

REVISIONS	BY	DATE
<p style="text-align: center;"><b>2 PROPOSED BUILDINGS</b></p> <p style="text-align: center;">RALEY BLVD. &amp; DIESEL AVE. CITY OF SACRAMENTO</p>		
<p style="text-align: center;">SITE PLAN</p>		
<p style="text-align: right;">Leo McGlade &amp; associates, inc. 3417 Arden Way Sacramento, CA 95825 (916) 466-0360</p>		

**PROPOSED BUILDING A # B**  
**Raley Blvd. & Diesel Drive**  
**Sacramento, CA**

This project involves the construction of two 1-story tilt-up concrete buildings, SHELL ONLY, and site improvements.

**Zone:** M-15-R

**Codes:** 2019 Editions of the C.B.C., CALGreen Code, C.F.C., C.M.C., C.P.C. & 2019 C.E.C. (CEC T-24), 2016 NFPA 13 Installation of Sprinkler System, 2016 NFPA 72 Fire Alarm and Signaling Codes, 2016 NFPA 20 Installation of Stationary Pumps for Fire Protection, 2016 NFPA 24 Installation of Private Fire Service mains and their Appurtenances Sacramento City Ordinance No. 2017-0005, California Code of Regulations -Title 19 and all applicable CITY CODE amendments.

**Occ. Group(s):** Future "B" (office) "S1" (warehouse/storage future high piled storage)

**Construction Type:** Type III-B (E5FR sprinklered)

**Stories:** 1

**Parcel Area:** 215,515 s.f.

**Actual Area:** Building A = 42,000 s.f.  
 Building B = 25,500 s.f.  
 Total = 67,500 s.f.

**Coverage:** 31%

**Office Open Space:** Building A: Future office 4,305 s.f. / 15 = 287 s.f. provided.  
 Building B: Future office 2,835 s.f. / 15 = 189 s.f. provided.

**Allowable Area:** Building A: Unlimited per 2019 CBC section 507.4  
 Building B: Per CBC Table 506.2, 36,000 s.f. allowed without frontage increase. 25,276 ok.

**Parking:**

Building A Warehouse: 42,000 s.f. /2000	= 21
Minimum Spaces Required	21
Standard 8'-6" x 1 8'	= 30
Van Accessible 12' x 1 8'	= 1
Standard Accessible 9' x 1 8'	= 1
Clean Air Vehicle 8'-6" x 1 8'	= 3
Parking Spaces Provided	= 35

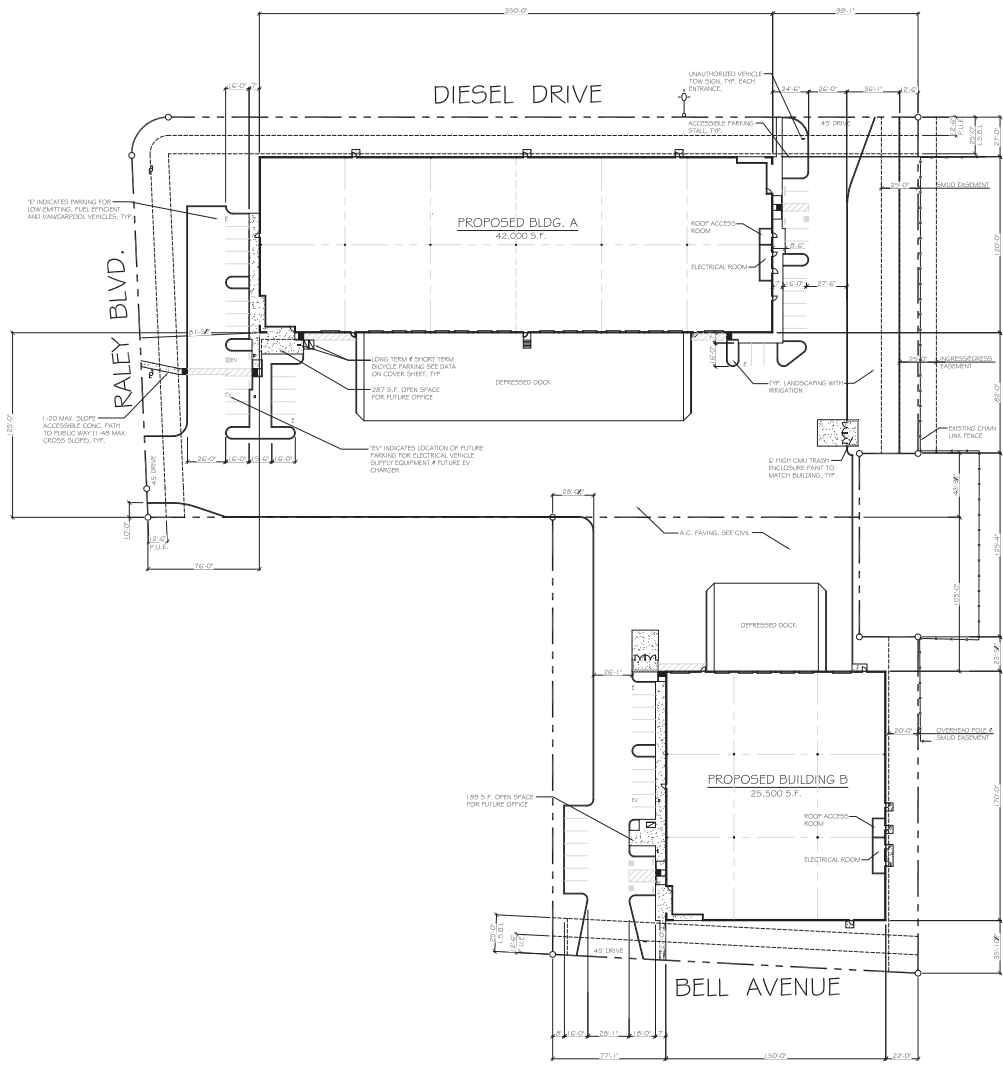
For location of future EVSE and EVC locations see site plan. Provide 2-single EVSE to facilitate the future installation of EV chargers.

**Building B:**

Warehouse: 25,500 s.f. /2000	= 13
Minimum Spaces Required	13
Standard 8'-6" x 1 8'	= 19
Van Accessible 12' x 1 8'	= 1
Standard Accessible 9' x 1 8'	= 1
Clean Air Vehicle 8'-6" x 1 8'	= 1
Parking Spaces Provided	= 22

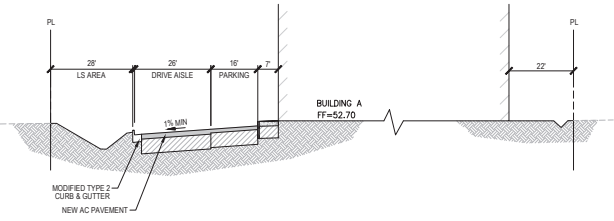
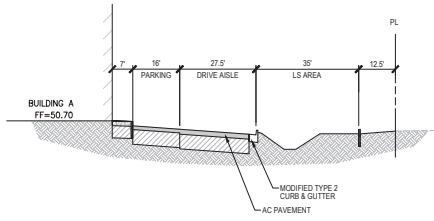
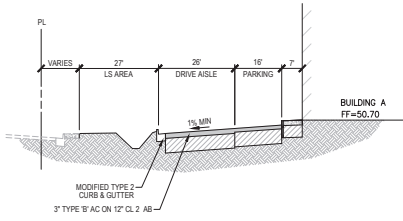
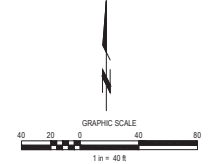
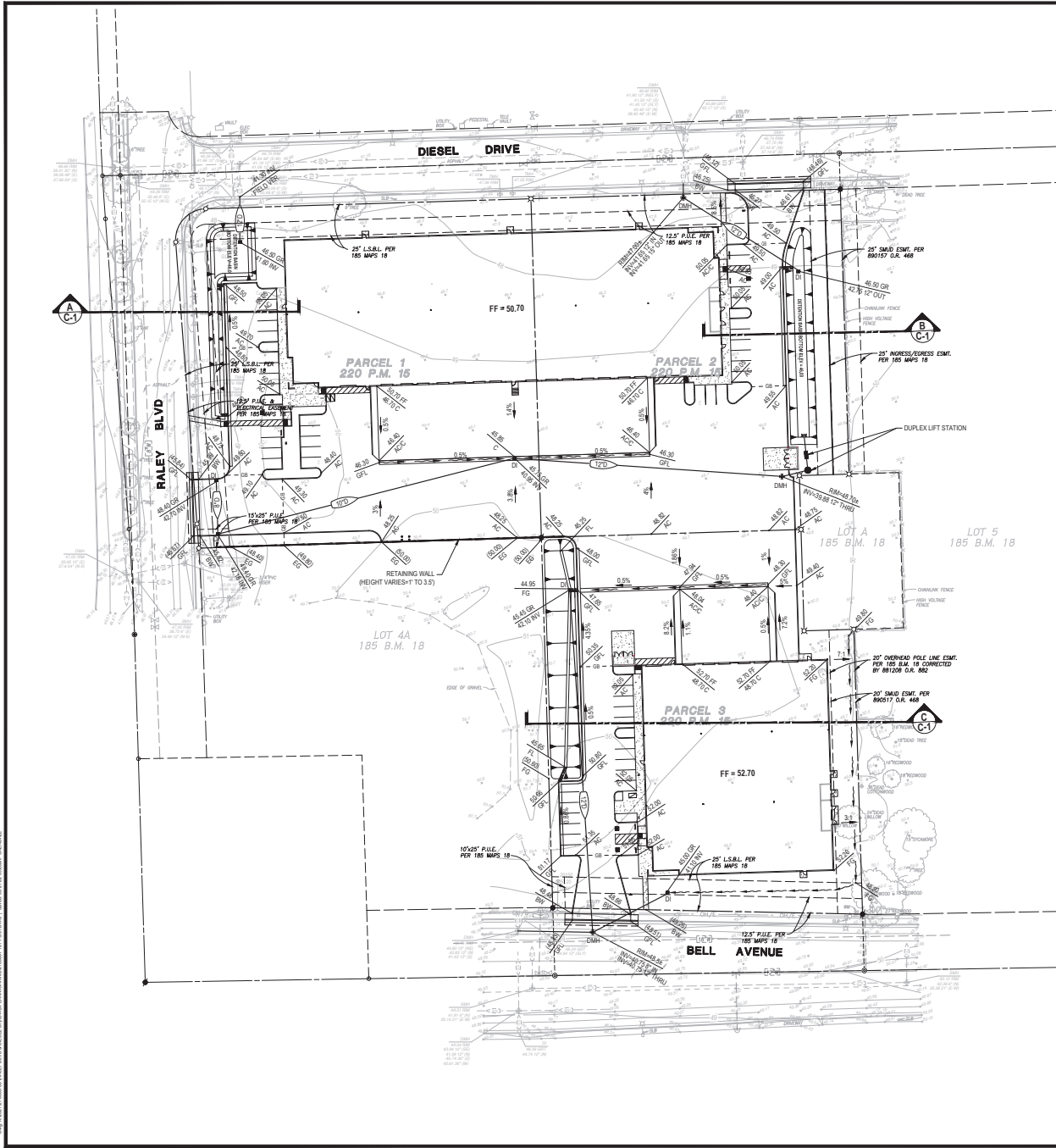
For location of future EVSE and EVC locations see site plan. Provide 1-single EVSE to facilitate the future installation of EV charger.

**Bicycle Parking:** Building A: Provide 2, 2-bicycle lockers (4 total bicycles) and 1-2 bicycle rack. See site plan.  
 Building B: Provide 1 -, 2 bicycle lockers (2 total bicycles) and 1-2 bicycle rack. See site plan.



**SITE PLAN**  
 NOT A SURVEY





REVISIONS	BY

**MORTON & PITALO, INC.**  
CIVIL ENGINEERS - LAND SURVEYORS - LANDSCAPE ARCHITECTS  
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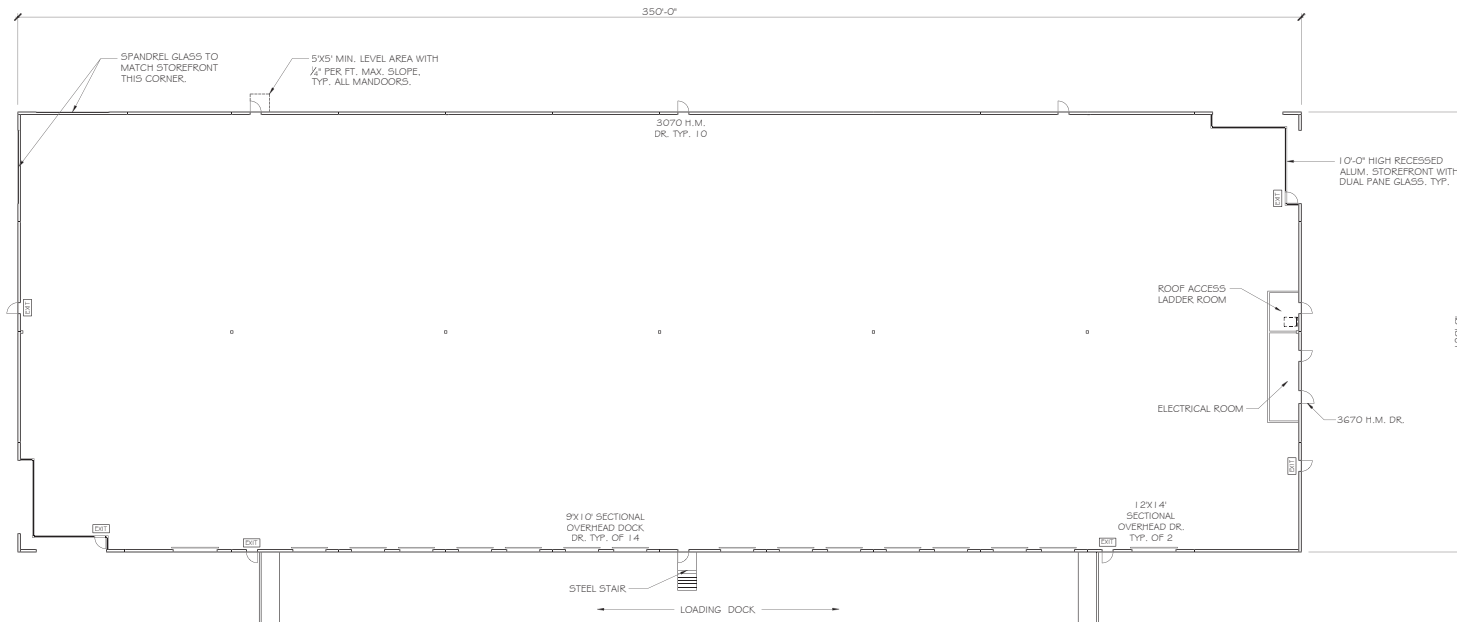


**BENCH MARK:**  
UP 2105 14  
ELEV: 47.60 (NAD 83)  
HE: FINAL IN-LIGHT BASE 38' CORNER DIESEL DRIVE AND RALEY  
BLVD 11993 FH.

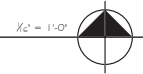
**PROPOSED BUILDING**  
**PRELIMINARY GRADING & DRAINAGE PLAN**  
RALEY BLVD & DIESEL DRIVE  
SACRAMENTO, CALIFORNIA



Date: 03/21/22  
Scale: 1" = 40'  
Drawn: CEC  
Job: 21-0083-00  
Sheet: C-1  
of 4



FLOOR PLAN



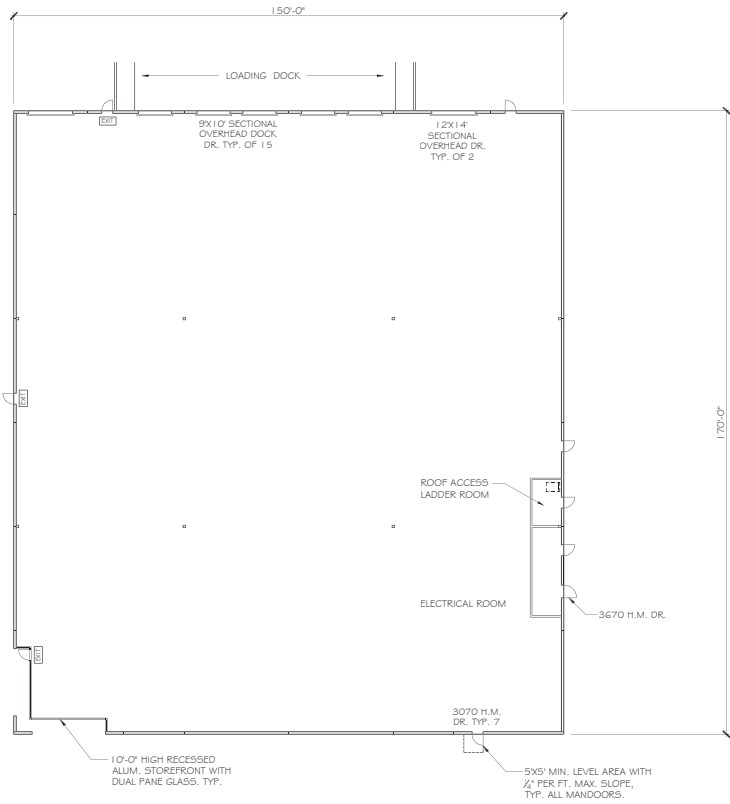
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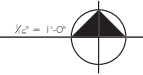
**FLOOR PLAN  
 BUILDING A**

**2 PROPOSED BUILDINGS**  
 RALEY BLVD. & DIESEL AVE.  
 CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A2</b>



FLOOR PLAN



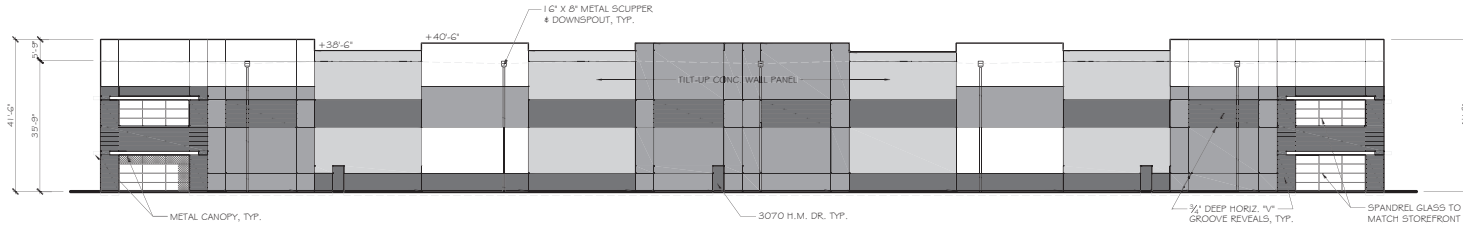
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FLOOR PLAN  
 BUILDING B

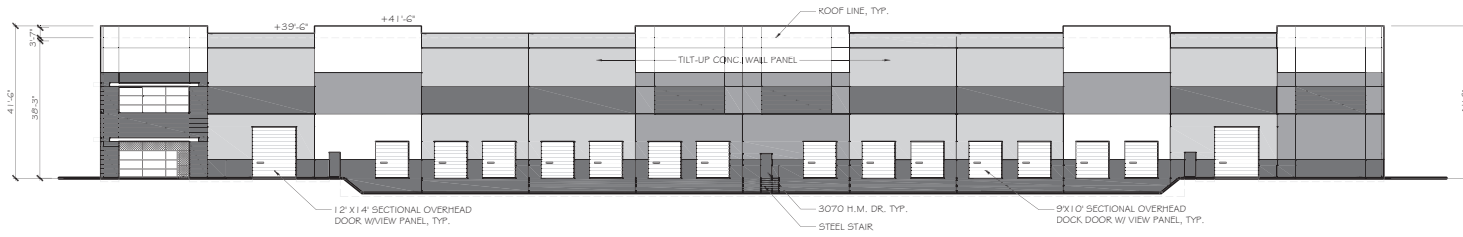
**2 PROPOSED BUILDINGS**  
 RALEY BLVD. & DIESEL AVE.  
 CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A3</b>



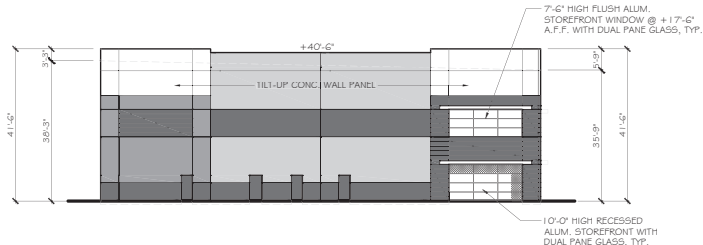
NORTH ELEVATION

1/2" = 1'-0"



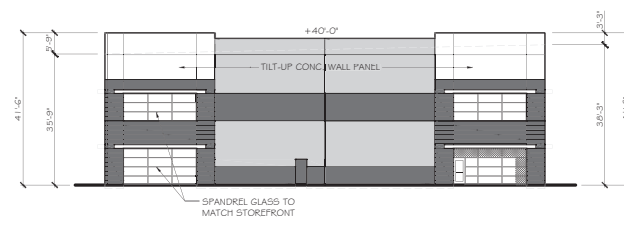
SOUTH ELEVATION

1/2" = 1'-0"



EAST ELEVATION

1/2" = 1'-0"



WEST ELEVATION

1/2" = 1'-0"

- COLOR LEGEND**
- SHERWIN-WILLIAMS PEARLY WHITE (SW7009)
  - SHERWIN-WILLIAMS REPOSE GRAY (SW7015)
  - SHERWIN-WILLIAMS DORIAN GRAY (SW7017)
  - SHERWIN-WILLIAMS GAUNTLET GRAY (SW7019)
  - CLEAR ANODIZED ALUMINUM @ CANOPY

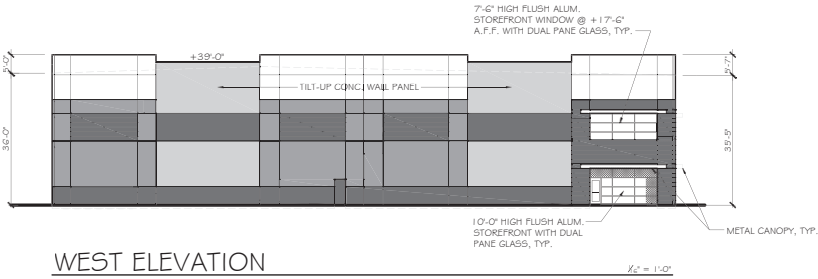
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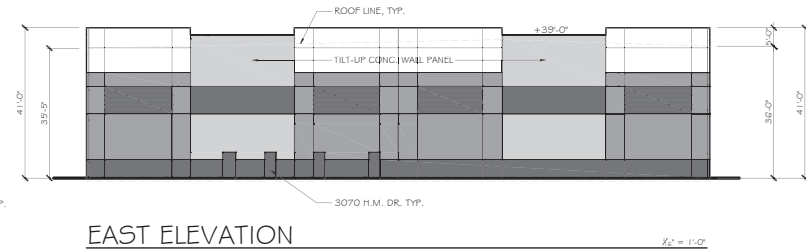
ELEVATIONS  
BUILDING A

**2 PROPOSED BUILDINGS**  
RALEY BLVD. & DIESEL AVE.  
CITY OF SACRAMENTO

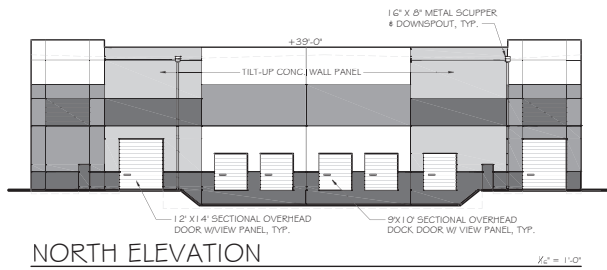
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Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A4</b>



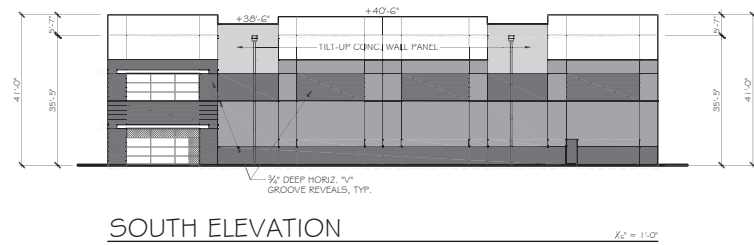
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

COLOR LEGEND

	SHERWIN-WILLIAMS PEARLY WHITE (SW7009)
	SHERWIN-WILLIAMS REPOSE GRAY (SW7015)
	SHERWIN-WILLIAMS DORIAN GRAY (SW7017)
	SHERWIN-WILLIAMS GAUNTLET GRAY (SW7019)
	CLEAR ANODIZED ALUMINUM @ CANOPY

REVISIONS	BY

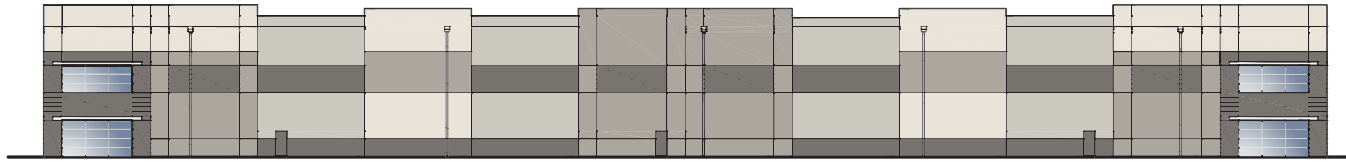
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ELEVATIONS  
BUILDING B

**2 PROPOSED BUILDINGS**  
RALEY BLVD. & DIESEL AVE.  
CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A5</b>



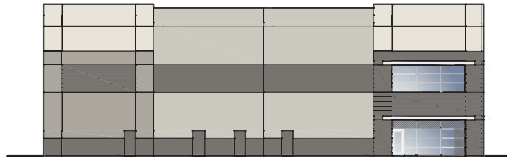
NORTH ELEVATION

1/2" = 1'-0"



SOUTH ELEVATION

1/2" = 1'-0"

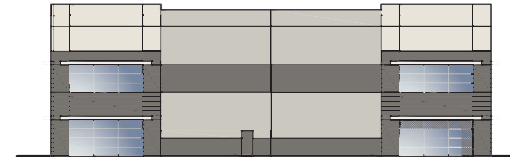


EAST ELEVATION

1/2" = 1'-0"

COLOR LEGEND

- SHERWIN-WILLIAMS PEARLY WHITE (SW7009)
- SHERWIN-WILLIAMS REPOSE GRAY (SW7015)
- SHERWIN-WILLIAMS DORIAN GRAY (SW7017)
- SHERWIN-WILLIAMS GAUNTLET GRAY (SW7019)
- CLEAR ANODIZED ALUMINUM



WEST ELEVATION

1/2" = 1'-0"

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COLORED  
 ELEVATIONS BLDG. A

**2 PROPOSED BUILDINGS**  
 RALEY BLVD. & DIESEL AVE.  
 CITY OF SACRAMENTO

Date 12-3-21

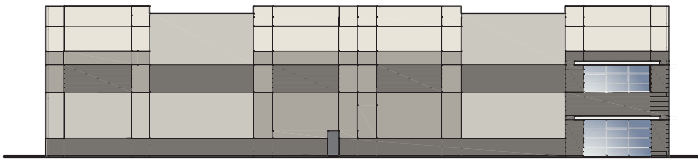
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Drawn R.J.

Job 21-03-01

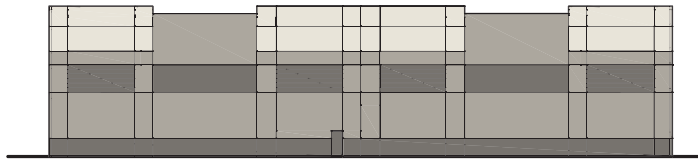
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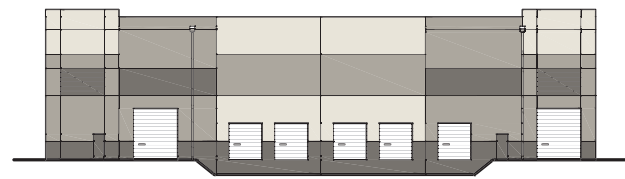
WEST ELEVATION

1/8" = 1'-0"



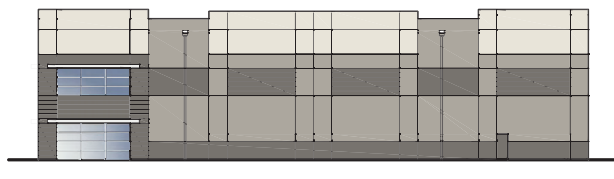
EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

COLOR LEGEND

- SHERWIN-WILLIAMS PEARLY WHITE (SW7009)
- SHERWIN-WILLIAMS REPOSE GRAY (SW7015)
- SHERWIN-WILLIAMS DORIAN GRAY (SW7017)
- SHERWIN-WILLIAMS GALINLET GRAY (SW7019)
- CLEAR ANODIZED ALUMINUM

REVISIONS	BY

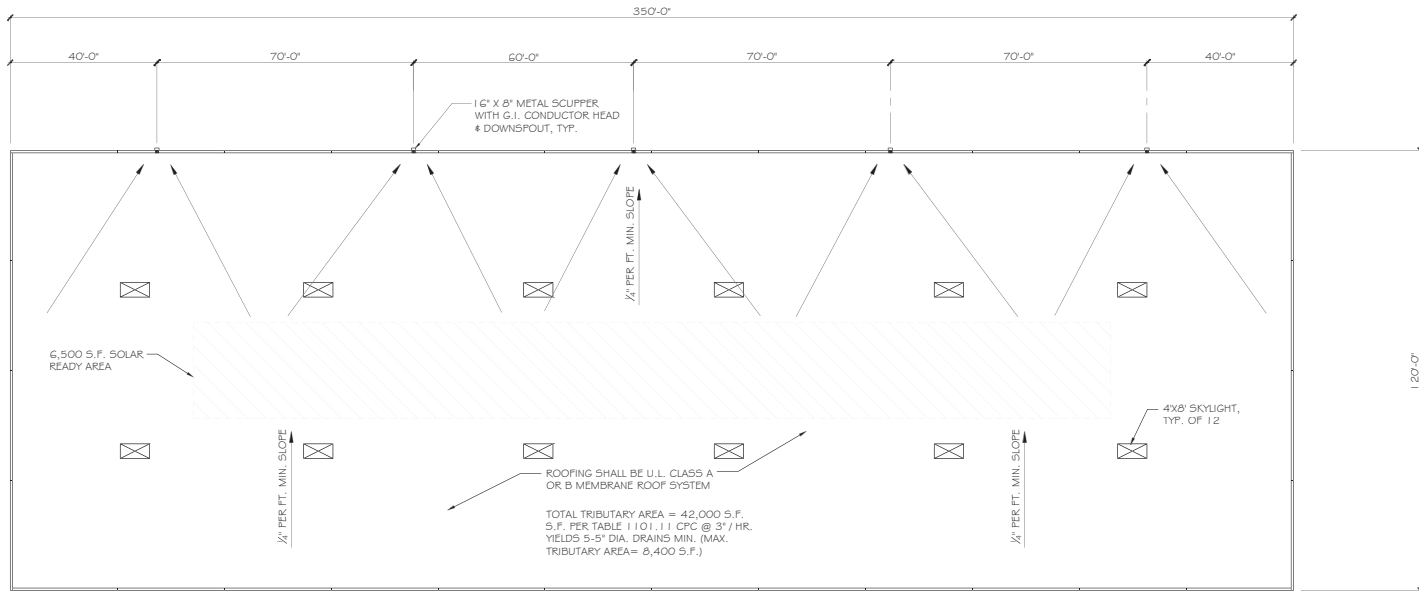
**Leo McGlade & associates, inc.**  
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COLORED  
ELEVATIONS BLDG. B

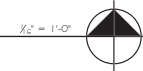
**2 PROPOSED BUILDINGS**  
RALEY BLVD. & DIESEL AVE.  
CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A7</b>





ROOF PLAN



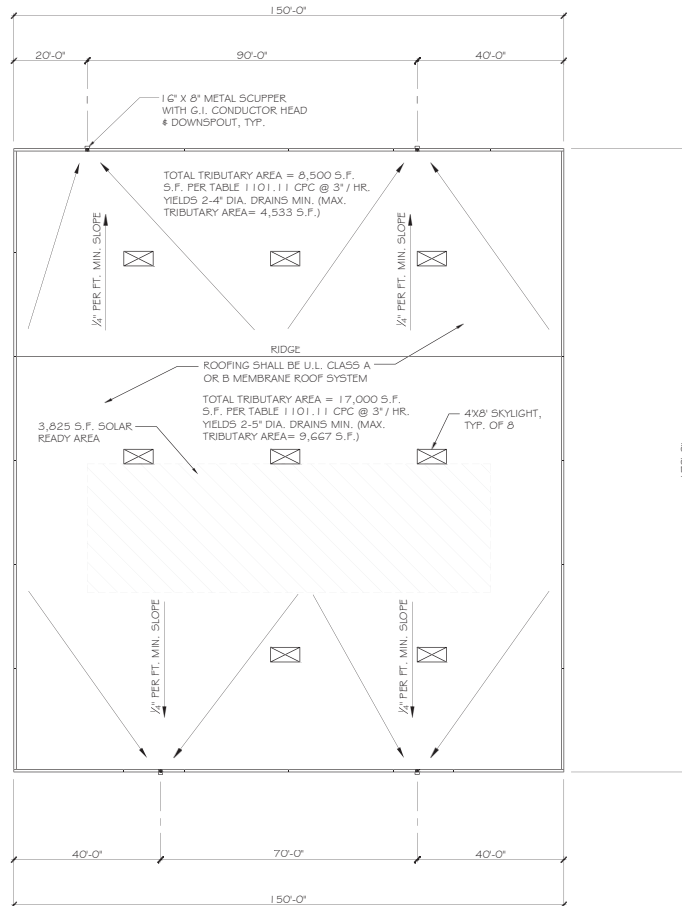
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ROOF PLAN  
 BUILDING A

**2 PROPOSED BUILDINGS**  
 RALEY BLVD. & DIESEL AVE.  
 CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A8</b>



ROOF PLAN

1/2" = 1'-0"



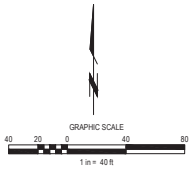
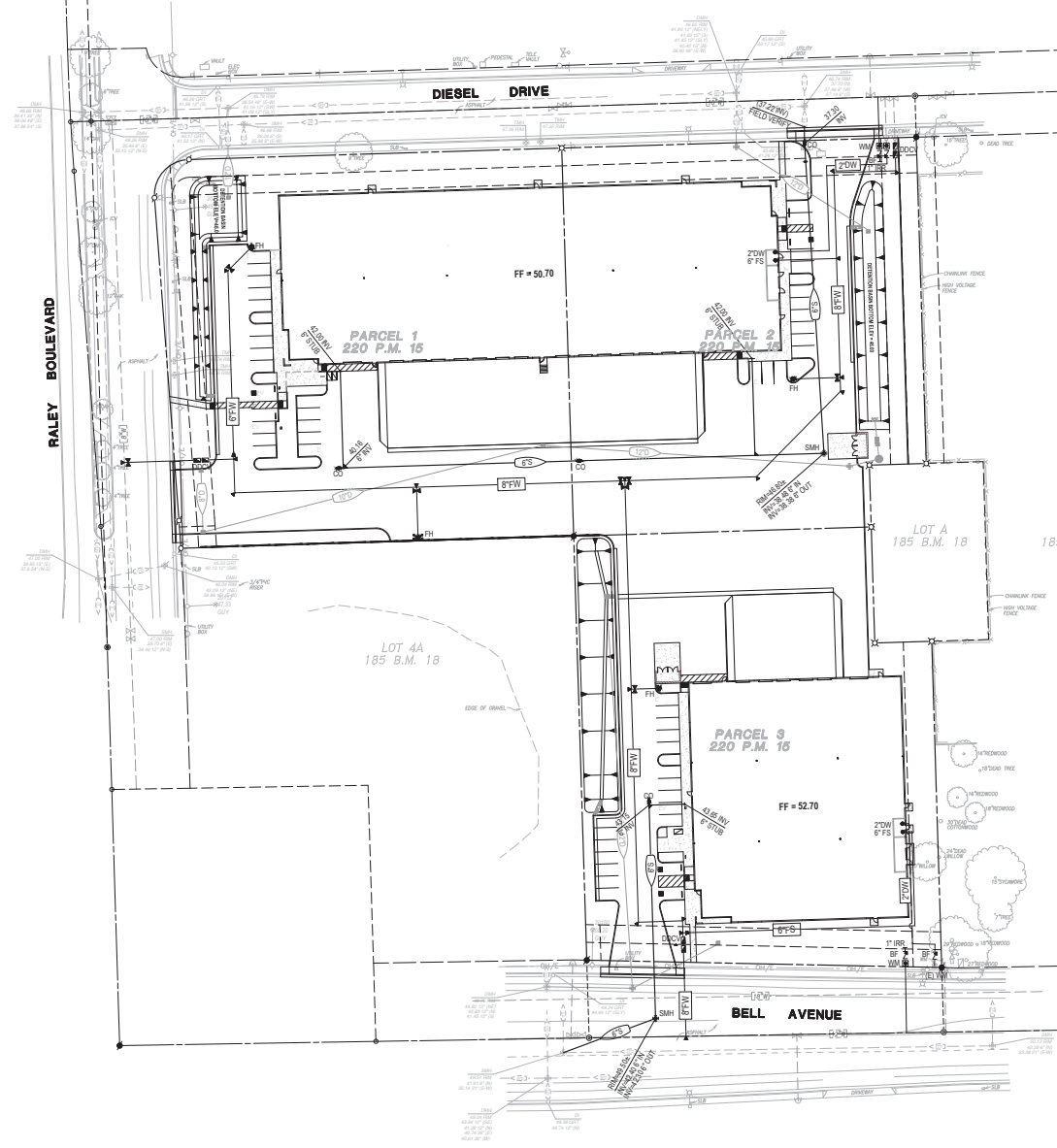
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ROOF PLAN  
BUILDING B

2 PROPOSED BUILDINGS  
RALEY BLVD. & DIESEL AVE.  
CITY OF SACRAMENTO

Date	12-3-21
Scale	AS NOTED
Drawn	R.J.
Job	21-03-01
Sheet	<b>A9</b>



**LEGEND**

SYMBOLS:		DESCRIPTION
EXISTING	PROPOSED	
		STORM DRAIN PIPE & SIZE
		SANITARY SEWER PIPE & SIZE
		DOMESTIC WATER PIPE & SIZE
		FIRE PROTECTION WATER PIPE & SIZE
		NATURAL GAS PIPE & SIZE
		MANHOLE
		STORM DRAIN INLET
		CLEANOUT
		VALVE
		FIRE HYDRANT
		BLOW OFF VALVE
		RIDGE OR GRADE BREAK
		DIRECTION OF DRAINAGE
		FLOWLINE OF SWALE
		RETAINING WALL
		FENCE
		ELEVATION CALLOUTS
		EXISTING TREE
		EXISTING TREE TO BE RELOCATED
		SLOPE BANK
		TOP OF BANK
		TOE OF BANK
		DETAIL REFERENCE
		DETAIL IDENTIFICATION SHEET LOCATION
		SECTION REFERENCE
		SECTION IDENTIFICATION SHEET LOCATION

REVISIONS	BY

**MORTON & PITALO, INC.**  
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 600 Cambridge Drive, Suite 9140  
 Sacramento, CA 95825  
 Phone: (916) 484-4221  
 Web: www.mortonpi.com



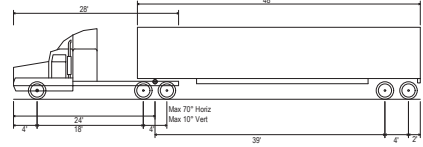
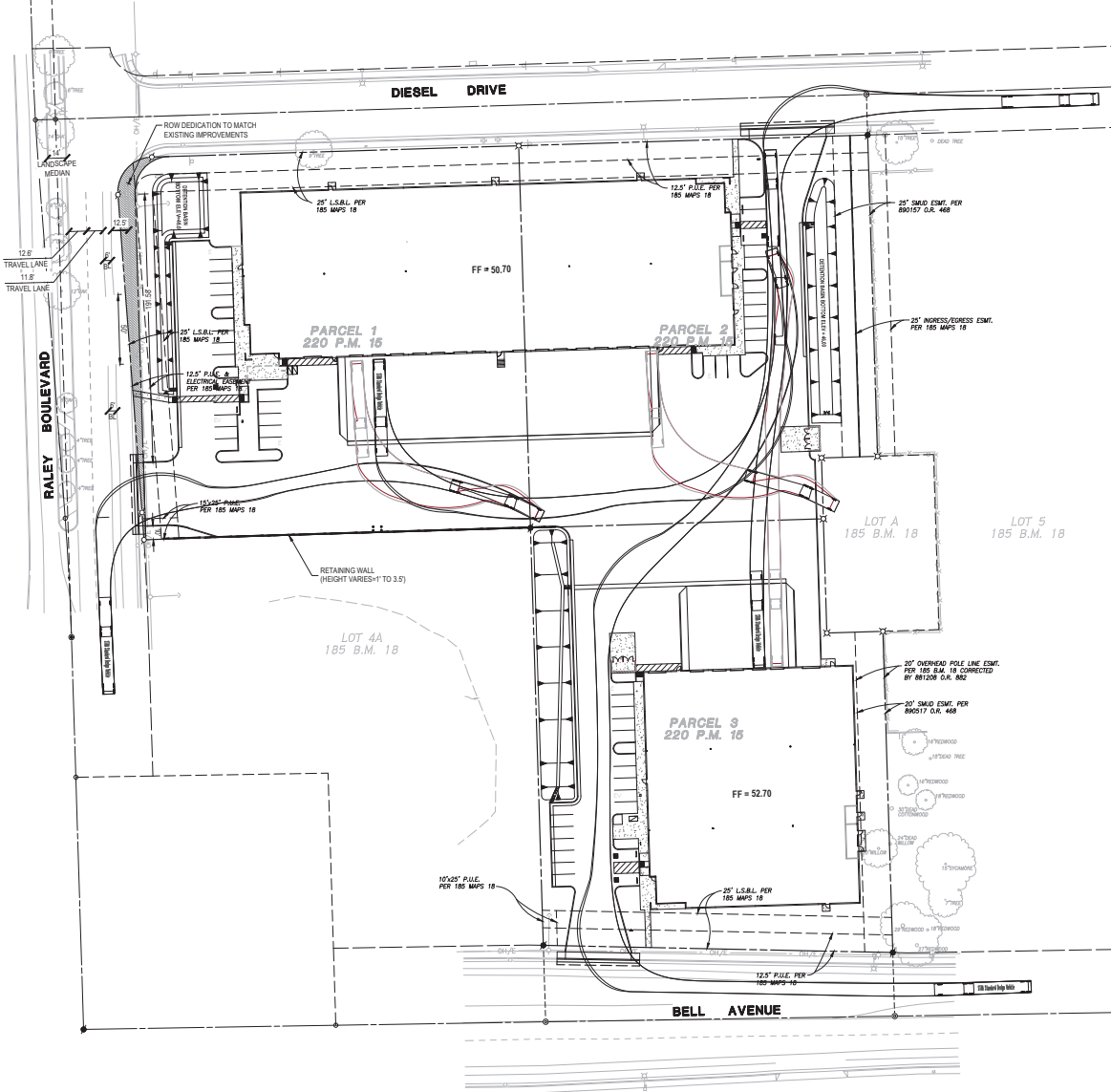
**BENCH MARK:**  
 02 2318 14  
 ELEV: 47.60 (NAVD83)  
 HE: FINAL IN-LIGHT BASE 38 CORNER DIESEL DRIVE AND RALEY  
 B.L. 02 11993 54

**PROPOSED BUILDING**  
 PRELIMINARY UTILITY PLAN  
 RALEY BLVD & DIESEL DRIVE  
 SACRAMENTO, CALIFORNIA



Date: 03/21/22  
 Scale: 1" = 40'  
 Drawn: CEC  
 Job: 21-0083-00  
 Sheet: **C-2**  
 of 4

DATE: 02/25/21 08:00 AM BY: J. L. ...



STAA Standard Design Vehicle  
 Overall Length 69 FT  
 Overall Width 8.50 FT  
 Overall Body Height 12.25 FT  
 Min Body Ground Clearance 1.42 FT  
 Track Width 8.50 FT  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 26.30°

REVISIONS	BY

**MORTON & PITALO, INC.**  
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 630 Colusa Drive, Suite #140  
 Colusa, CA 95925  
 Phone (916) 484-2121  
 Web: www.mortonpi.com

**mp**

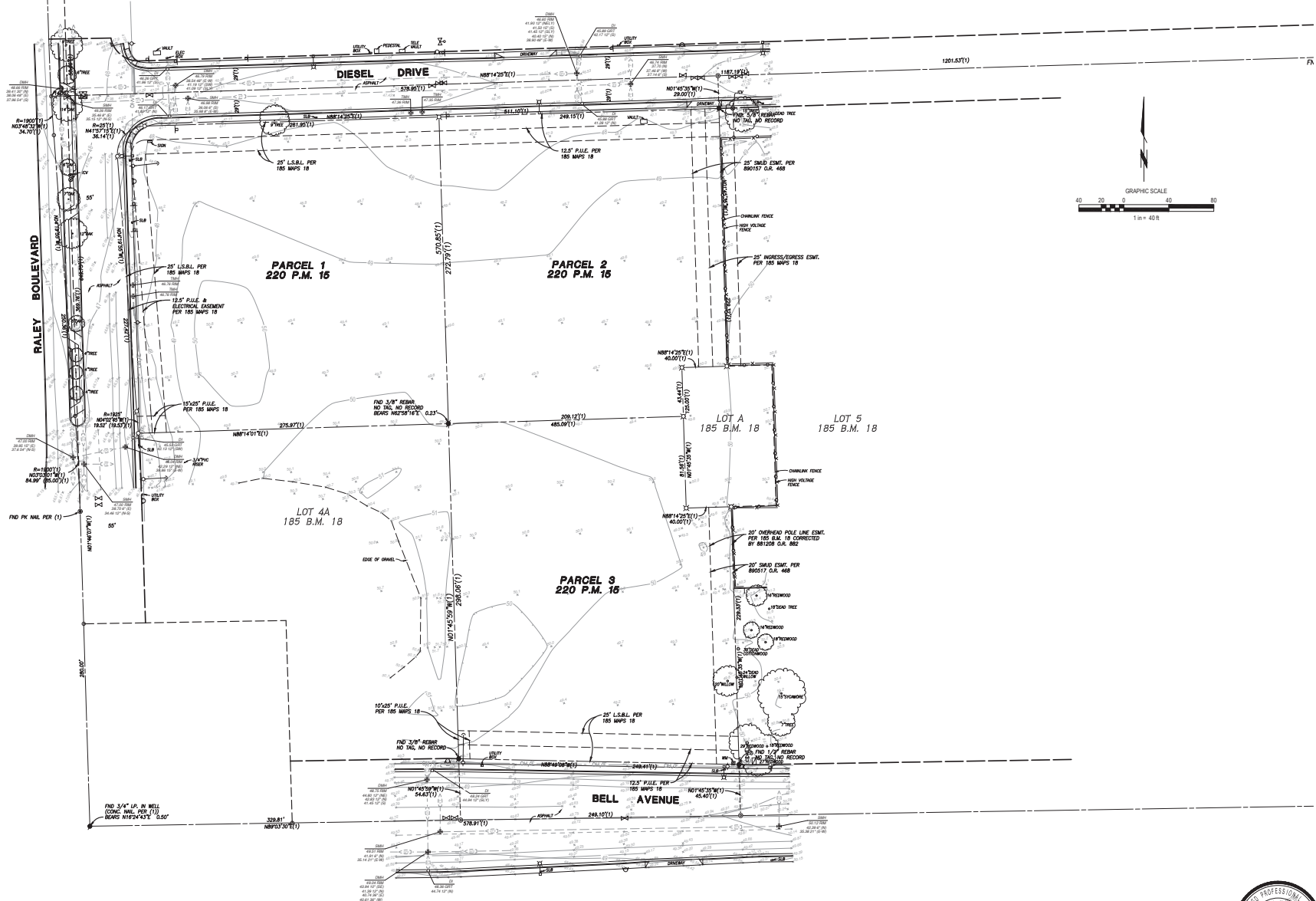
ELE 147 60 (NAC) (03)  
 02/25/21  
 THE FINAL IN-LIGHT BASE 38' CORNER BELIEVE DRIVE AND RALEY  
 IS DTD 1/19/2014

**BENCH MARK:**  
 UP 25.00 FT  
 ELEVATION 47.60 (NAC) (03)

**PROPOSED BUILDING**  
**CIVIL SITE PLAN**  
 RALEY BLVD & DIESEL DRIVE  
 SACRAMENTO, CALIFORNIA

Date: 02/25/21  
 Scale: 1" = 40'  
 Drawn: CEC  
 Job: 21-0083-00  
 Sheet: **C-3**  
 of 4





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 Colusa, CA 95926  
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 Web: www.mortonpi.com



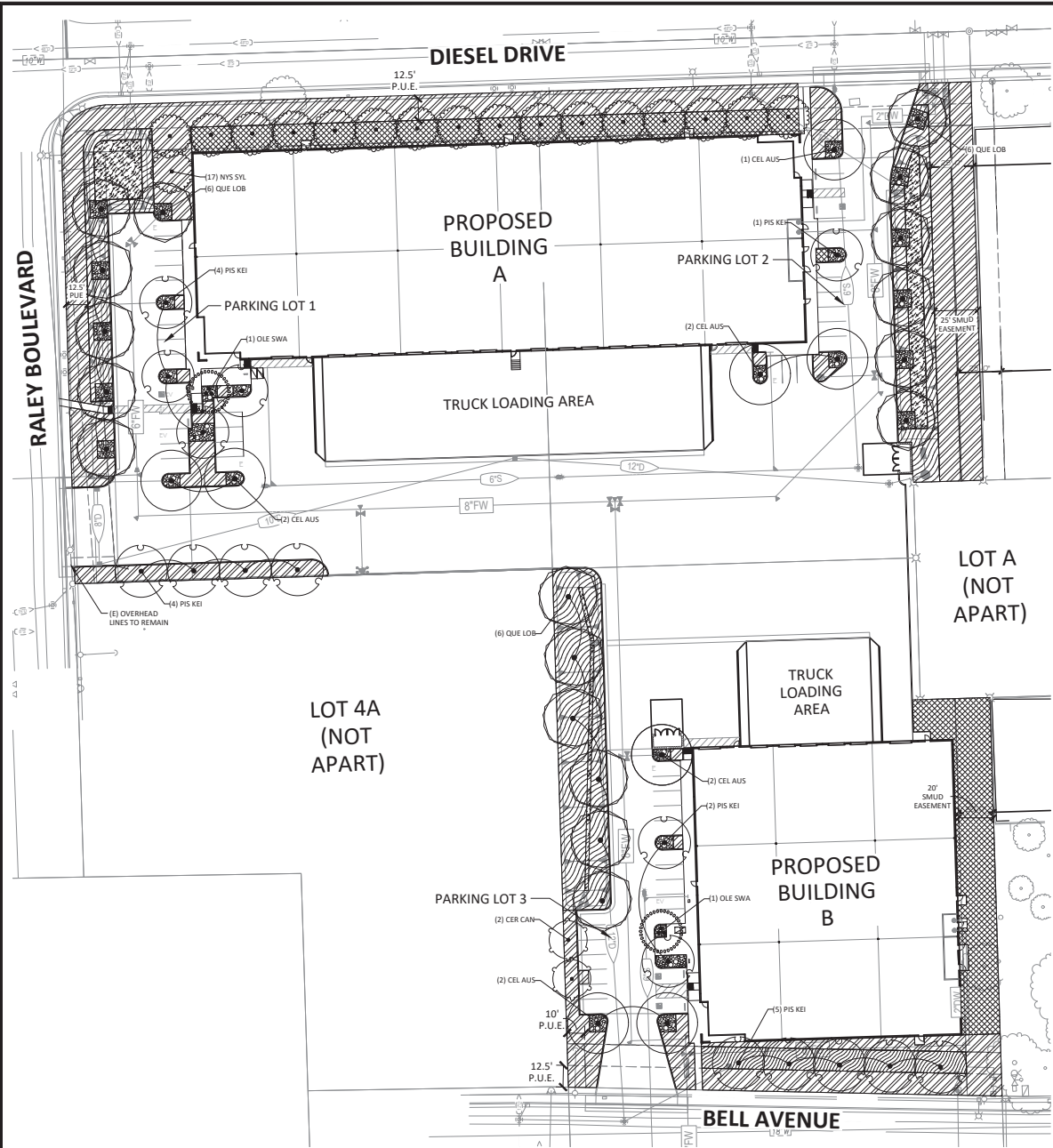
**BENCH MARK:**  
 185 B.M. 18  
 HE: FINAL IN-LIGHT BASE 38' CORNER DIESEL DRIVE AND RALEY BLVD. (1993) F.H.  
 185 B.M. 18 (2010) F.H.

**PROPOSED BUILDING**  
 TOPOGRAPHIC SURVEY  
 RALEY BLVD. & DIESEL DRIVE  
 SACRAMENTO, CALIFORNIA

Date: 02/25/21  
 Scale: 1" = 40'  
 Drawn: CEC  
 Job: 21-0083-00  
 Sheet: **C-4**  
 of: 4



DATE PLOTTED: 02/25/21 08:50 AM; PLOT FILE: C:\WORK\21-0083\21-0083-00\21-0083-00-04.dwg; PLOT SCALE: 1"=40'; PLOT SHEET: C-4

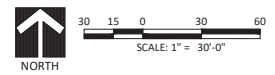


**TREE LEGEND**

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HW
25' DIAMETER TREES	OLE SWA	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	48" BOX	VL	25'X25'
	CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	15 GAL	L	30'X25'
	NYS SYL	NYSSA SYLVATICA	TUPELO	15 GAL	M	30'X25'
30' DIAMETER TREES	PIS KEI	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GAL	M	50'X30'
35' DIAMETER TREES	CEL AUS	CELTIS AUSTRALIS	EUROPEAN HACKBERRY	15 GAL	L	50'X35'
	QUE LOB	QUERCUS LOBATA	VALLEY OAK	15 GAL	L	50'X35'

- CONCEPT PLANT SCHEDULE**
- ROCK MULCH**  
3" DEPTH 1-1/2" SONOMA GOLD PER APPROVED PLANS.
  - BIOSWALE SLOPES**  
SHRUBS AND GRASSES LOCATED ON SLOPES OF BIOSWALES PROVIDING EROSION CONTROL AND SOME ADAPTATION TO SEASONAL FLOODING. 1 GALLON CONTAINER MINIMUM.  
CHONDROPETALUM TECTORUM / CAPE RUSH  
EPILIBNUM CANUM / 'CARMEN'S GREY' / 'CARMEN'S GREY CALIFORNIA FUCHSIA  
LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE  
MULLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY
  - ENTRY AREA ACCENT PLANTING**  
SHRUBS AND GRASSES THAT WILL PROVIDE ADDED VISUAL INTEREST IN STRATEGIC LOCATIONS IN FULL SUN AREAS (SOUTHERN AND WESTERN EXPOSURES). 1 GALLON CONTAINER MINIMUM.  
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS  
LORDPETALUM CHINENSE 'PURPLE DIAMOND' / FRINGE FLOWER  
PHORMIUM X 'YELLOW WAVE' / 'YELLOW WAVE NEW ZEALAND FLAX  
ROSA X 'FLOWER CARPET PINK' / ROSE  
ROSA X 'FLOWER CARPET RED' / ROSE  
ROSA X 'FLOWER CARPET WHITE' / ROSE
  - FULL SUN SHRUBS, GRASSES, AND GROUNDCOVERS**  
SHRUBS AND GRASSES THAT WILL SERVE AS THE BASE FOR A MAJORITY OF THE LANDSCAPE IN FULL SUN AREAS (SOUTHERN AND WESTERN EXPOSURES). 1 GALLON CONTAINER MINIMUM.  
ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA  
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS  
COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY  
COTONEASTER DIETES BICOLOR / 'FORTNIGHT LILY'  
EPILIBNUM CANUM / 'CARMEN'S GREY' / 'CARMEN'S GREY CALIFORNIA FUCHSIA  
HESPERALDE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA  
JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER  
LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE  
MULLENBERGIA DUBIA / PINE MUHLY  
PENNETUM ORIENTALE 'KARLEY ROSE' / 'KARLEY ROSE FOUNTAIN GRASS  
YUCCA FILAMENTOSA 'COLOR GUARD' / 'ADAM'S NEEDLE'
  - SHADE TOLERANT SHRUBS, GRASSES AND GROUNDCOVERS**  
SHRUBS AND GRASSES THAT SERVE AS THE BASE PLANTING AND THAT CAN TOLERATE MOSTLY SHADE CONDITIONS. FOUND WITHIN COURTYARD AND ADJACENT TO NORTHERN BUILDING EXPOSURE. 1 GALLON CONTAINER MINIMUM.  
ASPIDOSTRA ELATOR / CAST-IRON PLANT  
HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA  
LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE  
LIMNOPH. MUSCARI / 'LILY TURF'  
LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH  
MAHONIA EURYBRACATA 'SOFT CARESS' / SOFT CARESS MAHONIA  
MULLENBERGIA RIENSIS / DEER GRASS  
NANDINA DOMESTICA 'FIRE POWER' / FIREPOWER NANDINA  
POLYSTICHUM MUNITUM / WESTERN SWORD FERN  
RHAPHIOLEPIS INDICA 'BALLERINA' / 'BALLERINA INDIAN HAWTHORN  
SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA  
SISYRINCHIUM BELLUM / BLUE EYED GRASS  
TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE
  - BIOSWALE BOTTOM**  
A MIXTURE OF NATIVE CLUMPING GRASSES, RUSHES, AND SEDGES THAT ARE ADAPTED TO SEASONAL WINDUATION AND DROUGHT CONDITIONS. LARGE AREAS WILL BE HYDROSEED.  
CAREX DIVULSA / BERKELEY SEDGE  
CAREX SPICATA / SAN DIEGO SEDGE  
CHONDROPETALUM TECTORUM / CAPE RUSH  
HYDROSEED - / NATIVE BIOSWALE HYDROSEED MIX-SEE SPECS.  
LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH

- PLANTING NOTES**
- PLANTING QUANTITIES SHOWN ON PLANS ARE PRELIMINARY. FINAL QUANTITIES SHALL BE PER APPROVED CONSTRUCTION DOCUMENTS.
- IRRIGATION NOTES**
- CONSISTENT WITH THE PROPOSED LANDSCAPE PLANTING, THE IRRIGATION WILL BE A LOW MAINTENANCE SYSTEM COMPRISED OF LOW VOLUME SUBSURFACE DRIP IRRIGATION. THE IN-LINE DRIP SYSTEM WILL ALLOW FOR WATER TO BE DELIVERED DIRECTLY TO EACH PLANT AND CAN BE ADJUSTED AS PER THE SOIL INFILTRATION RATE TO PROVIDE AN EVEN DISTRIBUTION OF WATER TO EACH PLANT WITHOUT OVERWATERING. THIS SYSTEM DESIGN WILL ALSO ELIMINATE ANY CHANCE OF OVERSPRAY AND RUN-OFF TYPICALLY FOUND WITH TRADITIONAL IRRIGATION SPRINKLER HEADS, WHILE DECREASING THE AMOUNT OF MAINTENANCE AND DETERIORATION ON ADJACENT HARDSURFACE SURFACES AND BUILDING FACADES.
  - THE PROPOSED LANDSCAPE AND IRRIGATION DESIGN WILL MEET CALIFORNIA MWLFD DESIGN CRITERIA WHILE PROVIDING A REDUCTION IN WATER CONSUMPTION FOR PROPOSED BUILDINGS A AND B.



PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: AUY  
DRAWN BY: AUY  
CHECKED BY: MGE  
SCALE: AS NOTED

NO. DATE REVISIONS

CEWEST.COM

Project: Planning & Civil Engineering in Landscape Architecture  
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2120 20th Street, Suite 200  
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(530) 752-8222

**R.A. MAYER & ASSOCIATES**

**RALEY & DIESEL BUILDINGS  
PRELIMINARY LANDSCAPE PLAN**

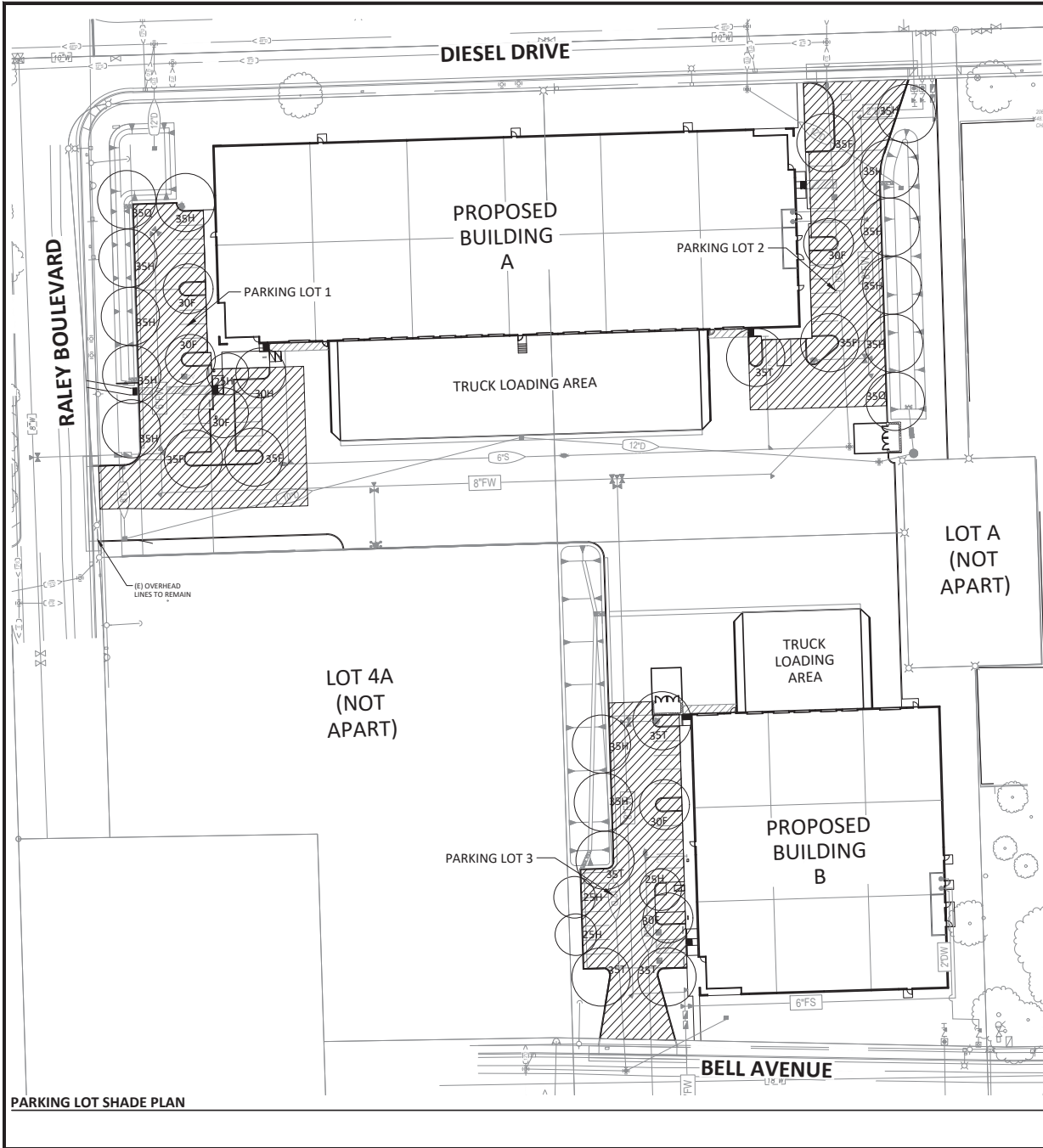
SACRAMENTO CALIFORNIA

SHEET  
2

DATE: 03/21/2022

JOB NO: 1930.01





**TREE LEGEND**

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT
	OLE SWA	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	48" BK
<b>25" DIAMETER TREES</b>	CODE	BOTANICAL NAME	COMMON NAME	CONT
	CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	15 GA
	NYS SYL	NYSSA SYLVATICA	TUPELO	15 GA
<b>30" DIAMETER TREES</b>	CODE	BOTANICAL NAME	COMMON NAME	CONT
	PIS KEI	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GA

**PARKING LOTS 1 & 2 SHADE CALCULATIONS**

Symbol	Botanical Name/ Common Name	Tree Diameter	Quantity @ 100% Shade/ Sq. Ft.	Quantity @ 75% Shade/ Sq. Ft.	Quantity @ 50% Shade/ Sq. Ft.	Quantity @ 25% Shade/ Sq. Ft.	Total (sq. ft.)
		35"	4 @ 962	1 @ 722	10 @ 481	2 @ 240	9860
		30"	4 @ 706	@ 530	4 @ 354	@ 177	3178
		25"	@ 491	@ 368	1 @ 246	@ 123	246
		20"	@ 314	@ 236	@ 157	@ 79	0
TOTAL TREE SHADE:							13284

Surfaced Area:	Parking Lot	TOTAL SURFACED AREA=	23,809
	Covered Stalls (garages, carports, etc.)	SHADE AREA REQUIRED=	11,905
		if applicable, TOTAL AUXILIARY SHADE=	0
		TOTAL SHADE PROVIDED=	13,284
		PERCENT SHADE=	56%

**PARKING LOT 3 SHADE CALCULATIONS**

Symbol	Botanical Name/ Common Name	Tree Diameter	Quantity @ 100% Shade/ Sq. Ft.	Quantity @ 75% Shade/ Sq. Ft.	Quantity @ 50% Shade/ Sq. Ft.	Quantity @ 25% Shade/ Sq. Ft.	Total (sq. ft.)
		35"	@ 962	4 @ 722	2 @ 481	@ 240	3,850
		30"	2 @ 706	@ 530	@ 354	@ 177	1,412
		25"	@ 491	@ 368	3 @ 246	@ 123	738
		20"	@ 314	@ 236	@ 157	@ 79	0
TOTAL TREE SHADE:							6,000

Surfaced Area:	Parking Lot	TOTAL SURFACED AREA=	9,355
	Covered Stalls (garages, carports, etc.)	SHADE AREA REQUIRED=	4,678
		if applicable, TOTAL AUXILIARY SHADE=	0
		TOTAL SHADE PROVIDED=	6,000
		PERCENT SHADE=	64%

PAVED VEHICULAR SURFACE AREA INCLUDED IN CALCULATIONS, PER CITY ZONING CODE REQUIREMENTS FOR PARKING LOT SHADE.

DESIGNED BY: ALY  
 DRAWN BY: ALY  
 CHECKED BY: MGE  
 SCALE: AS NOTED

NO. DATE REVISIONS BY APPR

CEWEST.COM  
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**CALIFORNIA**

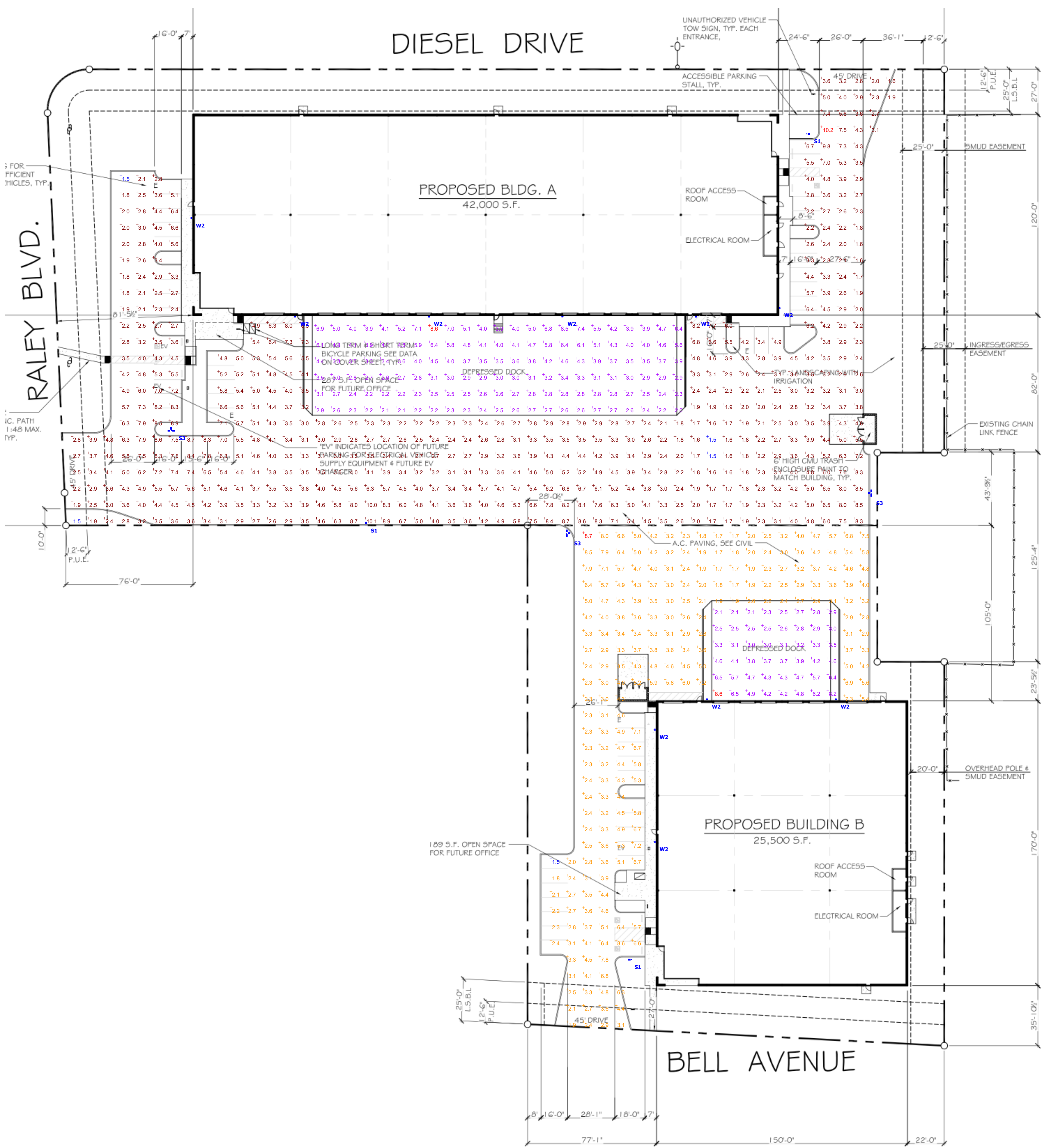
**RALEY & DIESEL BUILDINGS  
 PARKING LOT SHADE PLAN**

SACRAMENTO

SHEET  
  
 2

DATE: 03/21/2022  
 JOB NO: 1930.01



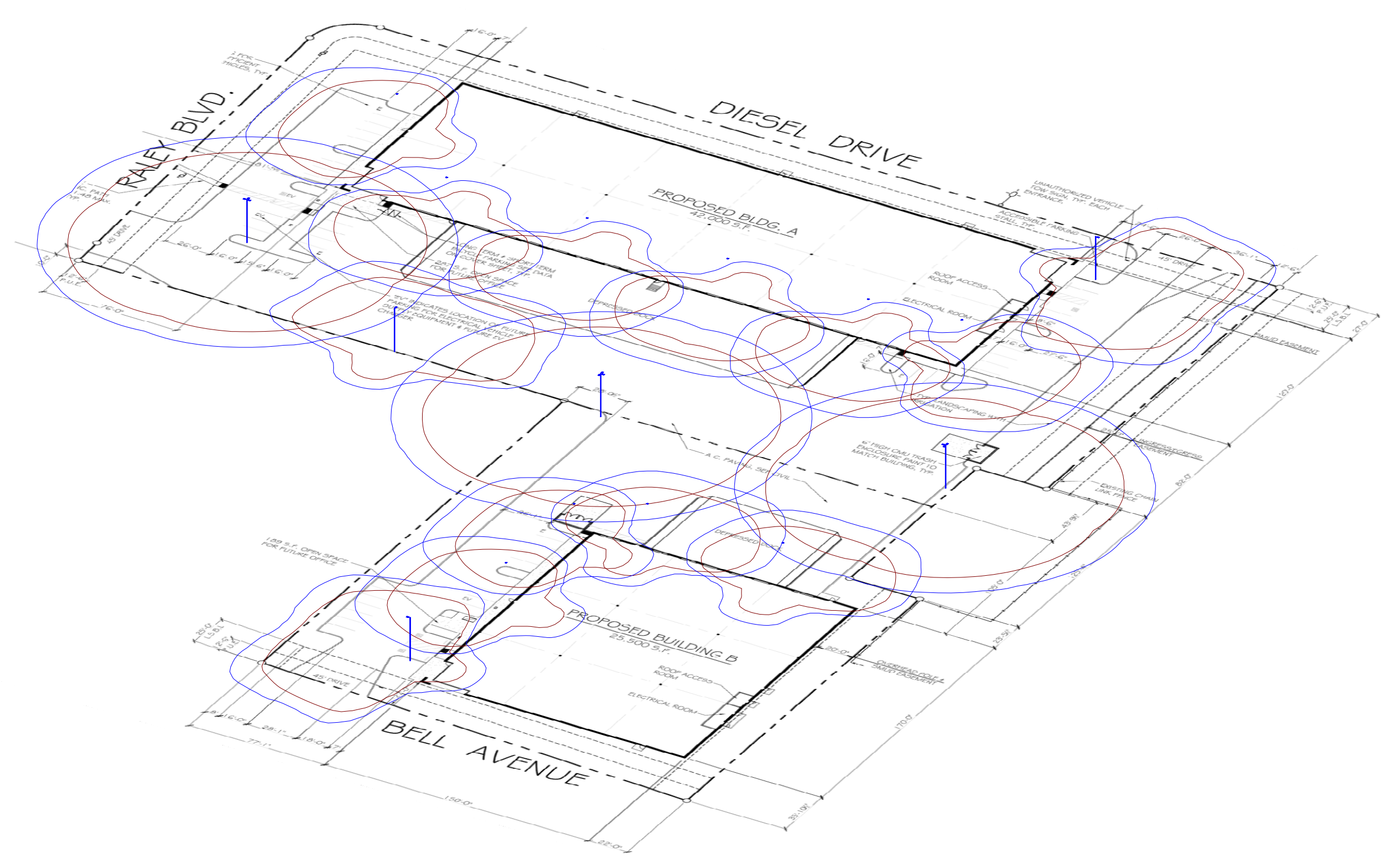


Plan View  
Scale - 1/32" = 1ft

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	S1		3	Lithonia Lighting	RSX3 LED P3 40K R4	RSX Area Fixture Size 3 P3 Lumen Package 4000K CCT Type R4 Distribution	1	35807	0.9	266.82
	S3		3	Lithonia Lighting	RSX3 LED P3 40K R5	RSX Area Fixture Size 3 P3 Lumen Package 4000K CCT Type R5 Distribution	1	36287	0.9	800.46
	W2		10	Lithonia Lighting	WDGE4 LED P6 70CRI RFT 40K	WDGE4 LED WITH P6 - PERFORMANCE PACKAGE, 4000K, 70CRI, FORWARD THROW OPTIC	1	25586	0.9	185.23

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING A DOCK AREA	+	3.7 fc	8.6 fc	2.0 fc	4.3:1	1.9:1
BUILDING A DRIVE PARKING	+	4.1 fc	10.2 fc	1.5 fc	6.8:1	2.7:1
BUILDING B DOCK AREA	+	3.9 fc	8.6 fc	2.1 fc	4.1:1	1.9:1
BUILDING B DRIVE / PARKING	+	3.8 fc	8.7 fc	1.5 fc	5.8:1	2.5:1

Label	MH
S1	25.00
S3	25.00
W2	25.00



South East View