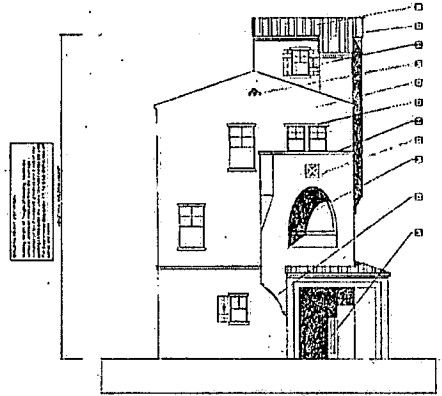
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



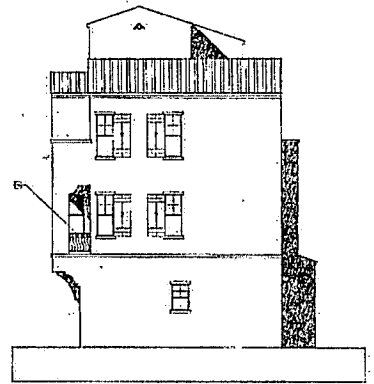
MAP

TYPICAL BUILDING MATERIALS

- METAL COLOR TILE ROOF
- METAL COLOR FLAT TILE ROOF
- METAL COLOR PLASTER
- STAINLESS
- 2x4 TRUSS ROOFING
- PLASTER CORNER
- PLASTER CORNER
- PLASTER CORNER JOINT
- ENGRAVED PLASTER PROJECTION
- PLASTER JOINT
- LAMP FINISH
- HARDWOOD SHIMULE BOYS
- HORIZONTAL SLATS
- DROP CEILING JOINTS
- NEGATIVE SHUTTER
- METAL PANEL / SHARDING
- CORNER JOINTS / JOINT
- SLIDING GLASS DOOR
- METAL SECTION / PROJECTION
- BRICK / PLASTER
- PROGNATIVE ARCHITECTURE
- NEGATIVE LIGHT
- METAL FINISH FEATURE
- PLASTER FINISH
- BOARD AND BATTEN
- ALL METAL AND NON-METALS TO BE PAINTED



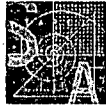
FRONT ELEVATION WITH ENH. RIGHT SIDE



LEFT SIDE ELEVATION (SITE SPECIFIC)

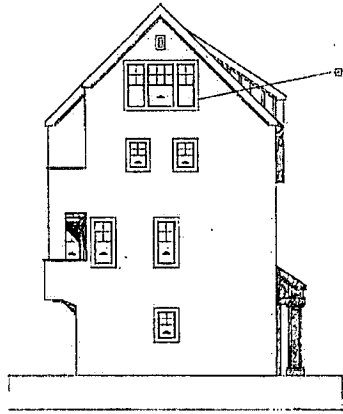
UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE-'A'

NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC

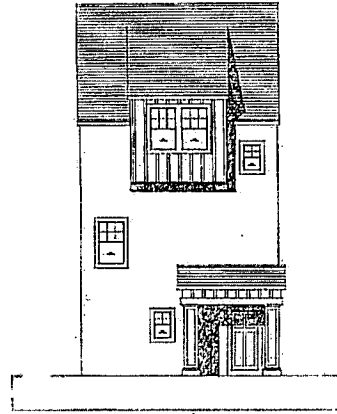


4/2/11

TYPICAL BUILDING MATERIALS	
□	INTERNAL COLOR TILE ROOF
□	INTERNAL COLOR PLASTER ROOF
□	INTERNAL COLOR PLASTER
□	EIFS PANEL
□	EIFS BOARD
□	PLASTER CORNICE
□	PLASTER CORNICE
□	PLASTER WINDOW TRIM
□	DECORATIVE PLASTER PROJECTION
□	PLASTER TRIM
□	EIFS PANEL
□	HANDPAINTED METAL SHEET
□	HORIZONTAL METAL
□	SPRINKLER COVER
□	DECORATIVE SHUTTER
□	METAL RAIL / PARAPET WALL
□	FRIGIDOLITE GUTTER / DOWNSPOUT
□	FRIGIDOLITE DOWNSPOUT
□	METAL RAIL / PARAPET WALL
□	DECORATIVE PANEL
□	DECORATIVE VENT
□	HEAVY PLASTER TEXTURE
□	PLASTER HAND-COLOR
□	BOARD AND BATTEN
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



LEFT SIDE ELEVATION

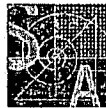


FRONT ELEVATION

UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'D'

1/4" = 1'-0"

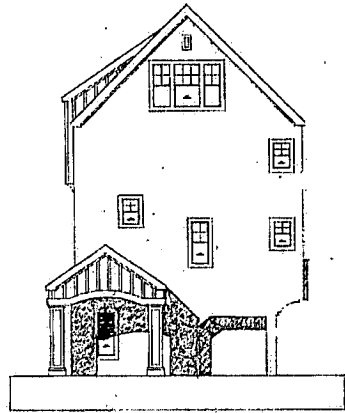
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



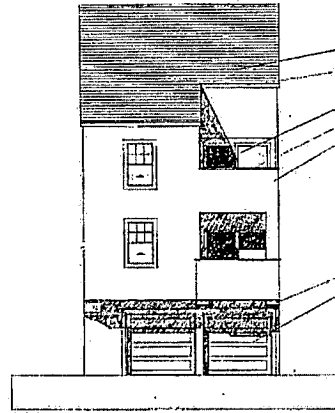
VIEW 11

TYPICAL BUILDING MATERIALS

- 1. INTERIOr COLOR 1/2" PLY ROOF
 - 2. INTERIOr COLOR PLAT TLE ROOF
 - 3. INTERIOr COLOR PLASTER
 - 4. 3/4" PARCH
 - 5. 3/4" RAFTER BOARD
 - 6. PLASTER GORINGEL
 - 7. PLASTER COLUMN
 - 8. PLASTER WINDOW TRIM
 - 9. DECORATIVE PLASTER PROJECTION
 - 10. PLASTER FLISH
 - 11. VINYL WINDOW
 - 12. HANDSCRAPE BRICKS 8"X8"
 - 13. BRICK WITH SLIP
 - 14. BRICK PATTERN VENEER
 - 15. DECORATIVE BRICKER
 - 16. METAL DOOR / WINDOW
 - 17. FIBERGLASS SHINY DOOR
 - 18. RUBBER GLASS DOOR
 - 19. METAL SECTIONAL GARAGE DOOR
 - 20. DECORATIVE FORMS
 - 21. DECORATIVE ACERTY TR
 - 22. DECORATIVE VENT
 - 23. PLASTER PLASTER
 - 24. PLASTER PLASTER
 - 25. BRICK WITH SLIP
- ALL METAL AND WOOD ELEMENTS TO BE PAINTED



ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

UNIT 1/2
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

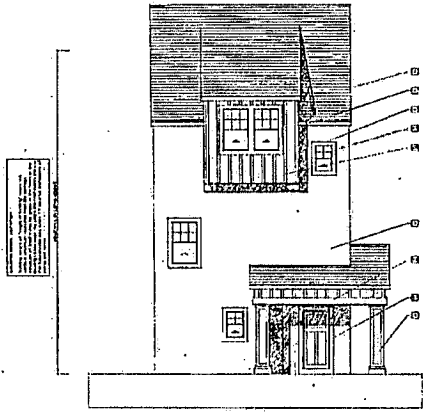
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



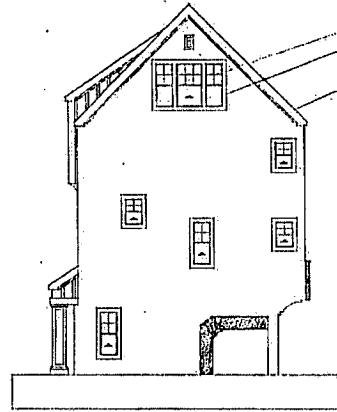
11.27.11

TYPICAL BUILDING MATERIALS

- INTERNAL COLOR OF TILE ROOF
- INTERNAL COLOR PLASTER
- INTERNAL COLOR PLASTER
- 3/4" FASCIA
- 2x4 PLANK SILLING
- PLASTER CORNELL
- PLASTER CORNER
- PLASTER WINDOW LINEN
- PLASTER WINDOW LINEN
- DECORATIVE PLASTER PROJECTION
- PLASTER TRIM
- 1/2" PLASTER
- SHIMBOARD SINGLE SIDING
- HORIZONTAL SIDING
- BRICK BUTTRESS VENEER
- DESIGNER'S WHITE
- METAL FLAS / SHARDAL
- INTERLACE BRICK LINDEN
- METAL PLANK SIDING
- METAL BEG FORMER BATHING DESIGN
- DECORATIVE FORMING
- DESIGNER'S ACCENT TILE
- DECORATIVE VENT
- METAL PLASTER LINEN
- PLASTER LINEN
- BRICK AND DESIGN
- ALL METAL AND WOOD ELEMENTS TO BE FINISHED



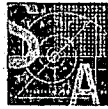
FRONT ELEVATION WITH ENH. RIGHT SIDE



RIGHT SIDE ELEVATION

UNIT 1/2
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

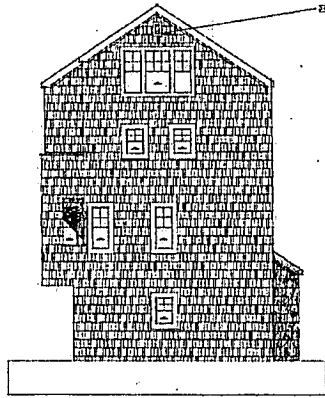
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



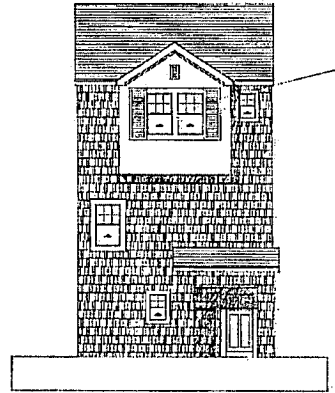
11.11.11

TYPICAL BUILDING MATERIALS

- INTERNAL COLOR T&G ROOF
- INTERNAL COLOR PLATE ROOF
- INTERNAL COLOR PLASTER
- 3/4" PLYWOOD
- 1/2" GYP BOARD
- PLASTER CORNER
- PLASTER COLUMN
- PLASTER FINISH FEM
- INTEGRATIVE PLASTER FINISH
- PLASTER TILE
- UPV. FINISH
- HARDWOOD 2" SQUARE MOULD
- HORIZONTAL BOND
- BRICK PATTERNS VENEER
- INTEGRATIVE BUTTER
- METAL W/AL. ANCHORS
- TYPICAL GLASS IN THE DOOR
- SLOPE GLASS DOOR
- METAL SECTIONAL SPRING DOOR
- INTEGRATIVE PORTICO
- INTEGRATIVE ARCHIT. TILE
- INTEGRATIVE VENT
- HEAVY PLASTER TEXTURE
- PLASTER FINISH
- BRICK JACOBY TILE
- ALL METAL AND ALUM. ELEMENTS TO BE PAINTED



LEFT SIDE ELEVATION



FRONT ELEVATION

UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'

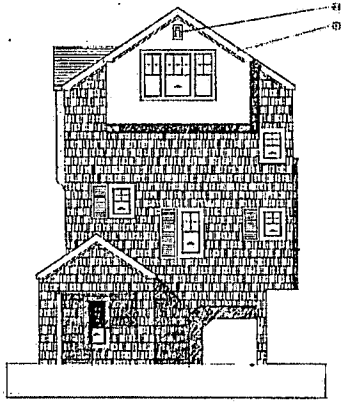
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



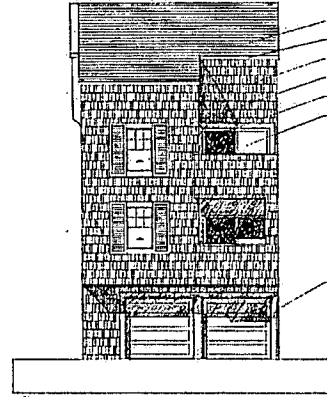
SCALE

TYPICAL BUILDING MATERIALS

- 1. INTERIAR COLOR 1/2" TILE ROOF
 - 2. INTERIAR COLOR PLAT TILE ROOF
 - 3. INTERIAR COLOR PLAT 1/4"
 - 4. BR. FASHN.
 - 5. 2x SH. BOARD
 - 6. PLASTER CORBEL
 - 7. PLASTER CORBEL
 - 8. PLASTER CORBEL
 - 9. PLASTER CORBEL
 - 10. DECORATIVE PLASTER PROJECTION
 - 11. PLASTER TANK
 - 12. MET. WINDOW
 - 13. PAINTED-UP BRICK/BLK. BRICK
 - 14. HORIZONTAL BRICK
 - 15. BRICK PATTERNS VERTICAL
 - 16. DECORATIVE SHUTTER
 - 17. METAL BAL. / HANDRAIL
 - 18. TRIMMED HANDRAIL DOOR
 - 19. ALUM. W/BLK. COOR.
 - 20. METAL BR. TYPICAL 6" WIDE DOOR
 - 21. DECORATIVE MESH/SLIP
 - 22. DECORATIVE ACCENT TILE
 - 23. DECORATIVE VENT
 - 24. MET. PLASTER FEATURE
 - 25. PLASTER HANDRAIL
 - 26. BOARD AND BATTEN
- ALL METAL AND WOOD ELEMENTS TO BE PAINTED



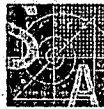
ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

UNIT 1/2
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'

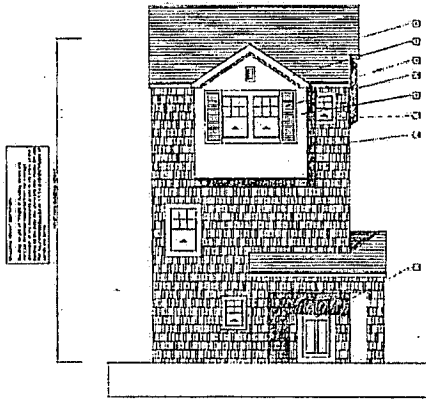
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



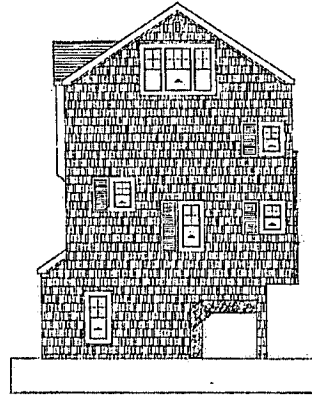
08/23/11

TYPICAL BUILDING MATERIALS	
1	INTERIUM, COLOR 10" TILE ROOF
2	INTERIUM, COLOR PLAT 12 X 18 ROOF
3	INTERIUM, COLOR PLASTER
4	IN FINISH
5	IR PLANK BOARD
6	PLASTER GORDEL
7	PLASTER GORDEL
8	PLASTER RANDOM TRIM
9	REGONAL TILE, WATER PROOFING
10	SLATE TILE
11	WOOD, VENEER
12	HANDSHOWN SHINGLE BOARD
13	WOOD TRIM, SHIM
14	SHAKE PATTERN VENEER
15	PROGNATIVE SHUTTER
16	METAL WALL BRACING
17	LIBERAL AND ENTRY DOOR
18	SLIPPER IN HAS DOOR
19	METAL DECORATIVE SHIP AND DRINK
20	PROGNATIVE FOOTWELL
21	PROGNATIVE ACCENT TILE
22	PROGNATIVE TRIM
23	HEAVY WATER FEATURE
24	PLASTER ANCHORAGE
25	HEAVY AND SHUTTER

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



FRONT ELEVATION WITH ENH. RIGHT SIDE



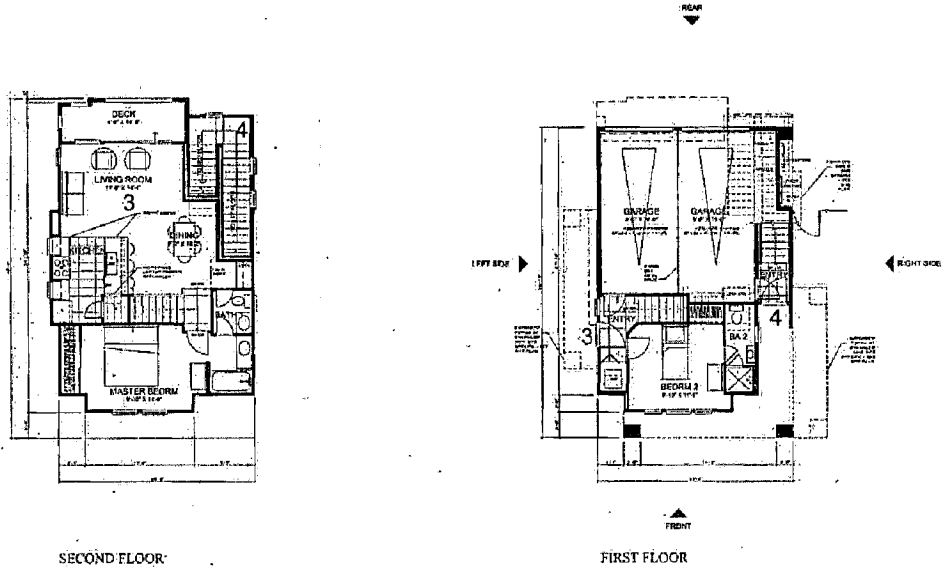
RIGHT SIDE ELEVATION

UNIT 12
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'

NORTHWEST LAND PARK -- URBAN COURTS
 NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 1" TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLATE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	3" FASCIA
<input type="checkbox"/>	2" X 4" LAMBS BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER SCROLL
<input type="checkbox"/>	PLASTER FRODO TRIM
<input type="checkbox"/>	DESCRIPTIVE PLASTER PROJECTION
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<input type="checkbox"/>	SHIP LAP SIDING
<input type="checkbox"/>	DESCRIPTIVE SHUTTER
<input type="checkbox"/>	METAL RAIL / BROWBAR
<input type="checkbox"/>	TRUSSHEAD BRICK BUSH
<input type="checkbox"/>	SHINGLED SHUTTER
<input type="checkbox"/>	METAL BASTION SHINGLE DOOR
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<input type="checkbox"/>	DESCRIPTIVE ACCENT TILE
<input type="checkbox"/>	DESCRIPTIVE VENT
<input type="checkbox"/>	SHIP LAP PLASTER TEXTURE
<input type="checkbox"/>	PLASTER HANDSCUT
<input type="checkbox"/>	SHARP JAMB SHUTTER
<input type="checkbox"/>	ALL METAL AND WOOD ELEMENTS TO BE PAINTED



SECOND FLOOR

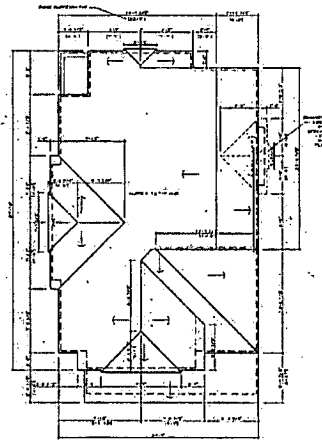
FIRST FLOOR

UNIT 3/4
FIRST / SECOND FLOOR BUILDING PLANS
ELEVATION STYLE - D

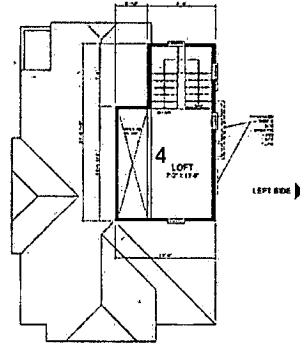
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



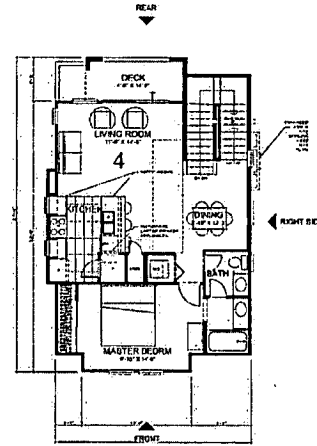
AREA	
UNIT 3	438.00 S.F.
DECK AREA	438.00 S.F.
TOTAL LIVING AREA	438.00 S.F.
DECK	438.00 S.F.
UNIT 4	1077.00 S.F.
STORAGE ROOM	87.00 S.F.
ENTRY	18.00 S.F.
TOTAL LIVING AREA	1077.00 S.F.
DECK	247.00 S.F.
DECK	247.00 S.F.
UNIT 4	1077.00 S.F.
COMMON AREA	1077.00 S.F.
STORAGE ROOM	87.00 S.F.
ENTRY	18.00 S.F.
UNIT 3	438.00 S.F.
DECK AREA	438.00 S.F.
TOTAL LIVING AREA	438.00 S.F.
DECK	438.00 S.F.
UNIT 4	1077.00 S.F.
STORAGE ROOM	87.00 S.F.
ENTRY	18.00 S.F.
TOTAL LIVING AREA	1077.00 S.F.
DECK	247.00 S.F.
DECK	247.00 S.F.



ROOF PLAN



LOFT LEVEL



THIRD FLOOR

UNIT 3/4
FIRST / THIRD FLOOR / LOFT LEVEL / ROOF PLAN
ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



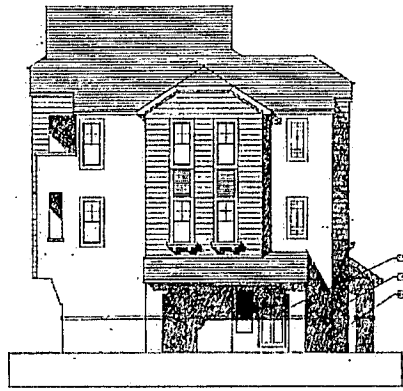
AREA	
LOFT	2341 SF
THIRD FLOOR	2341 SF
TOTAL THIRD FLOOR	2341 SF
DECK	2341 SF
Other area	2341 SF

UNIT 3	
FLOOR FLOOR	2341 SF
THIRD FLOOR	2341 SF
TOTAL THIRD FLOOR	2341 SF
DECK	2341 SF
Other area	2341 SF

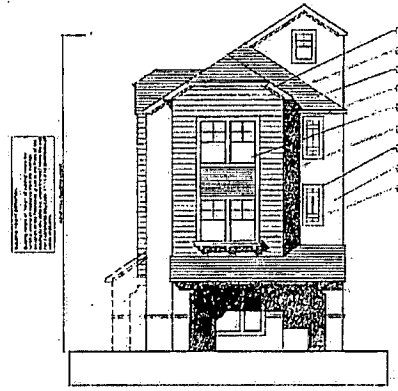
Overall Area	
THIRD FLOOR	2341 SF
DECK	2341 SF
Other area	2341 SF

UNIT 4	
THIRD FLOOR	2341 SF
THIRD FLOOR	2341 SF
TOTAL THIRD FLOOR	2341 SF
DECK	2341 SF
Other area	2341 SF

UNIT 5	
THIRD FLOOR	2341 SF
THIRD FLOOR	2341 SF
TOTAL THIRD FLOOR	2341 SF
DECK	2341 SF
Other area	2341 SF



ENHANCED LEFT SIDE ELEVATION



FRONT ELEVATION

UNIT 3/4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'T'

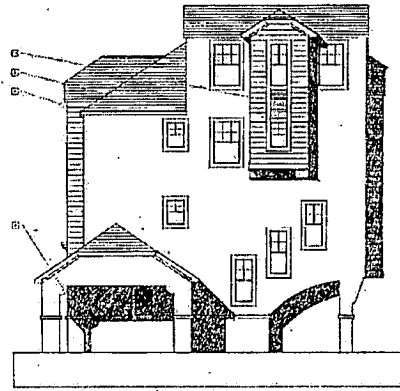
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



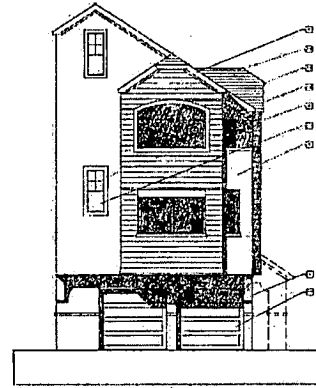
08/23/11

TYPICAL BUILDING MATERIALS

- INTERNAL COLOR TILE ROOF
- INTERNAL COLOR PLATE GLASS
- 3/4" FASION
- 2x PLANK BOARD
- PLASTER CORNICE
- PLASTER COLUMN
- PLASTER WINDOW TRIM
- DECORATIVE PLASTER PROJECTION
- PLASTER TRIM
- VINYL SIDING
- HARDWOOD SHINGLE SIDING
- HORIZONTAL SIDING
- BRICK PLANTATION SIDING
- DECORATIVE SHUTTER
- METAL PANEL / SHIMMERAL
- FRIGGLERIES ON FLOOR
- SIDING IN ADA DOOR
- METAL SPECIAL 3x6 GLASS DOOR
- DECORATIVE POSTER
- DECORATIVE ACCENT TILE
- DECORATIVE VENT
- READY PLASTER TEXTURE
- PLASTER FINISH
- BOARD AND BATTEN
- ALL METAL AND WOOD ELEMENTS TO BE PAINTED



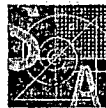
ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

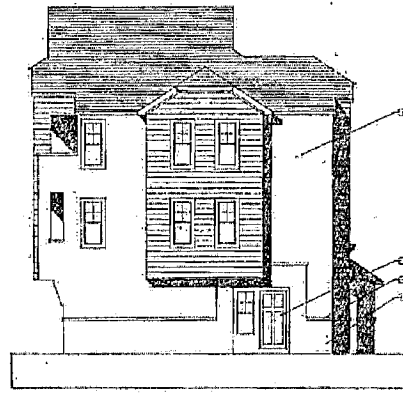
UNIT 3/4:
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'D'

1/4" = 1'-0"
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC

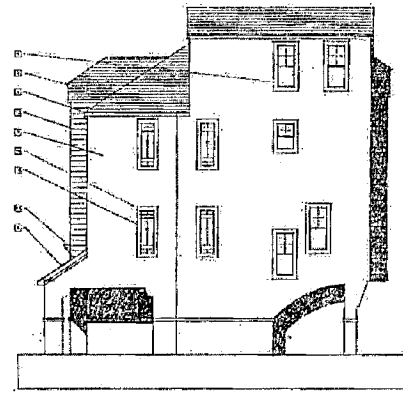


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TYPICAL BUILDING MATERIALS	
①	INTERNAL GOLD W/TEE ROOF
②	INTERNAL GOLD FLAT TILE ROOF
③	INTERNAL GOLD FLUORIDE
④	3" FANOA
⑤	3" RAPE BOMBER
⑥	PLASTER CORNER
⑦	PLASTER COLUMN
⑧	PLASTER WINDOW VIEW
⑨	WOODEN FIVE PLASTER PROJECTION
⑩	PLASTER TRAY
⑪	WOOD FINISH
⑫	WOODEN WINDOW SASH
⑬	WOODEN WINDOW
⑭	WOODEN WINDOW SASH
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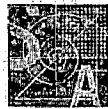
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

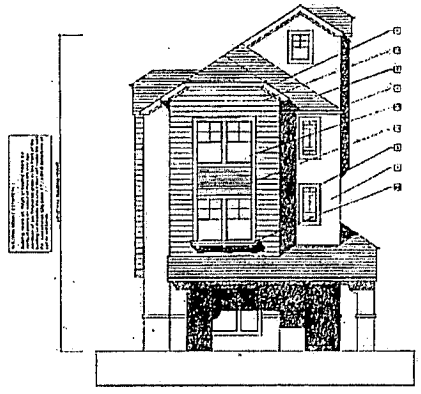
UNIT 34
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



SCALE

TYPICAL BUILDING MATERIALS	
01	INTERIOR BELOW STAIR ROOF
02	EXTERNAL GABLE FINE ROOF
03	EXTERNAL GABLE PLANK SIDING
04	PAVING
05	BRICK SILLING
06	PLASTER GENERAL
07	PLASTER CORNER
08	PLASTER PROJECTION
09	PLASTER FINISH
10	WALL FINISH
11	LANDSCAPE SHRUBS
12	INTERIOR LINING
13	WOOD PATTERNS ROOF
14	WOOD-THE BUTTER
15	METAL ROOF SHINGLES
16	PERFORATED METAL ROOF
17	BRICK SILLING
18	PERFORATED METAL ROOF
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96	PERFORATED METAL ROOF
97	PERFORATED METAL ROOF
98	PERFORATED METAL ROOF
99	PERFORATED METAL ROOF
100	PERFORATED METAL ROOF



FRONT ELEVATION WITH ENH. RIGHT SIDE

UNIT 3/A
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'D'

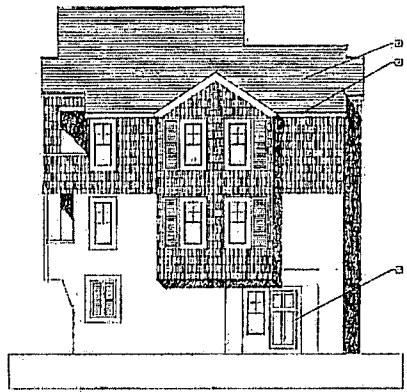
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



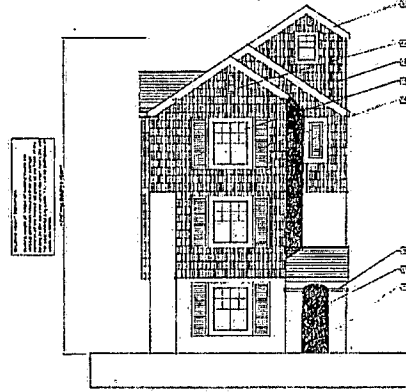
SEE 11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL GOLDEN 1/2" TILE ROOF
<input type="checkbox"/>	INTERNAL GOLDEN FLAT TILE ROOF
<input type="checkbox"/>	INTERNAL GOLDEN PLASTER
<input type="checkbox"/>	1/2" FIBER BOARD
<input type="checkbox"/>	1/4" X 1/2" BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER COLUMN
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	DESCRIPTIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	WIRE MESH
<input type="checkbox"/>	HANDPAINTED SHIP LAP SIDING
<input type="checkbox"/>	HORIZONTAL SIDING
<input type="checkbox"/>	BRICK PATTERNS VENEER
<input type="checkbox"/>	DESCRIPTIVE SHUTTER
<input type="checkbox"/>	METAL FIN. / ANTI-RUST
<input type="checkbox"/>	INTERNAL 1/2" X 1/2" BOARD
<input type="checkbox"/>	ALUMINUM 1/2" X 1/2" BOARD
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
<input type="checkbox"/>	DESCRIPTIVE POSTHOLE
<input type="checkbox"/>	DESCRIPTIVE ACCENT TILE
<input type="checkbox"/>	DESCRIPTIVE VENT
<input type="checkbox"/>	HEAVY PLASTER FINISH
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<input type="checkbox"/>	SHOWER SUBMITTER

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



LEFT SIDE ELEVATION

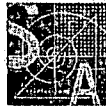


FRONT ELEVATION

UNIT 3/4
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'

DRAWN BY

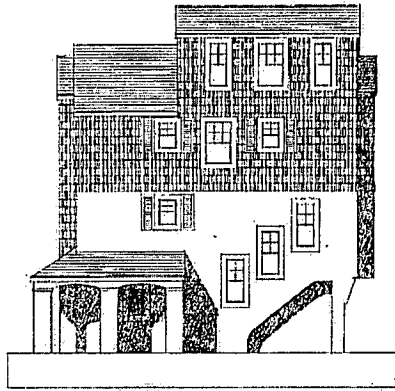
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



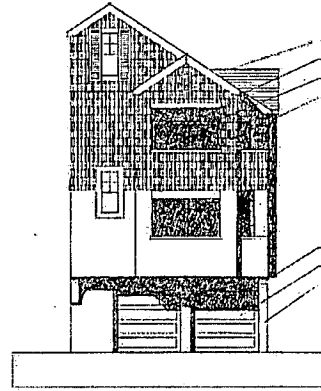
10/11

TYPICAL BUILDING MATERIALS

- INTERNAL COLOR TILE ROOF
 - INTERIAR COLOR SLATE TILE ROOF
 - INTERIAR COLOR PLASTER
 - 3/4" PARCH
 - 3/4" X 1/4" S BOARD
 - PLASTER CORNICE
 - PLASTER COLUMN
 - PLASTER FINISH TRIM
 - DECORATIVE PLASTER PRODUCTION
 - PLASTER TRIM
 - PAINT FINISH
 - 1/2" ARCHED FINISH 1/2" HD
 - 1/2" ARCHED 1/2" HD
 - BRICK PATTERNS FINISH
 - DECORATIVE SHUTTER
 - METAL SILL / FINISH
 - INTERIAR SILENCE DOOR
 - ALUMINUM SLAB DOOR
 - METAL SECTIONAL GARAGE DOOR
 - DECORATIVE PORTALS
 - DECORATIVE ACCENT TILE
 - DECORATIVE VENT
 - HEAVY PLASTER FINISH
 - PLASTER FINISH
 - HEAVY FINISH
- ALL METAL AND HARDWARE TO BE PAINTED

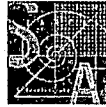


ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

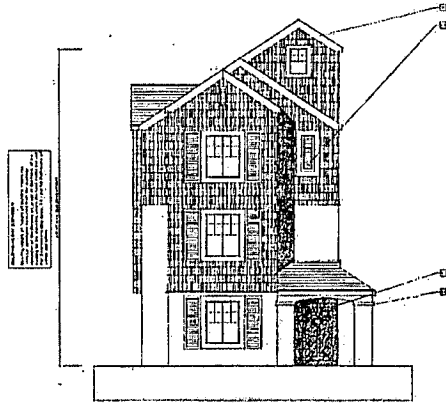
UNIT 3/4
 EXTERIOR ELEVATIONS
 ELEVATION STYLE: 'C'
 NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



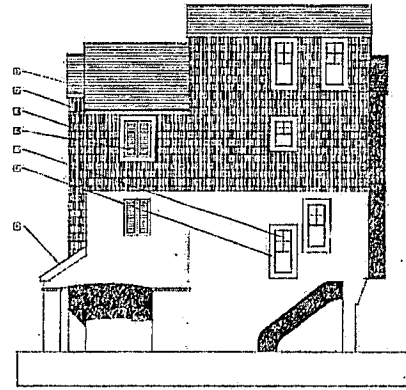
08.11

TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL GOLDEN YULE ROOF
[Symbol]	INTERNAL GOLDEN PLAZA ROOF
[Symbol]	INTERNAL GOLDEN PLAZA
[Symbol]	SP. FINISH
[Symbol]	2x 4 FRAME BOARD
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER COLUMN
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	PLASTER LAMB
[Symbol]	SMALL WINDOW
[Symbol]	HORIZONTAL DOUBLE SIDING
[Symbol]	HORIZONTAL SIDING
[Symbol]	BRICK PATTERN VENEER
[Symbol]	DECORATIVE SHUTTER
[Symbol]	METAL RAIL / BOARDWALK
[Symbol]	FORMAL AND IMP. DOOR
[Symbol]	SLANTING SHED DOOR
[Symbol]	METAL SECTION-4.5' X 6.5' DOOR
[Symbol]	SLANTING PORTHOLE
[Symbol]	PROTRUDING GABLETILE FLUE
[Symbol]	DECORATIVE VENT
[Symbol]	PLASTER FINISH
[Symbol]	BOARD AND BATTIN

*ALL METAL AND WOOD FINISHES TO BE PAINTED



FRONT ELEVATION WITH ENH. RIGHT SIDE



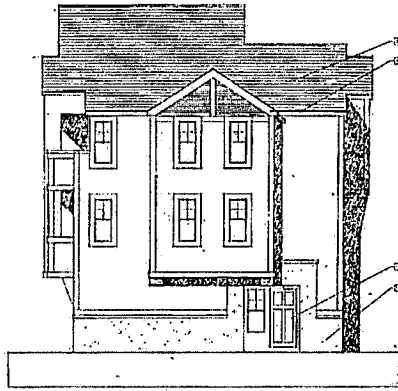
RIGHT SIDE ELEVATION

UNIT 34
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'
1/8"=1'-0"
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC

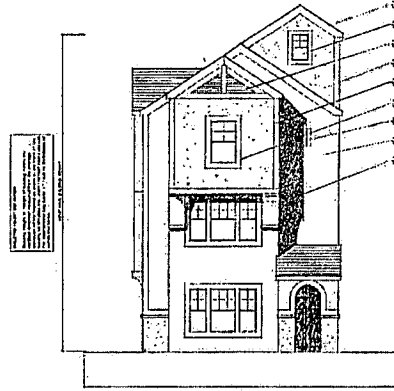


08/10/11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR TILE ROOF
<input type="checkbox"/>	EXTERNAL COLOR PLASTER
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	1/2" PLYWOOD
<input type="checkbox"/>	3/4" RAISED BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER COLUMN
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER FABRICATION
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<input type="checkbox"/>	BRICK PATTERN ROOFING
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	METAL RAIL / SPINDLES
<input type="checkbox"/>	FRONT GLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL ORNAMENTAL GLASS DOOR
<input type="checkbox"/>	REGULATORY FENCES
<input type="checkbox"/>	DECORATIVE ACCENT TILE
<input type="checkbox"/>	DECORATIVE VENT
<input type="checkbox"/>	BRICK PLASTER TEXTURE
<input type="checkbox"/>	PLASTER MANICOT
<input type="checkbox"/>	BRICK AND BATTEN
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



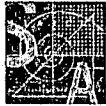
LEFT SIDE ELEVATION



FRONT ELEVATION

UNIT 3/A
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'E'

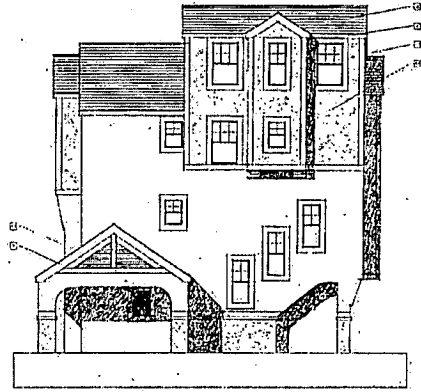
NORTHWEST LAND PARK - URBAN COURTS
NORTHWEST LAND PARK, LLC



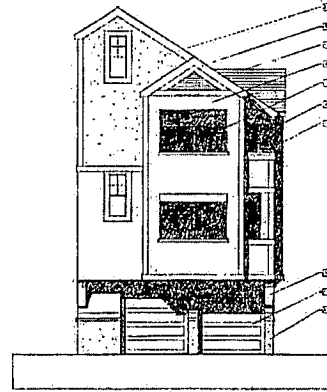
11/11

TYPICAL BUILDING MATERIALS

- 1 INTERNAL GABLE TO THE ROOF
- 2 INTERNAL GABLE FLY TO THE ROOF
- 3 EXTERNAL GABLE PLASTER
- 4 BR FASMA
- 5 2" X 4" SILL BOARD
- 6 PLASTER CORNICE
- 7 PLASTER COLUMN
- 8 PLASTER ARCHWAY TRIM
- 9 DECORATIVE PLASTER PROJECTION
- 10 PLASTER TRIM
- 11 VINYL SIDING
- 12 SHEETROCK GABLE SIDING
- 13 SHEETROCK SIDING
- 14 BRICK PATTERNS VERTICAL
- 15 DECORATIVE SHUTTER
- 16 METAL PIECE / ARCHWAY
- 17 FIBERGLASS ENTRY DOOR
- 18 GLASS GLASS DOOR
- 19 METAL SECTIONAL SHARED DOOR
- 20 DECORATIVE POST/BEAM
- 21 DECORATIVE HATCH/TILE
- 22 DECORATIVE TRIM
- 23 MULTI PLASTER TEXTURES
- 24 PLASTER ARCHWAY
- 25 ROOFING AND SILLING
- 26 ALL METAL AND ROOF ELEMENTS TO BE PAINTED



ENHANCED RIGHT SIDE ELEVATION

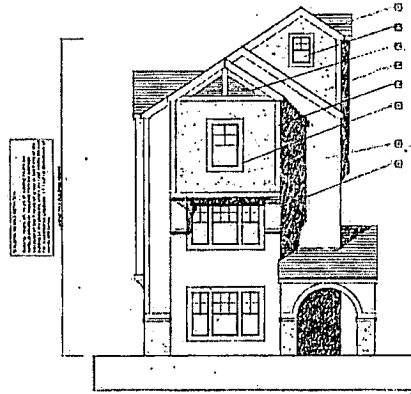


REAR ELEVATION

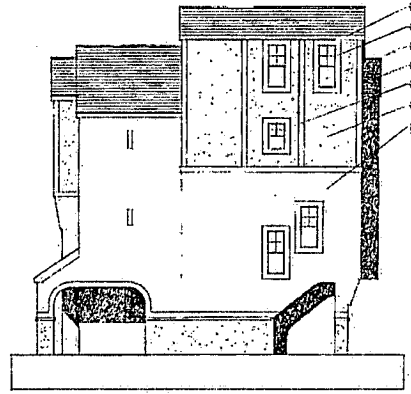
UNIT 3/4
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'E'
 NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
1	MATERIAL COLOR TILE ROOF
2	MATERIAL COLOR PLATE ROOF
3	MATERIAL COLOR PLASTER
4	PAINT
5	3/4" PLYWOOD
6	1/2" PLYWOOD
7	PLASTER CORNER
8	PLASTER CORNER
9	PLASTER CORNER
10	PLASTER CORNER
11	PLASTER CORNER
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97	PLASTER CORNER
98	PLASTER CORNER
99	PLASTER CORNER
100	PLASTER CORNER



FRONT ELEVATION WITH ENH. RIGHT SIDE

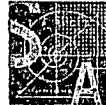


RIGHT SIDE ELEVATION

UNIT 3/4
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'E'

10% OF

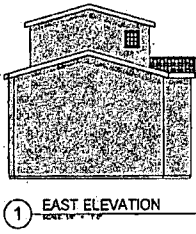
NORTHWEST LAND PARK - URBAN COURTS
 NORTHWEST LAND PARK, LLC



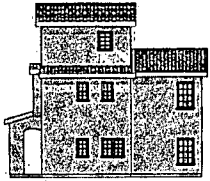
10% OF

TYPICAL BUILDING MATERIALS	
1	INTERNAL COLOR TILE ROOF
2	INTERNAL COLOR FLAT TILE ROOF
3	INTERNAL COLOR PLASTER
4	EIFS FINISH
5	2X RADE BOARD
6	PLASTER CORNICE
7	PLASTER CORNICE
8	PLASTER FINISH
9	NEGATIVE PLASTER PROJECTION
10	PLASTER TAIL
11	EIFS FINISH
12	HORIZONTAL SPINDLE BOARD
13	HORIZONTAL BOARD
14	WOOD PLANTER BOX
15	NEGATIVE SHUTTER
16	METAL RAIL / HANDRAIL
17	METAL AND ENTRY DOOR
18	SLIDING GLASS DOOR
19	METAL SECTIONAL SLIDE DOOR
20	NEGATIVE PORTAL
21	NEGATIVE ACCENT PIECE
22	NEGATIVE VENT
23	WOOD PLASTER FEATURE
24	PLASTER HANDICAP
25	BOARD AND BATTEN

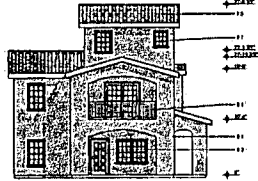
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED



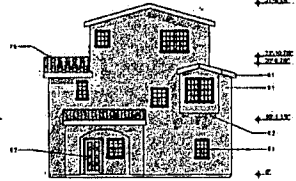
1 EAST ELEVATION
SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



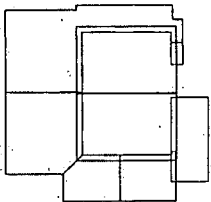
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SCALE 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

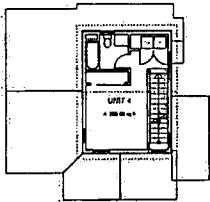
- FINISHES
- 11 SPARSE CONCRETE
- BALCONY
- 11 TYPICAL BRICK
- NOTES
- 01 INTERIOR WALL FINISH
- 02 INTERIOR CEILING
- 03 INTERIOR FLOOR FINISH
- 04 INTERIOR DOOR
- 05 INTERIOR WINDOW
- 06 INTERIOR WOOD PANELING
- 07 INTERIOR WOOD TRIM
- 08 INTERIOR WOOD CASEWORK
- 09 INTERIOR WOOD STAIRS
- 10 INTERIOR WOOD SHELTERS
- 11 INTERIOR WOOD COLLARS
- FINISHES
- 11 SPARSE CONCRETE
- 12 INTERIOR WOOD PANELING
- 13 INTERIOR WOOD TRIM
- 14 INTERIOR WOOD CASEWORK
- 15 INTERIOR WOOD STAIRS
- 16 INTERIOR WOOD SHELTERS
- 17 INTERIOR WOOD COLLARS

AREA CALCULATIONS

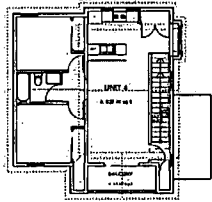
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13	INTERIOR WOOD TRIM	1100
14	INTERIOR WOOD CASEWORK	1100
15	INTERIOR WOOD STAIRS	1100
16	INTERIOR WOOD SHELTERS	1100
17	INTERIOR WOOD COLLARS	1100



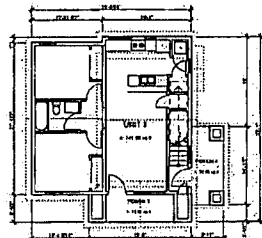
5 Roof
SCALE 1/8" = 1'-0"



6 3rd Floor
SCALE 1/8" = 1'-0"



7 2nd Floor
SCALE 1/8" = 1'-0"



8 1st Floor
SCALE 1/8" = 1'-0"



McGARRY & ASSOCIATES
INCORPORATED
200 S. MARKET
SUITE 100
SANTA ANA, CA 92701
TEL: 714.241.1111
WWW.MCGARRY.COM

Architectural Drawing License No. 11111

PROJECT NAME

Cottage Plan 3 & 4
Version 1
28/08/11
MCG

Site Owner
Northwest Land Park LLC

DATE DESCRIPTION

Presentation

PROJECT NAME

Client/Architect

DATE

DESCRIPTION

SCALE

DATE

DESCRIPTION

SCALE

DATE

DESCRIPTION

SCALE

DATE

DESCRIPTION

SCALE

DATE

DESCRIPTION

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SCALE

DATE

DESCRIPTION

SCALE

DATE

DESCRIPTION

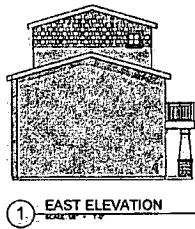
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DATE

A-001.1

Change No. 1

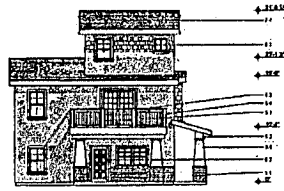
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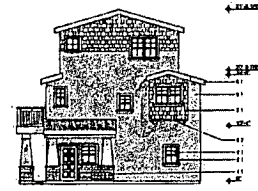
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SCALE: 1/8\"/>



2 NORTH ELEVATION
SCALE: 1/8\"/>



3 SOUTH ELEVATION
SCALE: 1/8\"/>



4 WEST ELEVATION
SCALE: 1/8\"/>

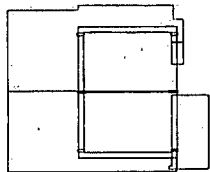
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- CONCRETE
 - 11. COARSE CONCRETE
- Masonry
 - 41. 8\"/>
- GLASS
 - 51. TYPICAL W/TA. FINISH
 - 52. METAL CLASH
- WOOD & PLASTER
 - 61. PAINTED WOOD SHIP
 - 62. UNPAINTED WOOD SHIP
 - 63. PAINTED WOOD SHIP & SHIP
 - 64. PAINTED WOOD SHIP & SHIP
 - 65. PAINTED WOOD SHIP & SHIP
 - 66. PAINTED WOOD SHIP & SHIP

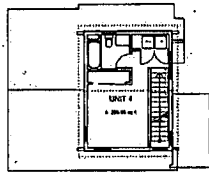
- THRESHOLD, 6 & 8 SYSTEM MULTIPLE USE
 - 71. 2\"/>
- WALL
 - 21. WOOD CLADDING (EXTERIOR, INTERIOR)
 - 22. WOOD CLADDING (WALL)
 - 23. (OPTIONAL) BRICK/CLAY BRICK FINISHING
 - 24. CLADDING (WOOD) (EXTERIOR, INTERIOR)
- ROOFING
 - 81. 2\"/>
- FINISHES
 - 91. WALLS/CEILING PLASTER FINISH - PLASTERWORK
 - 92. INTERIORS COLOR

AREA CALCULATIONS

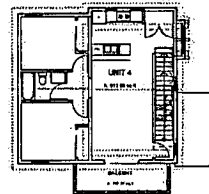
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UNIT 2	1,000
UNIT 3	1,000
UNIT 4	1,000
UNIT 5	1,000
UNIT 6	1,000



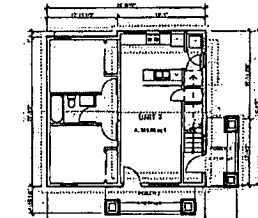
5 Roof
SCALE: 1/8\"/>



6 3rd Floor
SCALE: 1/8\"/>



7 2nd Floor
SCALE: 1/8\"/>



8 1st Floor
SCALE: 1/8\"/>



MODAVILLO ARCHITECTS
ARCHITECTS
ENGINEERS
PLANNERS
1000 N. 10TH ST.
SUITE 100
DENVER, CO 80202

Cottage Plan 3 & 4
Version 2
12/04/11
12/04/11

Jim Muzz
Northwest Land Park LLC

ARCHITECT

Presentation

PROJECT NAME
ADDRESS CHANGE

DATE

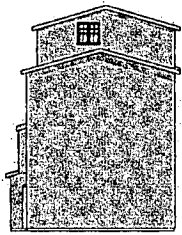
REVISIONS

DATE

SHEET NUMBER

A-002.1

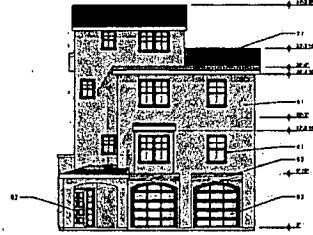
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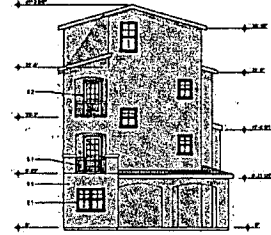
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SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



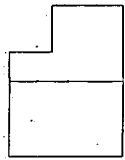
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SCALE: 1/8" = 1'-0"



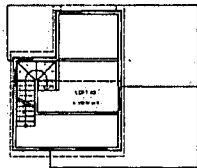
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

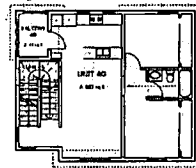
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|---|--|--|------|-------|------|-------|---------|-------|-------|-------|------------|-------|-----------|-------|
| <p>ROOFING</p> <ul style="list-style-type: none"> 11. GORGED GABLET <p>FRAMING</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>WALLS</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>ROOF & PLUMB</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>FINISHES</p> <ul style="list-style-type: none"> 11. 2X4 STUDS | <p>ROOFING & STRUCTURE FINISHES</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>FRAMING</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>WALLS</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>ROOF & PLUMB</p> <ul style="list-style-type: none"> 11. 2X4 STUDS <p>FINISHES</p> <ul style="list-style-type: none"> 11. 2X4 STUDS | <p>AREA CALCULATIONS</p> <table border="0"> <tr> <td>WALL</td> <td>1000'</td> </tr> <tr> <td>ROOF</td> <td>2000'</td> </tr> <tr> <td>CEILING</td> <td>2000'</td> </tr> <tr> <td>FLOOR</td> <td>2000'</td> </tr> <tr> <td>FOUNDATION</td> <td>2000'</td> </tr> <tr> <td>SCREENING</td> <td>2000'</td> </tr> </table> | WALL | 1000' | ROOF | 2000' | CEILING | 2000' | FLOOR | 2000' | FOUNDATION | 2000' | SCREENING | 2000' |
| WALL | 1000' | | | | | | | | | | | | | |
| ROOF | 2000' | | | | | | | | | | | | | |
| CEILING | 2000' | | | | | | | | | | | | | |
| FLOOR | 2000' | | | | | | | | | | | | | |
| FOUNDATION | 2000' | | | | | | | | | | | | | |
| SCREENING | 2000' | | | | | | | | | | | | | |



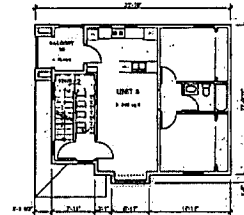
5 Roof
SCALE: 1/8" = 1'-0"



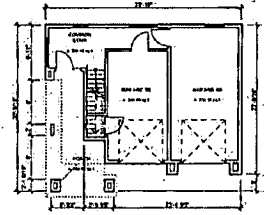
6 4th Floor
SCALE: 1/8" = 1'-0"



7 3rd FLOOR
SCALE: 1/8" = 1'-0"



8 2nd FLOOR
SCALE: 1/8" = 1'-0"



9 1st Floor
SCALE: 1/8" = 1'-0"



MODAYESO
NOTAYESO
ASSOCIATES

Architectural & Planning / Urban Design

Project Name
NO 3000

COTTAGE 3G/4G
Sheet 1
8/23/11
RCH

Jim Munn
Northwest Land Park LLC

Scale

Presentation

Project Name
Architectural Design

Project No.
8/23/11

Revision

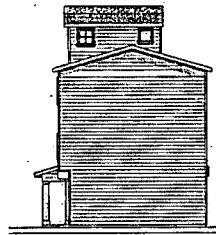
Revision

Revision

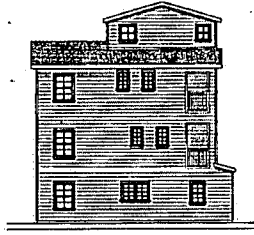
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Sheet Name
A-003.1

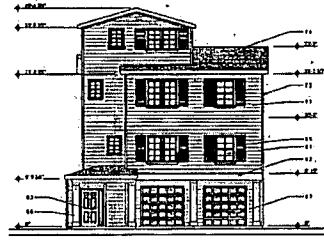
Cottage 3G/4G
NO 3000



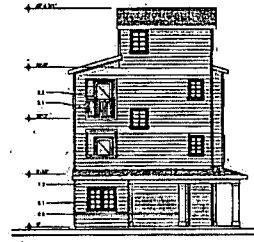
1 EAST ELEVATION
SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



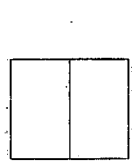
4 WEST ELEVATION
SCALE 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

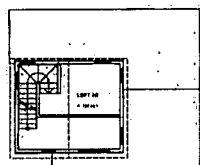
- | | |
|--|--|
| <p>CONCRETE</p> <ul style="list-style-type: none"> 01 EXPOSED CONCRETE <p>BRICKMANT</p> <ul style="list-style-type: none"> 01 VENEER BRICK <p>METALS</p> <ul style="list-style-type: none"> 01 PAINTED METAL FINISH 02 METAL SHEET <p>WOOD & PLASTIC</p> <ul style="list-style-type: none"> 01 PAINTED WOOD SHIP 02 OIL-COLORED WOOD SHIP 03 PAINTED FIBERGLASS COM 04 PAINTED FIBERGLASS POST 05 PAINTED FIBERGLASS W/VE BRIDGE 06 PAINTED COGNITIVE BRICK COLUMN | <p>FINISHES & TREATMENTS</p> <ul style="list-style-type: none"> 01 WHITE CHALK OR WHITELIQUOR WASH 02 WHITE GLOSS VENEER, BRICK 03 WHITE GLOSS WOOD SHIP 04 WHITE GLOSS FIBERGLASS COM 05 WHITE GLOSS FIBERGLASS POST 06 WHITE GLOSS FIBERGLASS W/VE BRIDGE <p>GLASS</p> <ul style="list-style-type: none"> 01 TINTED GLASS 02 PAINTED METAL GLASS DOOR <p>PAINTS</p> <ul style="list-style-type: none"> 01 PAINT/STAIN/PLASTER FINISH - GLAZIERS 02 WHITE MEDIA COLOR |
|--|--|

AREA CALCULATIONS

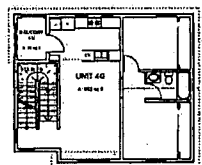
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UNIT 3C	9354
UNIT 3D	9354
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UNIT 3G	9354
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UNIT 3M	9354
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UNIT 3O	9354
UNIT 3P	9354
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UNIT 3R	9354
UNIT 3S	9354
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UNIT 3Y	9354
UNIT 3Z	9354



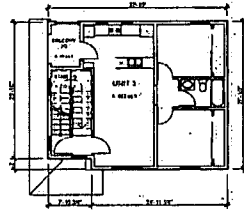
5 Roof
SCALE 1/8" = 1'-0"



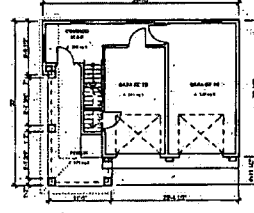
6 4th Floor
SCALE 1/8" = 1'-0"



7 3rd Floor
SCALE 1/8" = 1'-0"



8 2nd Floor
SCALE 1/8" = 1'-0"



9 1st Floor
SCALE 1/8" = 1'-0"

MOGAYEBB
MOYESTINE
ASSOCIATES
INC.
2000 K STREET
SACRAMENTO
CA 95811
708.444.9888
708.444.7228
MOYESTINE.COM

Architectural Planning & Urban Design

COTTAGE 3Q/4G
Version 2
02/28/11
02/28/11

Jim Murr
Northwest Land Park LLC

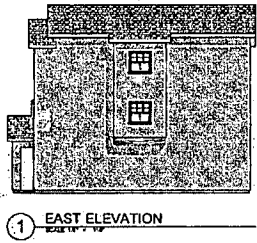
Site Preparation

Presentation Plan

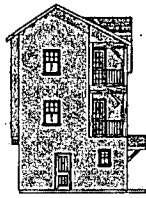
PROJECT NAME
Owner/Client
Architect
Date
Sheet Number

A-004.1

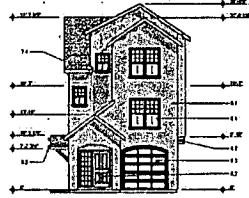
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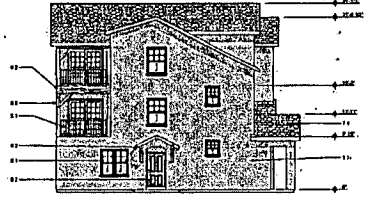
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SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

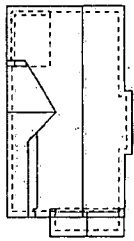
EXTERIOR ELEVATION KEYNOTES:

- * CURB SIDE
- 11 BRICKS COMPLETE
- ROOFING
- 17 TYPED BRICK
- DETAILS
- 11 PAINTED WOOD SHINGLES
- 12 METAL FLASHING
- 13 PAINTED WOOD SHINGLES
- 14 BRICKS
- 15 BRICKS
- 16 BRICKS
- 17 BRICKS
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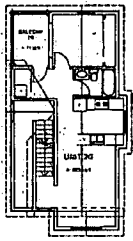
- FINISHES & EXTERIOR PAINTS:
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AREA CALCULATIONS

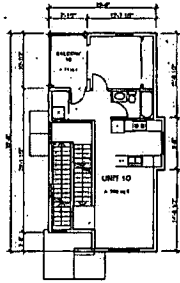
ITEM	AREA	UNIT
1. FLOOR AREA	1,200	SQ. FT.
2. ROOF AREA	1,500	SQ. FT.
3. EXTERIOR WALL AREA	2,400	SQ. FT.
4. TOTAL AREA	5,100	SQ. FT.



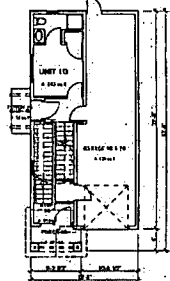
5 Roof
SCALE: 1/4" = 1'-0"



6 3rd FLOOR
SCALE: 1/4" = 1'-0"



7 2nd FLOOR
SCALE: 1/4" = 1'-0"



8 1st Floor
SCALE: 1/4" = 1'-0"



MOGAYRO
ARCHITECTS
ASSOCIATES
1000 S. GARDEN
SUITE 100
DENVER, CO 80202
P 303.441.2222
F 303.441.2222
MOGAYRO.COM

MOGAYRO ARCHITECTS ASSOCIATES

MOGAYRO ARCHITECTS ASSOCIATES

COTTAGE PLAN 1G/2G

Version 1

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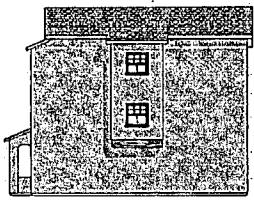
MOGAYRO ARCHITECTS ASSOCIATES

MOGAYRO ARCHITECTS ASSOCIATES

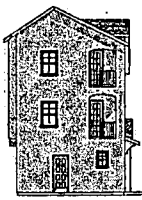
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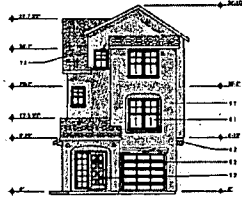
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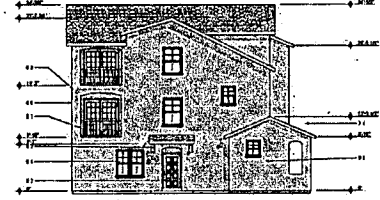
1 EAST ELEV
SCALE 1/8" = 1'-0"



2 NORTH ELEV
SCALE 1/8" = 1'-0"



3 SOUTH ELEV
SCALE 1/8" = 1'-0"



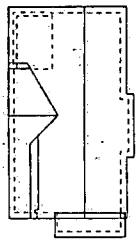
4 WEST ELEV
SCALE 1/8" = 1'-0"

EXTERIOR ELEVATION KEY/NOTES:

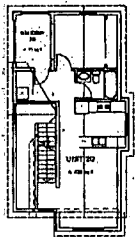
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| CONCRETE | 11. CAPSULE CONCRETE | 12. FORM CONCRETE | 13. BRICK | 14. STONE | 15. METAL | 16. METAL | 17. METAL | 18. METAL | 19. METAL | 20. METAL | 21. METAL | 22. METAL | 23. METAL | 24. METAL | 25. METAL | 26. METAL | 27. METAL | 28. METAL | 29. METAL | 30. METAL | 31. METAL | 32. METAL | 33. METAL | 34. METAL | 35. METAL | 36. METAL | 37. METAL | 38. METAL | 39. METAL | 40. METAL | 41. METAL | 42. METAL | 43. METAL | 44. METAL | 45. METAL | 46. METAL | 47. METAL | 48. METAL | 49. METAL | 50. METAL | 51. METAL | 52. METAL | 53. METAL | 54. METAL | 55. METAL | 56. METAL | 57. METAL | 58. METAL | 59. METAL | 60. METAL | 61. METAL | 62. METAL | 63. METAL | 64. METAL | 65. METAL | 66. METAL | 67. METAL | 68. METAL | 69. METAL | 70. METAL | 71. METAL | 72. METAL | 73. METAL | 74. METAL | 75. METAL | 76. METAL | 77. METAL | 78. METAL | 79. METAL | 80. METAL | 81. METAL | 82. METAL | 83. METAL | 84. METAL | 85. METAL | 86. METAL | 87. METAL | 88. METAL | 89. METAL | 90. METAL | 91. METAL | 92. METAL | 93. METAL | 94. METAL | 95. METAL | 96. METAL | 97. METAL | 98. METAL | 99. METAL | 100. METAL |
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AREA CALCULATIONS

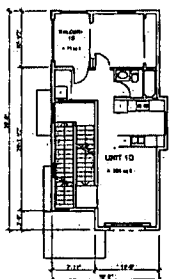
UNIT 10	100
POUCH 10	100
PORCH 10	100
UNIT 11	100
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PORCH 11	100
UNIT 12	100
POUCH 12	100
PORCH 12	100
UNIT 13	100
POUCH 13	100
PORCH 13	100



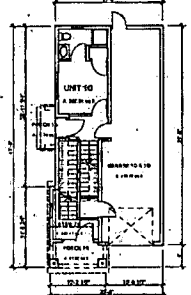
5 Roof
SCALE 1/8" = 1'-0"



6 3rd FLOOR
SCALE 1/8" = 1'-0"



7 2nd FLOOR
SCALE 1/8" = 1'-0"



8 1st Floor
SCALE 1/8" = 1'-0"



COTTAGE 1G/2G
Version 1
E2001
ACity
Jim Mauer
Northwest Land Park LLC
10/15/2010
Presentation

PROJECT TITLE
Architect/Design
ARCHITECT
DATE
JOB NUMBER
SHEET NUMBER
A-006.1
COTTAGE 1G/2G
10/15/2010

Date: August 18, 2010

Preliminary 2007 CBC Review
R-3 residential, type V-B (non-rated) construction, no aprtMars

- 1. Occupancy
 - a. Residential R-3 Duplex and Single Family (Section 110.1)
 - b. Private Garages A & B (406.1); Group U accessory to R-3 occupancy
 - c. Private Garage C (406.1) Group U
- 2. Maximum Store Height
 - a. Measured to average height of highest roof surface (502)
 - b. Maximum height: 3 stories and 40' (Table 503)
- 3. Maximum Building Area (Table 503)
 - a. Unlimited
- 4. Buildings on the Same Lot: (704.3, Exception)
 - a. Imaginary line assumed between duplex buildings and between single family R-3 areas unlimited (Table 503)
- 5. Fire Resistance of Building Elements (Table 601)
 - a. Structural Frame: 0 Hr
 - b. Bearing Walls, Int & Ex: 0
 - c. Non-bearing walls and partitions (Table 601): 0
 - d. Floors: 0
 - e. Roof: 0
- 6. Fire Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance (Table 602)
 - a. 0-0e^{2} 1 Hr
 - b. $X=0$e^{2}$ 0$
- 7. Projections (Including Balconies)
 - a. Maximum Projection: Max 12 inches where openings prohibited (704.2.2)
 - b. Openings prohibited where $X=0$e^{2}$ (Table 704.3)$
 - c. Projections allowed where $X=0$e^{2}$$
 - d. Conceivable projections where openings are not permitted shall be 1-hour min (704.2.3)
- 8. Maximum Area of Exterior Openings (Table 704.6, csp):
 - a. $X=0$e^{2}$ separation distance:

 - 1. 0<math>e^{2}e^{2} Not Permitted
 - 2. 0<math>e^{2}e^{2} 25%
 - 3. 0e^{2} Unlimited$
- 9. Unit/Occupancy Separations
 - a. Between Units:
 - 1. Walls and Supporting Structure: 1 hour fire partitions (708.3, 708.4)
 - 2. Floors and Supporting Structures: 1 hour (711.3, 711.4)
 - b. Residential to Private Garage: per 406.1.4)

- c. Residential to Private Garage C: not serving units above, not accessory, separated occupancies (503.3.3)
 - 1. Floor, Wall and Supporting Structure: 2 hours (Table 508.3.3)
- 10. Sprinklers:
 - a. Not required per 2007 CBC
- 11. Egress
 - a. Stairs within individual units:
 - 1. Min Width (1009.1, exception 1): 36", occupant load >50
 - 2. Max. Rise (1009.3.4) = 7.75'
 - 3. Min. treads: 10"
 - 4. Min. Min. riser tread width: 11"
 - b. Landings:
 - 1. Doors opening onto landing shall not reduce landing to less than one-half required width (1009.4.2)
 - 2. In R-3, a floor or landing is not required at the top of an Interior Flight of stairs provided door does not swing over stairs (1009.4.3)
 - c. Egress:
 - 1. One exit required from each unit, Common Path of Egress Travel: limits do not apply in R-3. (1010.2.2)
 - d. Egress Court:
 - 1. Width: 30" minimum (1024.5.1)
- 12. Accessibility:
 - a. Duplexes and single family are exempt (1102A.1.2)
 - b. Duplexes and single family are exempt from Multi-story Dwelling requirements (1102A.3.1)
- 13. Yards or Courts (1206)
 - a. 1206 applies only to openings that provide required natural light or ventilation. (1206.1 and IBC Commentary)
 - b. Yards or courts with openings that do not provide required natural light or ventilation do not need to comply with 1206 requirements
 - c. Space bounded on only 2 sides is a yard (202)
 - d. 3 story yards with required openings shall be 4' minimum width (3' min + 1' story over 2 + 3' + 1' x 1') (1206.2)
 - e. Yard minimum width shall be unobstructed from the ground to the sky (202)
 - f. Space bounded on 3 sides is a court (202)
 - g. Note: There are no openings that provide required natural light or ventilation at courts

CODE ANALYSIS

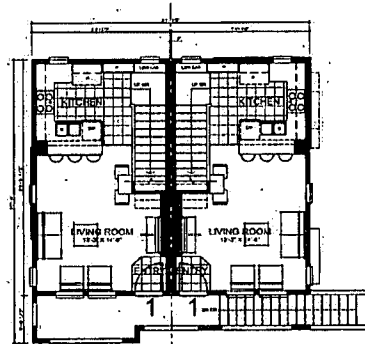
HTA

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
NORTHWEST LAND PARK, LLC

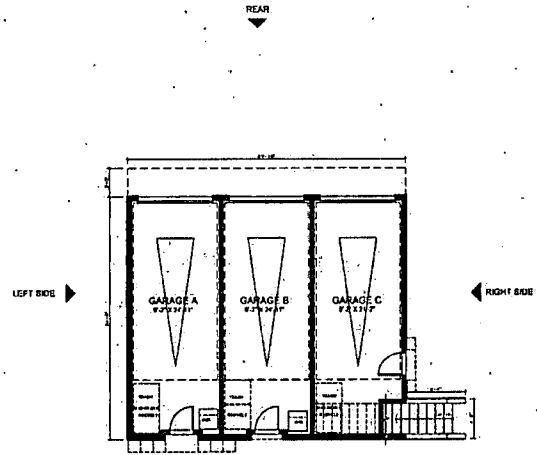
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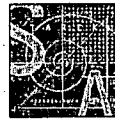
SECOND FLOOR



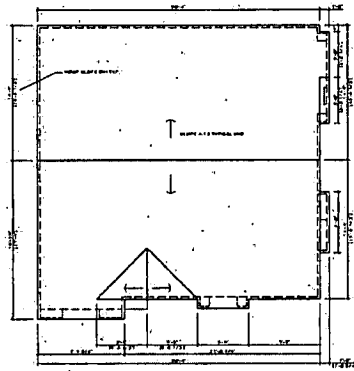
FIRST FLOOR

UNIT 1/1
 FIRST / SECOND FLOOR BUILDING PLANS
 ELEVATION STYLE - 'A'

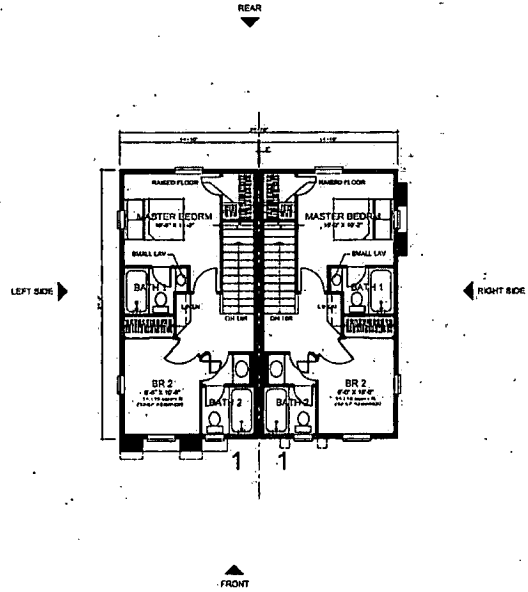
NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC



AREA	
UNIT 1	
FIRST FLOOR	267.77 SF
SECOND FLOOR	211.12 SF
TOTAL UNIT AREA	478.89 SF
GARAGE A	96.00 SF
GARAGE B	96.00 SF
GARAGE C	96.00 SF
TOTAL GARAGE AREA	288.00 SF



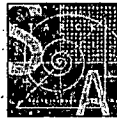
ROOF PLAN



THIRD FLOOR

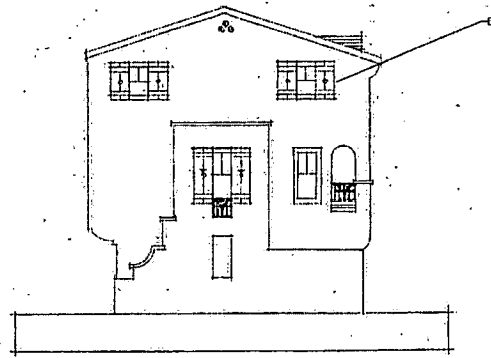
UNIT 1/1
 THIRD FLOOR BUILDING PLAN / ROOF PLAN
 ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC

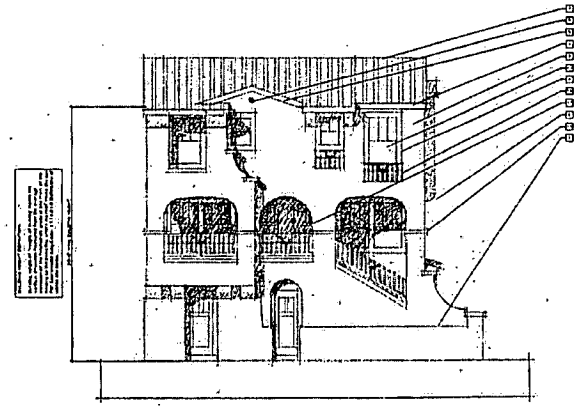


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AREAS	
CONCRETE FLOOR	331.78 SF
WOOD FLOOR	221.51 SF
TOTAL FLOOR AREA	553.29 SF
STAIRCASE #	798.79 SF
STAIRCASE #	792.87 SF
STAIRCASE #	797.77 SF



LEFT SIDE ELEVATION



FRONT ELEVATION

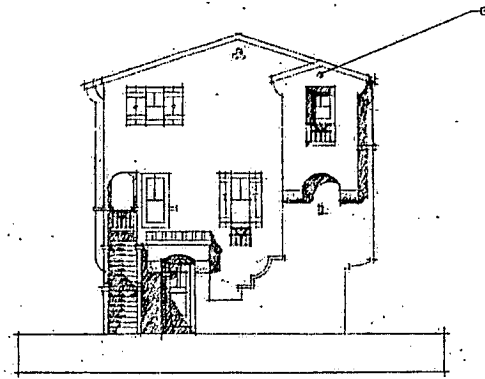
UNIT 1/1
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'A'

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC

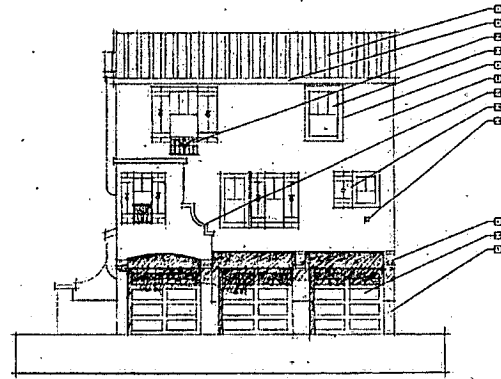


TYPICAL BUILDING MATERIALS	
☐	INTERNAL COLOR TILE ROOF
☐	INTERNAL COLOR FLAT TILE ROOF
☐	INTERNAL COLOR PLASTER
☐	SK FASCIA
☐	SK RAKE BOARD
☐	PLASTER CORNICE
☐	PLASTER FINNOCOT
☐	PLASTER HORIZONTAL TRIM
☐	DECORATIVE VENT
☐	PLASTER TRIM
☐	VERTICAL SIDING
☐	HORIZONTAL SHINGLE SIDING
☐	HORIZONTAL SIDING
☐	HEAVY PLASTER TEXTURE
☐	DECORATIVE SHUTTER
☐	METAL MAIL / GUARDRAIL
☐	FIBERGLASS ENTRY DOOR
☐	DECORATIVE ACCENT TILE
☐	METAL VICTORIAN SHRAME DOOR

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

UNIT 1/1
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

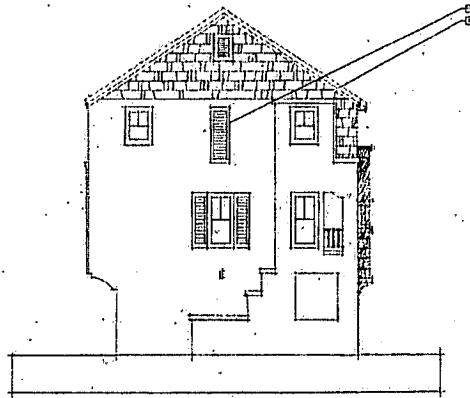
NORTHWEST LAND PARK - COTTAGE TOWNHOMES
NORTHWEST LAND PARK, LLC



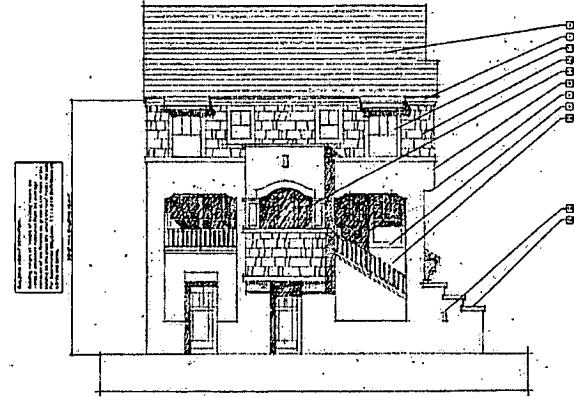
08.30.10

TYPICAL BUILDING MATERIALS	
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<input type="checkbox"/>	INTERIOR COLOR PLASTER
<input type="checkbox"/>	3/4" FANGLA
<input type="checkbox"/>	3/4" RAISE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER BANNICOFF
<input type="checkbox"/>	PLASTER JOIST/ROOF TRIM
<input type="checkbox"/>	DECORATIVE VENT
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<input type="checkbox"/>	METAL PLATE / BRACKET
<input type="checkbox"/>	FRIBELASS DUTTY DOOR
<input type="checkbox"/>	DECORATIVE ACCENT TILE
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR

* ALL METAL AND MOOD ELEMENTS TO BE PAINTED



LEFT SIDE ELEVATION



FRONT ELEVATION

UNIT 1/1
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'B'

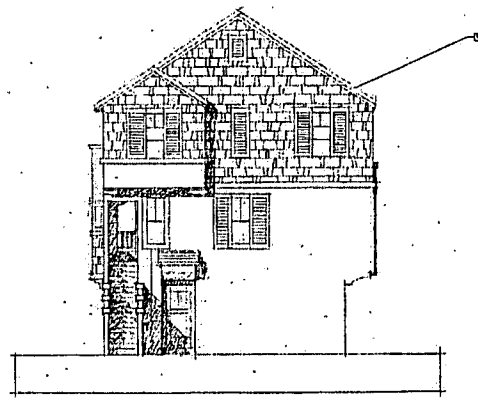
NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC



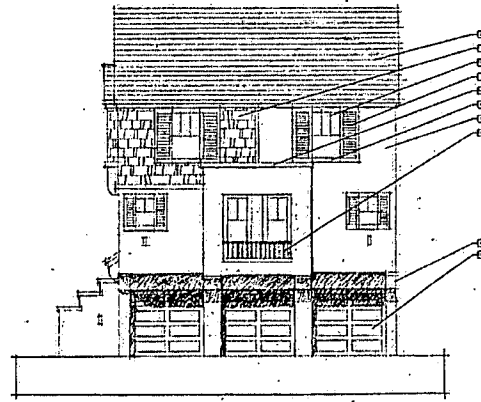
8/25/11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL GOLDEN 'V' TILE ROOF
<input type="checkbox"/>	INTERNAL GOLDEN PLAT TILE ROOF
<input type="checkbox"/>	INTERNAL GOLDEN PLASTER
<input type="checkbox"/>	3/4" FIBRA
<input type="checkbox"/>	3/4" RADE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER PARAPET
<input type="checkbox"/>	PLASTER WINDOW VENT
<input type="checkbox"/>	DECORATIVE VENT
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	HANDSCAPED BRICKLE SCHE
<input type="checkbox"/>	HORIZONTAL BORD
<input type="checkbox"/>	HEAVY PLASTER TEXTURE
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	METAL SIA / BRASSICAL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	DECORATIVE ACCENT TILE
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

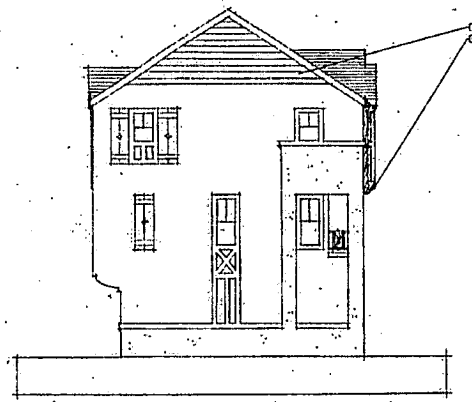
UNIT 1/1
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'D'

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC

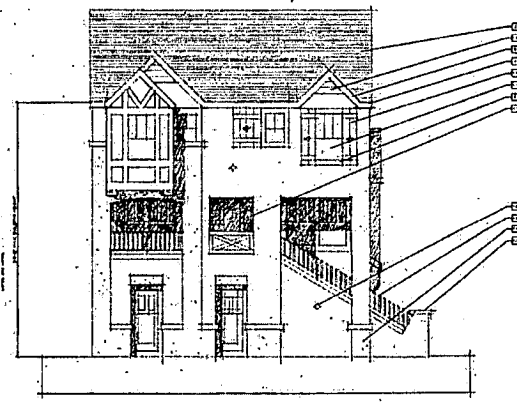


TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIAL COLOR 'D' TILE ROOF
<input type="checkbox"/>	INTERIAL COLOR PLAT TYLE ROOF
<input type="checkbox"/>	INTERIAL COLOR PLASTER
<input type="checkbox"/>	2X FASCIA
<input type="checkbox"/>	2X RADE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER FINISH
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	DECORATIVE VENT
<input type="checkbox"/>	PLASTER TRIM
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<input type="checkbox"/>	HAND-DRESSED SHINGLE SIDING
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<input type="checkbox"/>	HEAVY PLASTER TEXTURE
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	METAL MAIL GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	DECORATIVE ACCENT FILL
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR

* ALL METAL AND WOOD FLESHINGS TO BE PAINTED



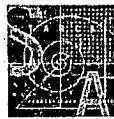
LEFT SIDE ELEVATION



FRONT ELEVATION

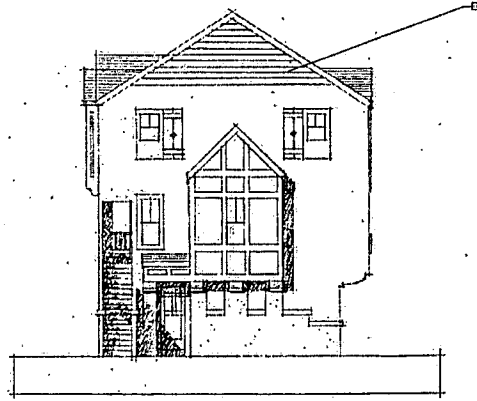
UNIT 1/1
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'E'

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC

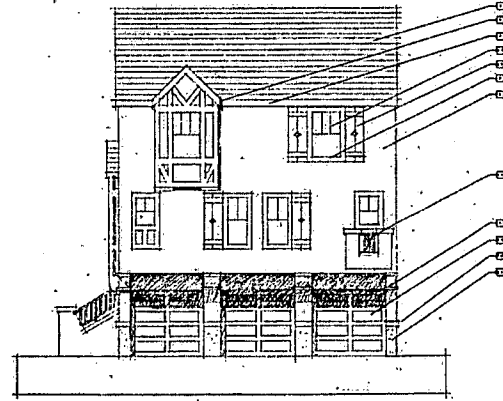


TYPICAL BUILDING MATERIALS	
☐	INTERIOR COLOR VINYL TILE ROOF
☐	INTERIOR COLOR PLAT TILE ROOF
☐	INTERIOR COLOR PLASTER
☐	3/8 PAPER
☐	3/4 RAKE BOARD
☐	PLASTER CORNER
☐	PLASTER KANSASOT
☐	PLASTER WINDOW TRIM
☐	DECORATIVE VENT
☐	PLASTER TANK
☐	VINYL WINDOW
☐	HANDICAPPED SHAMBLE BONE
☐	HORIZONTAL BONE
☐	HEAVY PLASTER TEXTURE
☐	DECORATIVE SHUTTER
☐	METAL MAIL / BRASS/BRASS
☐	FRIGOLASS ENTRY DOOR
☐	DECORATIVE ALBERT TILE
☐	METAL SECTIONAL GARAGE DOOR

* ALL METAL AND WOOD ELEMENTS TO BE PAINTED



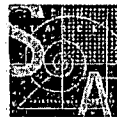
ENHANCED RIGHT SIDE ELEVATION



REAR ELEVATION

UNIT 1/1
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'E'

NORTHWEST LAND PARK - COTTAGE TOWNHOMES
 NORTHWEST LAND PARK, LLC



TYPICAL BUILDING MATERIALS	
1	INTERIAL COLOR 3" TILE ROOF
2	INTERIAL COLOR FLAT TILE ROOF
3	INTERIAL COLOR PLASTER
4	3/4" PANEL
5	2X RAFTER BOARD
6	PLASTER CORBEL
7	PLASTER FASCIA
8	PLASTER FINISH TRIM
9	DECORATIVE TRIM
10	PLASTER TRIM
11	VINYL FINISH
12	HANDSCRAPE SHINGLE SIDING
13	HORIZONTAL SIDING
14	HEAVY PLASTER TEXTURE
15	DECORATIVE SANDY
16	METAL BALCONY HANDRAIL
17	FIBERGLASS ENTRY DOOR
18	DECORATIVE ACCENT TILE
19	METAL SECTIONAL GARAGE DOOR

* ALL METAL AND HOOD ELEMENTS TO BE PAINTED

Date: July 12, 2010

Interim 2007 CBC Review
R-3 residential duplex and 3 townhouse building
type V-B (non-rated) construction, no sprinklers

1. Occupancy
a. Residential R-3 Duplex and 3 townhouse building (Section 510.1)

2. Maximum Stories/Height
a. Measured to average height of highest roof surface (502)
b. Maximum height: 3 stories and 40' (Table 503)

3. Maximum Building Area (Table 503)
a. Unlimited

4. Townhouses
a. Townhouses considered separate buildings (419.4)
b. Common 2-hour fire resistance-rated wall shall separate townhouses (419.5, E)

5. Buildings on the Same Lot (704.3, Exception)
a. Imaginary fire assumed between duplex buildings and between 3 townhouse buildings

6. Fire Resistance of Building Elements (Table 601)
a. Structural Frame: 0 Hr
b. Dripping Walls, Int & Ext: 0
c. Non-bearing walls and partitions (Table 601): 0
d. Floors: 0
e. Roof: 0

7. Fire Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance (Table 602)
a. 0-x-5' 1 Hr
b. X-x-5' 0

8. Projections (including balconies)
a. Maximum Projection: Max 12 inches where openings prohibited (704.2.3)
b. Openings prohibited where X-x-3' (Table 704.5)
c. Projections allowed where X-x-2'

d. Combustible projections where openings are not permitted shall be 1-hour min (704.2.3)

9. Maximum Area of Exterior Openings (Table 704.8, c&d):
a. Raffle separation distance
1. 0-x-x-3' Not Permitted
2. 3'-0-x-5' 25%
3. 5'-0' Unlimited

10. Unit/Occupancy Separations
a. Between Units:
i. Walls and Supporting Structure: 1 hour fire partitions (708.3, 709.4)
ii. Floors and Supporting Structure: 1 hour (711.3, 711.4)
b. Between townhouses:
i. Common 2-hour fire-resistance-rated wall shall separate townhouses (419.3, Ex)

11. Spillways:
a. Not required per 2007 CBC

12. Egress
a. Stairs within individual units:
i. Min Width (1009.1, exception 1): 36", occupant load <=50
ii. Max. Rise (1009.3.4) = 7.75"
iii. Min. treads: 10"
iv. Min. nosing tread width: 6"
b. Landings:
i. Doors opening onto landing shall not reduce landing to less than one-foot required width (1009.4.2).
ii. In R-3, a door or landing is not required at the top of an interior flight of stairs provided door does not swing over stairs (1009.4.3).

c. Egress
i. One exit required from each unit, Common Path of Egress Travel lines do not apply in R-3. (1019.3.2)

d. Egress Court:
i. Width 30' minimum (1024.5.1)

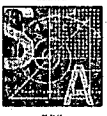
13. Accessibility
a. Duplexes and condominiums with 3 units are exempt (1102A.1.2)
b. Duplexes and condominiums with 3 units are exempt from Multi-story Dwelling requirements (1102A.2.1)

14. Yards or Courts (1208)
a. 1208 applies only to openings that provide required natural light or ventilation. (1208.1 and CBC Commentary)
b. Yards or courts with openings that do not provide required natural light or ventilation do not need to comply with 1208 requirements

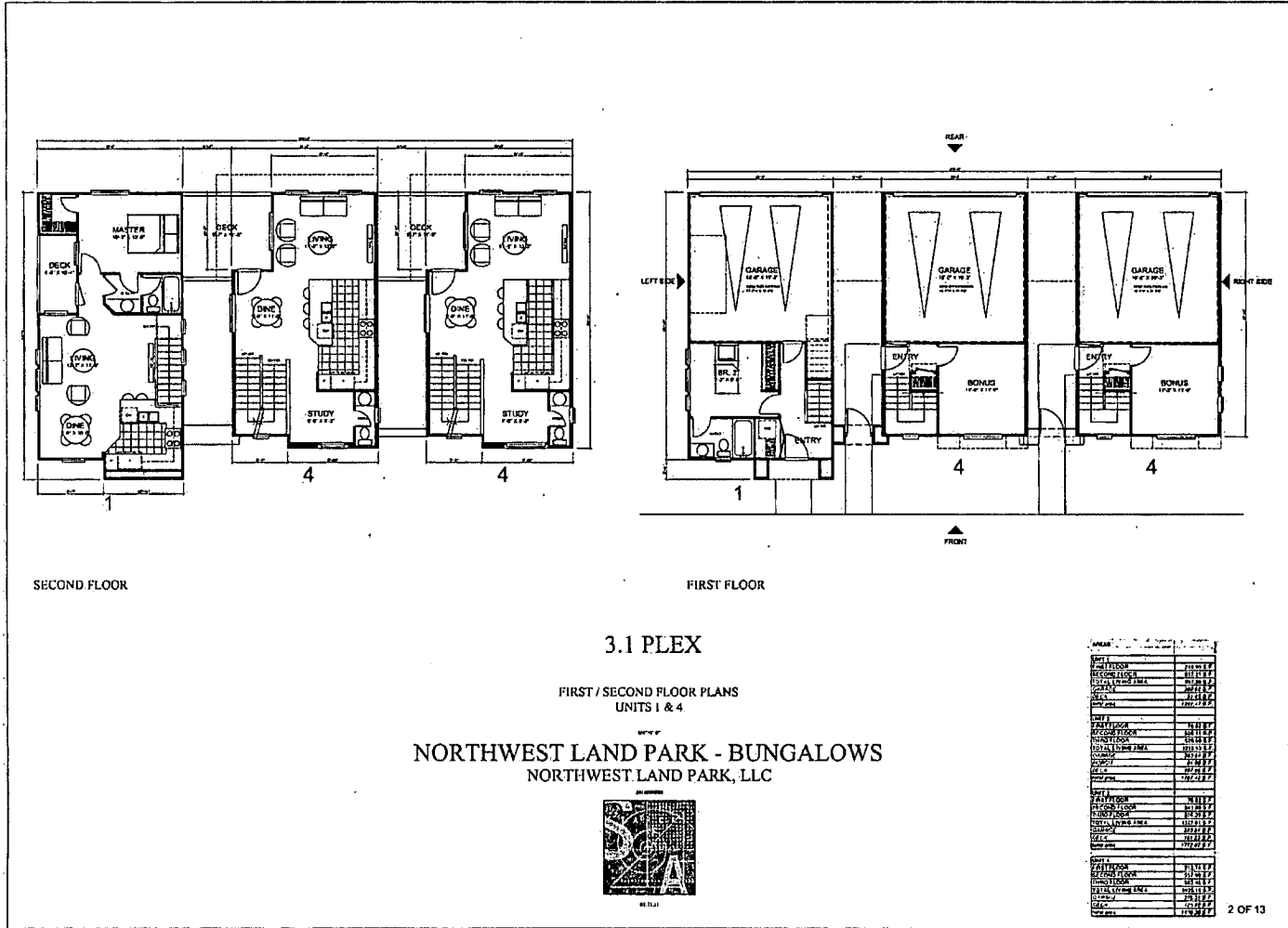
c. Space bounded on only 2 sides is a yard (202)
d. 3 story yards with required openings shall be 4' minimum width (3' min + 1 story over 2 = 3' + (1 x 1') (1208.2)
e. Yard minimum width shall be unobstructed from the ground to the sky (202)
f. Space bounded on 3 sides is a court (202)
g. Note: There are no openings that provide required natural light or ventilation at courts

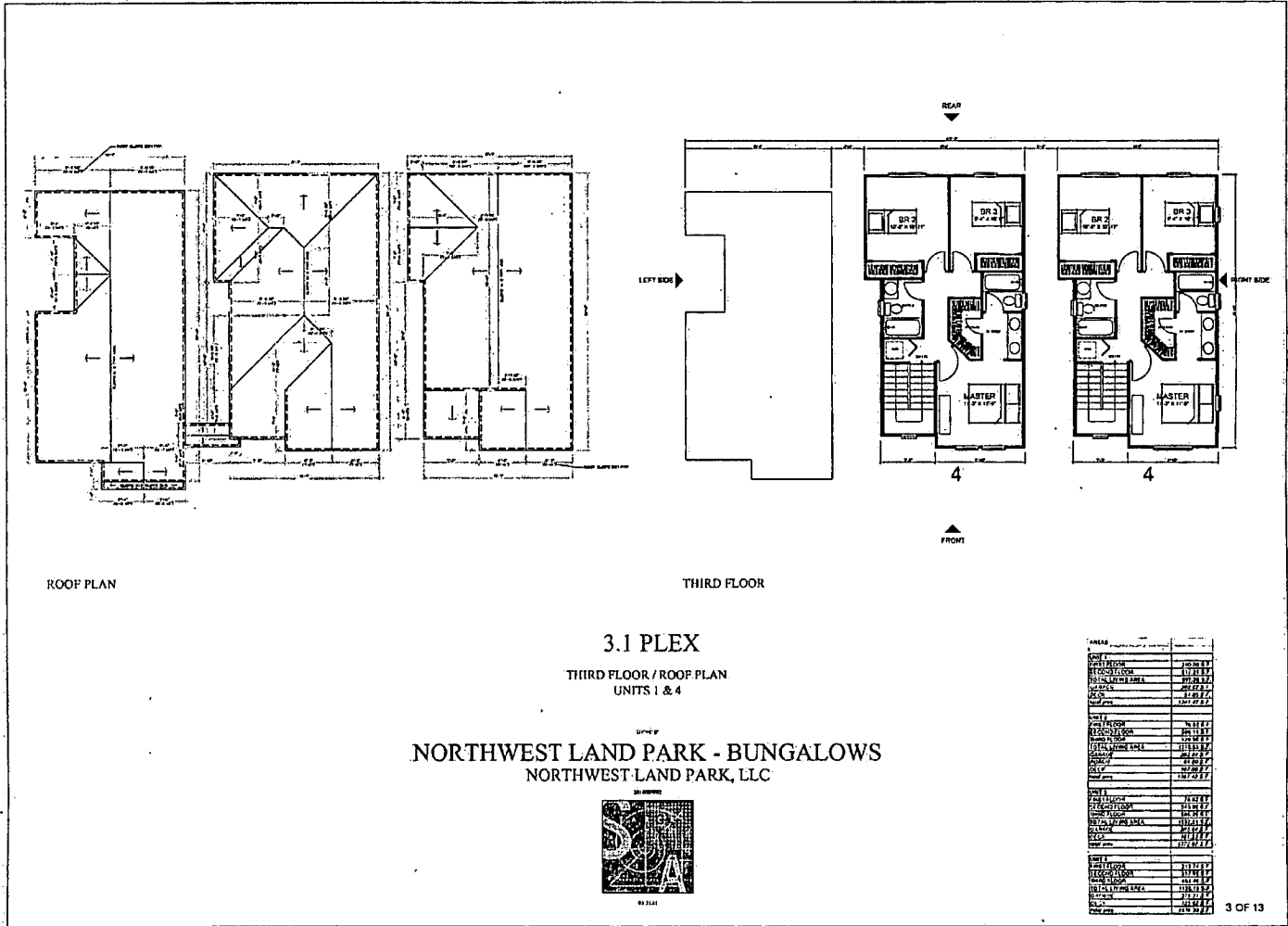
CODE ANALYSIS

NORTHWEST LAND PARK - BUNGALOWS
NORTHWEST LAND PARK, LLC



1 of 13





3.1 PLEX

EXTERIOR ELEVATIONS
UNITS 1 & 4

NORTHWEST LAND PARK - BUNGALOWS
NORTHWEST LAND PARK, LLC

A B

4 OF 13

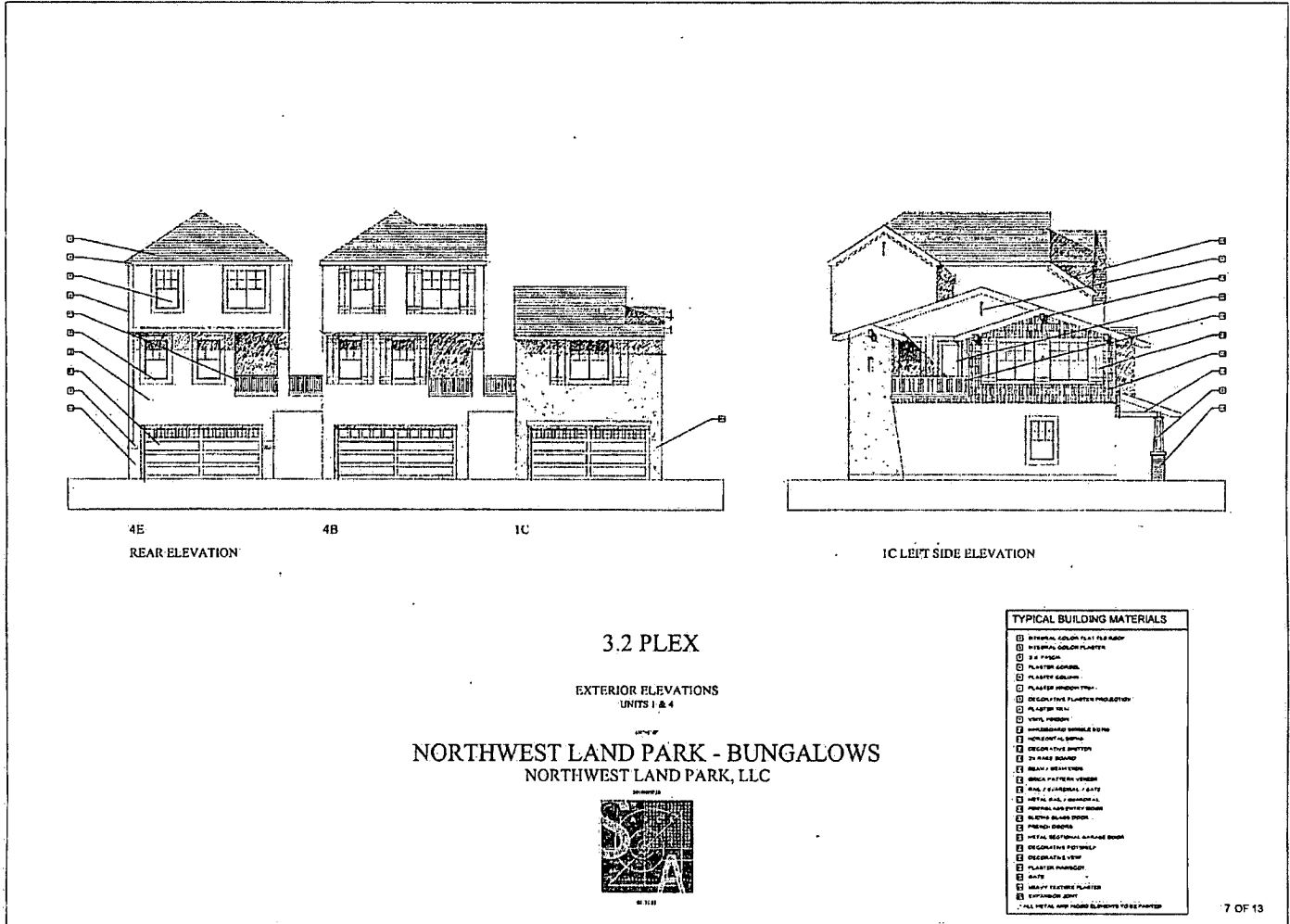
3.1 PLEX
 EXTERIOR ELEVATIONS
 UNIT 1 & 4
 NORTHWEST LAND PARK - BUNGALOWS
 NORTHWEST LAND PARK, LLC

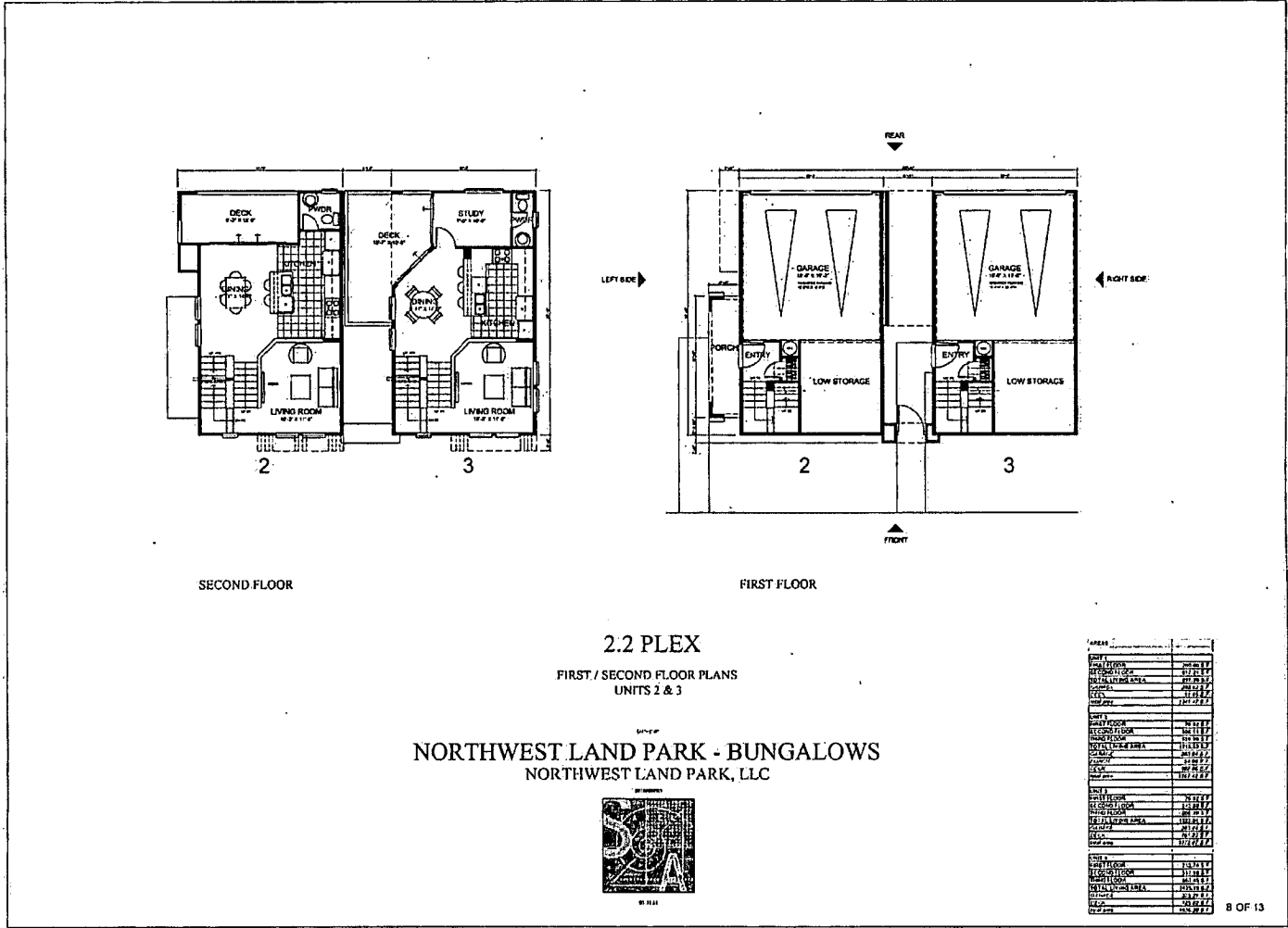
REAR ELEVATION 4E 1B

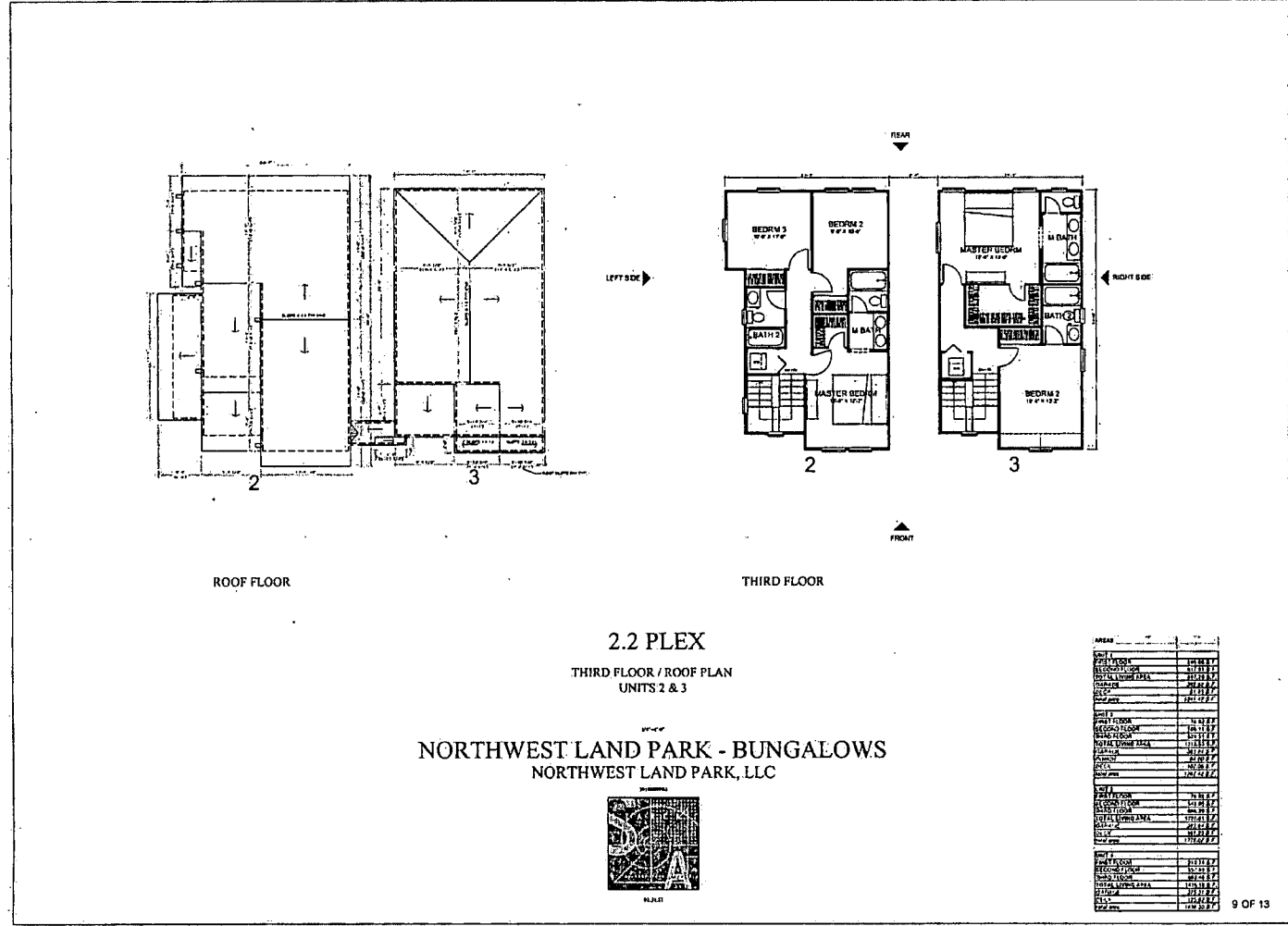
1B LEFT-SIDE ELEVATION

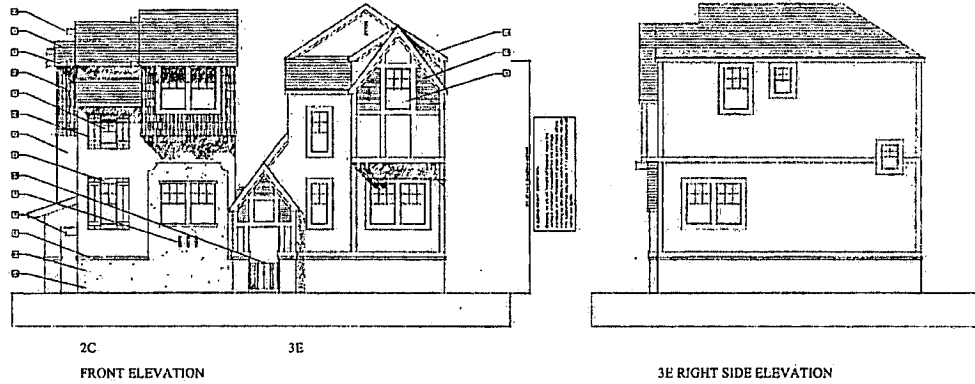
TYPICAL BUILDING MATERIALS	
□	INTERIOR Gypsum PLATE T&G ROOF
□	INTERIOR Gypsum PLASTER
□	2" X 4" STUDS
□	PLASTER CORNER
□	PLASTER GORING
□	PLASTER FINISH TRIM
□	PRECAST CONCRETE PLASTER PRODUCTION
□	PLASTER TRIM
□	VINYL FINISH
□	UNFINISHED SHINGLED ROOF
□	UNFINISHED ROOF
□	PRECAST CONCRETE SHUTTER
□	2" X 4" STUDS
□	SHINY BROWN SHIP
□	SHINY PATTERN SHIP
□	SHINY / SHINY / SHINY
□	METAL NAIL / SHINY / SHINY
□	FIBERGLASS ENTRY DOOR
□	SHINY GLOSS DOOR
□	SHINY DOOR
□	METAL RECT PANEL, SHINY DOOR
□	SHINY / SHINY / SHINY
□	SHINY / SHINY / SHINY
□	PLASTER FINISH TRIM
□	SHINY
□	SHINY / SHINY / SHINY
□	SHINY / SHINY / SHINY

* ALL METAL SHIP PANELS SHINY TO BE FINISHED









2C
FRONT ELEVATION

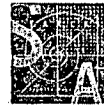
3E

3E RIGHT SIDE ELEVATION

2.2 PLEX

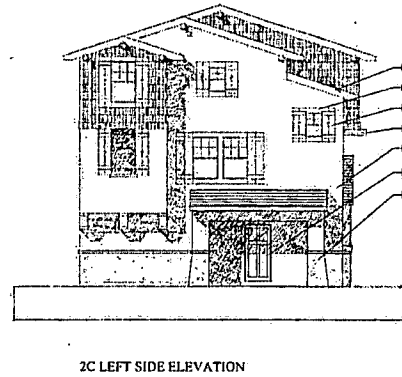
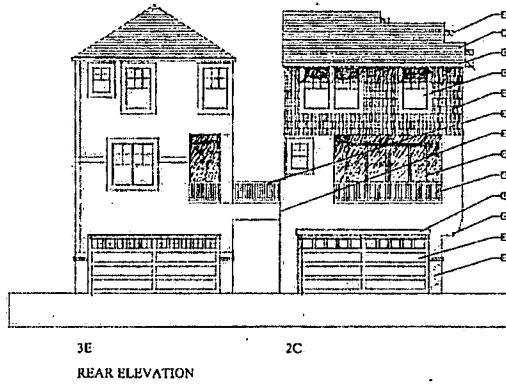
EXTERIOR ELEVATIONS
UNITS 2 & 3

NORTHWEST LAND PARK - BUNGALOWS
NORTHWEST LAND PARK, LLC



NWLP

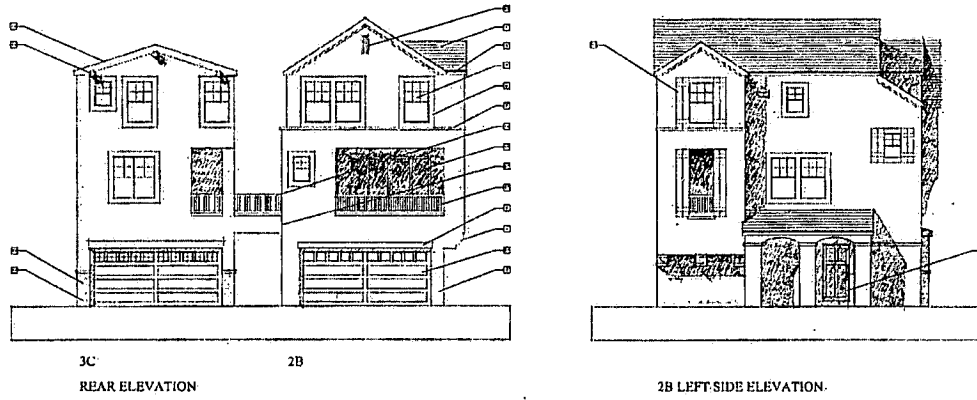
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIOR GYPSUM PLASTER
<input type="checkbox"/>	INTERIOR GYPSUM PLASTER
<input type="checkbox"/>	PAVING
<input type="checkbox"/>	PLASTER GARBAGE
<input type="checkbox"/>	PLASTER KEYWAY
<input type="checkbox"/>	PLASTER MASONRY
<input type="checkbox"/>	REGULAR-FINE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER FINISH
<input type="checkbox"/>	STAIR WOODEN
<input type="checkbox"/>	UNFINISHED WOODEN ROOF
<input type="checkbox"/>	HORIZONTAL SIDING
<input type="checkbox"/>	REGULAR-FINE GYPSUM
<input type="checkbox"/>	STAIR WOODEN
<input type="checkbox"/>	BEAM - BEAM JOIST
<input type="checkbox"/>	SHED PLASTER WOODEN
<input type="checkbox"/>	FINISH WOODEN JOIST
<input type="checkbox"/>	METAL RAIL/RAILINGS
<input type="checkbox"/>	FINISHED WITH DOOR
<input type="checkbox"/>	SLIPPER WOODEN
<input type="checkbox"/>	WOODEN DOOR
<input type="checkbox"/>	WALL, EXTERIOR WOODEN DOOR
<input type="checkbox"/>	REGULAR-FINE GYPSUM
<input type="checkbox"/>	REGULAR-FINE GYPSUM
<input type="checkbox"/>	PLASTER FINISH
<input type="checkbox"/>	WALL
<input type="checkbox"/>	WALL FINISH PLASTER
<input type="checkbox"/>	EXTERIOR JOIST
<input type="checkbox"/>	WALL METAL AND WOOD BUNGALOWS TO BE PAINTED



2.2 PLEX
 EXTERIOR ELEVATIONS
 UNITS 2 & 3
 NORTHWEST LAND PARK - BUNGALOWS
 NORTHWEST LAND PARK, LLC



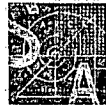
TYPICAL BUILDING MATERIALS	
☐	METAL CORNER PLATE BRACK
☐	METAL'S CORNER PLASTER
☐	3 X FASCIA
☐	PLASTER CORNER
☐	PLASTER CORNER
☐	PLASTER HORIZONTAL
☐	REGULAR PLUS PLASTER PROJECTION
☐	PLASTER IRON
☐	WALL BRICK
☐	INTERMEDIATE BRICKS STONE
☐	HORIZONTAL BRICK
☐	REGULATIVE BRICK
☐	3 X PLANK BOARD
☐	BOARD / BOARD / BOARD
☐	BRICK PATTERNS VERTICAL
☐	3 X / BOARD / GATE
☐	METAL BRICK / BRICK
☐	PERFORATED ENTRY DOOR
☐	ALUMINUM SLASH DOOR
☐	PERFOR DOOR
☐	METAL RECTANGULAR BRICK DOOR
☐	BRICK / PLASTER / BRICK
☐	BRICK / PLASTER / BRICK
☐	PLASTER HORIZONTAL
☐	BRICK
☐	METAL RECTANGULAR BRICK
☐	BRICK / BRICK / BRICK
☐	BRICK / BRICK / BRICK
☐	BRICK / BRICK / BRICK



2.1 PLEX

EXTERIOR ELEVATIONS
UNITS 2 & 3

NORTHWEST LAND PARK - BUNGALOWS
NORTHWEST LAND PARK, LLC



11.21.11

TYPICAL BUILDING MATERIALS	
☐	INTERIALLY SOLID PLASTER AND
☐	EXTERIALLY SOLID PLASTER
☐	2" FIBER
☐	PLASTER CORNER
☐	PLASTER GROUND
☐	PLASTER HORIZONTAL
☐	EXTERIALLY PLASTER PROJECTION
☐	PLASTER TEAR
☐	WALL FINISH
☐	HORIZONTAL BRICK
☐	EXTERIALLY BRICK
☐	2" FRAME BOARD
☐	BRICK / BRICK END
☐	BRICK / BRICK CORNER
☐	WALL / BRICK / GATE
☐	METAL RAIL / BRICK
☐	METAL RAIL / BRICK
☐	ALUMINUM SLAM DOOR
☐	FRENCH DOOR
☐	METAL DECORATIVE BRICK
☐	EXTERIALLY BRICK
☐	EXTERIALLY BRICK
☐	PLASTER MANGROVE
☐	BRICK
☐	BRICK / BRICK PLASTER
☐	BRICK / BRICK
☐	ALL METAL AND BRICK ELEMENTS TO BE PAINTED