

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator approve, with conditions, a Tentative Map, and the Design Director approve, with conditions, Site Plan and Design Review for the project known as **South Avenue Tentative Map (Z25-056)**. Draft Conditions of Approval and Findings of Fact for the project are included below.

REQUESTED ENTITLEMENTS

1. **Tentative Parcel Map** to subdivide one ± 0.93 -acre parcel, developed with an existing single-unit dwelling into five parcels in the Single-Unit Dwelling (R-1-SPD) Zone and within the Del Paso Nuevo Special Planning District, with a Tentative Map Design Deviation to create one parcel with no public street frontage.
2. **Site Plan and Design Review** for demolition of accessory structures and review of the tentative parcel map layout with a deviation to reduce the minimum lot depth requirements.

PROJECT INFORMATION

Location:	628 South Avenue
Parcel Number:	250-0150-074-0000
Council District:	2
Applicant:	Golden State Design & Engineering (William Petlinksy) 6929 Sunrise Boulevard, Suite 105B, Citrus Heights, CA 95610
Property Owner:	628 South Avenue LLC (CK Wong) 628 South Avenue, Sacramento, CA 95838
Project Planner:	Deja Harris, Associate Planner
Hearing Date:	February 19, 2026

Land Use Information

General Plan:	Neighborhood (N)
Housing Element Site:	N/A
Community Plan Area:	North Sacramento
Specific Plan:	N/A
Zoning:	Single-Unit Dwelling (R-1-SPD)
Special Planning District:	Del Paso Nuevo
Planned Unit Development:	N/A
Design Review Area:	Del Paso Nuevo

Parking District:	Traditional
Open Space District:	N/A
Historic Landmark:	N/A
Historic District:	N/A

Surrounding Land Use and Zoning

North:	R-1	Residential
South:	R-1-SPD	Residential
East:	R-1-SPD	Residential
West:	R-1-SPD	Residential

Site Characteristics

Existing Property Area:	40,4843 square feet / 0.93 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Land Use:	Residential

Other Information

Concurrent Files:	None
Previous Files:	None

ATTACHMENTS

Attachment 1: Tentative Subdivision Map

BACKGROUND

The project is located on an approximately 0.93-acre parcel within the Single-Unit Dwelling (R-1-SPD) Zone and the Del Paso Nuevo Special Planning District (Del Paso Nuevo SPD). The parcel is a through lot with street frontage on South Avenue to the north and Fran Barker Avenue to the south. The parcel is currently developed with a detached single-unit dwelling fronting South Avenue. The site is adjacent to an assembly use to the west and residential uses to the north, south and east. The site is served by existing public infrastructure.

PROPOSED PROJECT AND ANALYSIS

The applicant is proposing to subdivide the 0.93 gross acre (0.90 net acre) parcel into five lots resulting in four vacant lots (Lots 1 – 4) and one remainder lot to contain the existing single-unit dwelling. Lot 1 is proposed adjacent to the remainder lot with public street frontage along South Avenue while Parcels 3 and 4 adjacent to one another along Fran Barker Avenue. The existing single-unit dwelling will maintain its existing access from South Avenue and no site improvements to the remainder lot are proposed. Parcel 2 is proposed without public street frontage between the remainder lot and Lots 1, 3, and 4. Access to Lot 2 will be via a shared reciprocal access easement between Lots 3 and 4 with access from Fran Barker Avenue. There is no new development or construction proposed as part of the project, and the existing accessory structures and driveway on the remainder lot will be demolished. The Preservation Director does not oppose the demolition of the accessory structures.

This request requires Zoning Administrator approval of a Tentative Parcel Map with a Tentative Map Design Deviation and Site Plan and Design Review for the demolition of accessory structures and review of the proposed subdivision layout.

Tentative Parcel Map

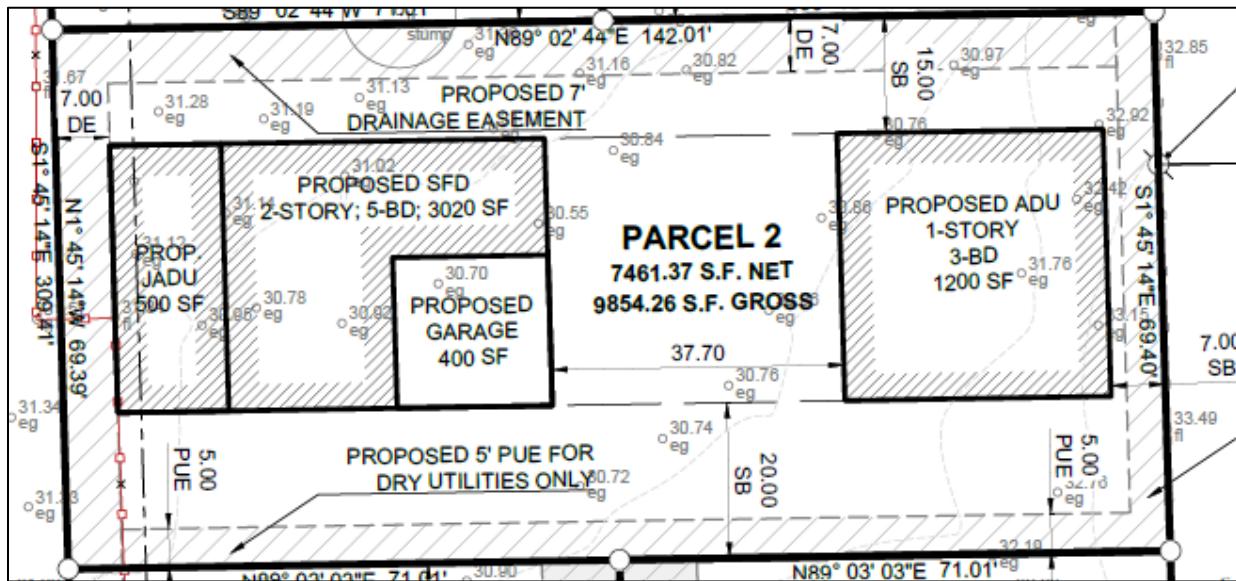
The project proposes a density of 6 dwelling units per net acre, which is consistent with the minimum density of 3 units per net acre, as established by the 2040 General Plan Map LUP-8. The R-1 Zone requires lot depths between 100 and 160 feet, lot width of 52 feet, and a minimum lot size of 5,200 square feet. Proposed Lot 2 requires deviations to reduce the minimum lot depth. For purposes of determining lot depth, staff is determining the front of lot 2 adjacent to the shared access easement. As shown in Table 1, the proposed tentative map requires deviations to the minimum lot depth development standard of the Single-Unit Dwelling (R-1) zone. The table below shows the proposed dimensions of the lots with deviations identified, where applicable.

Table 1: R-1-SPD Development Standards				
	Minimum Lot Size: 5,200 Sf	Minimum Lot Width: 52'	Required Lot Depth: Min. 100' Max. 160'	Deviation
Lot 1	9,586	71	135	N
Lot 2	9,584	142	69	Y; lot depth
Lot 3	7,456	71	105'	N
Lot 4	7,456	71	105	N
Remainder Lot	9,586	71	135	N

This project also includes a deviation request to create a parcel without public street frontage. Pursuant to Sacramento City Code section 17.500.010.C, new parcels are required to have not less than 20 feet of public street frontage, approved private street frontage, or alley frontage. Lot 1 and the remainder lot have public street frontage along South Avenue, and lots 3 and 4 will have public street frontage along Fran Barker Avenue. Lot 2 will not have public street frontage and access is proposed via a 20-foot-wide access easement along Fran Barker Avenue shared with the properties to the south.

Planning staff supports the tentative parcel map as all development standards are met with the exception of the lot depth requirement on Lot 2. The purpose of the lot size and dimension standards in the R-1 zone is to ensure that new lots are developable, provide adequate public safety access, and are supported by necessary infrastructure when development occurs. Staff is supportive of the requested lot depth deviation and tentative map design deviation, as the proposed plans demonstrate that the lots will have sufficient access. Additionally, the applicant has submitted a house exhibit, for illustrative purposes only, depicting a detached single unit dwelling on Lot 2. As shown in Figure 1 below, the lot is sufficient in size to accommodate a detached single unit dwelling in compliance with all development standards. At the time house designs are proposed, they will be evaluated for conformance with the applicable development standards established in the Planning and Development Code and Citywide Design Guidelines and will be required to obtain a new Site Plan and Design Review entitlement.

Figure 1



Site Plan and Design Review

Site Plan and Design Review is required to review the map layout and to review the existing single-unit dwelling retained on the Remainder Lot and to ensure compliance with the required lot coverage and setback requirements of the Single-Unit Dwelling (R-1) Zone. It is noted that the existing single-unit dwelling currently encroaches into the adjacent parcel to the west. As such, staff has conditioned the project to obtain a Lot Line Adjustment prior to finalizing the map to address this existing condition and bring the property into conformance with City Code. The new interior lot line would follow the existing fence that separates the existing single-unit dwelling from the adjacent parcel. Table 2 below illustrates compliance with these applicable development standards for the existing dwelling unit on its proposed parcel.

Table 2: R-1 Development Standards

Standard	Required	Remainder Lot (Containing existing dwelling)
Front Setback	20'	20' (existing – no change)
Rear Setback	15'	28' (new)
Interior Setback (West)	5'	5'.40' (new)
Interior Setback (East)	5'	14.47' (new)
Lot Coverage	40%	30%

SUBDIVISION REVIEW COMMITTEE

The proposed tentative parcel map was heard at the Subdivision Review Committee on February 4, 2026. The conditions of approval were accepted by the applicant and forwarded by the committee. The resulting conditions are listed under Conditions of Approval below.

PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to Del Paso Community Association, Rancho Del Paso Neighborhood Association, North Sacramento Chamber of Commerce, Benito Juarez Association, Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders. Staff received no comments.

The site was posted with project information at the time of submittal. All property owners and residents within 500 feet of the subject site, and neighborhood association were mailed a public hearing notice and on February 6, 2026, a notice was posted at the project site. At the time of the writing of this report, staff did not receive any additional comments or expressed opposition to the proposed project.

ENVIRONMENTAL DETERMINATION

The Community Development Department, Environmental Planning Services Division has reviewed this project and the Zoning Administrator determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15332, Infill Development (Categorical Exemption – Class 32). This project qualifies for this exemption as it applies to projects that are consistent with the General Plan, are in an urbanized area on a site no larger than five acres, where the site has no value as habitat for special status species, where all services are available, and where no significant effects related to traffic, noise, air quality, or water quality would occur. This project is to subdivide one 1.02 gross acre parcel, developed with an existing single unit dwelling, into five parcels. Four lots will be available for future single-unit dwelling construction, subject to separate entitlement approvals. The project proposes a density of 5 dwelling units per net acre, which is consistent with the minimum density of 3 units per net acre, as established by the 2040 General Plan. The project is also consistent with the Single Unit Dwelling (R-1) zoning designation and Del Paso Nuevo SPD in that the new parcels are sufficient in size to accommodate new single-unit dwellings on the newly created vacant parcels. Therefore, the project will not have a significant effect on the environment and no further CEQA analysis is required.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection. This is based on the SAFCA Urban Level of Flood Protection Engineer's Report accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

FINDINGS OF FACT

Environmental Determination: Exempt

The Community Development Department, Environmental Planning Services Division has reviewed this project and the Zoning Administrator determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15332, Infill Development (Categorical Exemption – Class 32). This project qualifies for

this exemption as it applies to projects that are consistent with the General Plan, are in an urbanized area on a site no larger than five acres, where the site has no value as habitat for special status species, where all services are available, and where no significant effects related to traffic, noise, air quality, or water quality would occur. This project is to subdivide one 1.02 gross acre parcel, developed with an existing single unit dwelling, into five parcels. Four lots will be available for future single-unit dwelling construction, subject to separate entitlement approvals. The project proposes a density of 5 dwelling units per net acre, which is consistent with the minimum density of 3 units per net acre, as established by the 2040 General Plan. The project is also consistent with the Single Unit Dwelling (R-1) zoning designation and Del Paso Nuevo SPD in that the new parcels are sufficient in size to accommodate new single-unit dwellings on the newly created vacant parcels. Therefore, the project will not have a significant effect on the environment and no further CEQA analysis is required.

Tentative Parcel Map

1. None of the conditions described in City Code section 17.828.090 and Government Code section 66474 exist with respect to the proposed subdivision as follows:
 - a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code;
 - b. The design and improvement of the proposed subdivision is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code as conditioned;
 - c. The site is physically suitable for the type of development;
 - d. The site is physically suitable for the proposed density of development;
 - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
 - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
 - g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5);
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6);
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1); and

5. The Zoning Administrator has considered the effect of the approval of this Tentative Subdivision Map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

Site Plan and Design Review

1. The design, layout, and physical characteristics of the proposed development are consistent with the General Plan which designates the site as Neighborhood (N) and the North Sacramento Community Plan in that the development provides an opportunity for future residential infill development. The proposal also provides a density of six dwelling units per net acre which is consistent with the 2040 General Plan Map LUP-8. There is no transit village plan applicable to this project.
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from development standards are approved, the proposed development is consistent with the purpose and intent of those standards. The proposed development's deviations to reduce minimum lot depth for Lot 1 is consistent with the purpose and intent of the Planning and Development Code in that: 1) the parcel can adequately accommodate future infill development; 2) the lot size is consistent with surrounding development; and 3) the project otherwise meets applicable development standards within the R-1 zone including lot size, and lot width. The tentative map design deviation to allow parcels without public street frontage will maintain access via a shared reciprocal access easement that connects from Fran Barker Avenue.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards as the proposed parcel map provides for the extension of necessary public and private utility infrastructure to meet the needs of future residential development.
4. The design, layout, and physical characteristics of the proposed development as conditioned are visually and functionally compatible with the surrounding neighborhood. No development is proposed with this request and the existing single-unit dwelling will continue to have access as currently exists.
5. The design, layout, and physical characteristics of the proposed development as conditioned minimizes energy consumption and encourages the use of renewable energy sources in that the project uses existing utility infrastructure, public access ways, and existing driveways. The project does not propose new development.
6. The design, layout, and physical characteristics of the proposed development as conditioned are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that lot sizes are sufficient to accommodate future infill development and the proposed parcels will maintain adequate access to the public street on both South Avenue and Fran Barker Avenue.

200-Year Flood Protection

1. The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Report accepted by the City Council on October 21, 2025 (Resolution No. 2024-0311).

CONDITIONS OF APPROVAL

Tentative Parcel Map

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map or approved for this project (Z25-056). The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Parcel Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

The City strongly encourages the applicant to thoroughly discuss the conditions of approval for the project with their Engineer/Land Surveyor consultants prior to City Planning approval. The improvements required of a Tentative Map can be costly and are completely dependent upon the condition of the existing improvements. Careful evaluation of the potential cost of the improvements required by the City will enable the applicant to ask questions of the City prior to project approval and will result in a smoother plan check process after project approval:

Planning

1. This approval shall expire in three years from the approval date and may be extended consistent with the provisions in Sacramento City Code Section 17.828.160.

Public Works:

2. Pay off existing assessments or file the necessary segregation requests and fees to segregate existing assessments.
3. Private reciprocal ingress, egress, and maneuvering easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement For Conveyance of Easements with the City stating that a private reciprocal ingress/egress, and maneuvering easement shall be conveyed to and reserved from the appropriate parcels, at no cost, at the time of sale or other conveyance of either parcel.
4. Show all continuing and proposed/required easements on the Parcel Map.
5. Construct standard subdivision improvements as noted in these conditions pursuant to section 17.504.050 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards.

This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.

6. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.

SMUD:

7. SMUD has existing overhead 12kV and secondary facilities along South Avenue that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
8. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. Applicant shall be responsible for confirming with SMUD appropriate/acceptable landscaping including placement within the easement area. SMUD reserves the right to prune & remove trees that encroach into the easement area.
9. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal. Applicant is further made aware that the proposed location of any relocated facilities will be subject to SMUD's vegetation management practices including restrictions of 15 feet high at full maturity and placement of trees within SMUD easements. Applicant shall bear cost to remove vegetation or trees located within proposed new facilities area and SMUD retains the right to engage in customary vegetation management practices at proposed new location after facility relocation. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
10. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs,
11. including but not limited to vegetation management, tree pruning or removal, weed abatement and application of weed abatement material, and a height restriction of fifteen feet tall at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
12. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.

Landscaping improvements placed within the IOD or 12.5-foot PUE shall be subject to SMUD's landscaping and tree placement guidelines and SMUD's regular vegetation management practices including but not limited to restriction of 15 feet high at maturity and spacing as well as tree pruning, removal, or other standard vegetation management activities. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.

13. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Resbates/Design-and-Construction-Services>.
14. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.
15. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
16. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways. The 12.5-foot PUE shall be subject to SMUD's landscaping and tree placement guidelines within the easement area and such landscaping shall be subject to SMUD's vegetation management practices including but not limited to tree pruning, removal, and weed abatement and a height limit of fifteen feet at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
17. The Applicant shall dedicate the East 5 feet of Parcel 1 & 2, and South 5 feet of Parcel 2 as a public utility easement for (overhead and) underground facilities and appurtenances. The PUE will shall be dedicated "Dry Utilities Only". The PUE area shall be subject to SMUD's landscaping and tree placement guidelines within the easement area and such landscaping shall be subject to SMUD's vegetation management practices including but not limited to tree pruning, removal, a height limit of fifteen feet tall at full maturity and weed abatement. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
18. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.

DOU:

19. All existing easements and all existing right-of-ways shall be shown on the Final Map, except for all abandoned easements and right-of-ways.

20. The applicant shall grant and reserve easements, as needed, for water, drainage and sanitary sewer facilities, and for surface storm drainage, at no cost at or before the time of sale or other conveyance of any parcel or lot. A note stating the following shall be placed on the Final Map: "Private/reciprocal easements for utilities, drainage, water and sanitary sewer facilities, and surface storm drainage shall be granted and reserved, as necessary and at no cost, at or before the time of sale or conveyance of any parcel shown in this map.

PARKS:

21. Payment of In-lieu Park Fee: Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
22. Maintenance District: The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Infrastructure Finance, Doreen Chia, (916)808-5447, dchia@cityofsacramento.org).

Advisory Notes:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

Public Works:

ADV1. If unusual amounts of bone, stone, or artifacts are uncovered, work, in the area within the distance required by federal and state regulations, will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.

ADV2. House plans shall comply with City Code Chapter 17.508 Driveways which includes:

17.508.040.J All driveways shall be at least 5-ft away from the property line.

17.508.050.A Residential driveways shall have a width of at least 10-ft and a depth of at least 20-ft measured from the right-of-way line.

17.508.050.B Driveways serving more than two residential units shall comply with the commercial driveway design standards which includes a minimum width of 24-ft for the first 20-ft in length measured from the right-of-way line.

Solid Waste:

- ADV3. Project must meet the requirements outlined in City Code Chapter 13.10.
- ADV4. There must be sufficient space to store a minimum of one garbage container and one mixed recycling container per unit, and one organics recycling container per parcel, to ensure all material generated on the parcel is diverted into the correct waste stream. The minimum space needed is approximately 35 inches by 87 inches per unit.
- ADV5. There must be sufficient space to set out all containers (garbage, mixed recycling, and organics recycling) in front of each parcel and remain in compliance with City Code Chapter 13.10.100.
- ADV6. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and containers safely.
 - a. Parcel 2 shall place their containers on Fran Barker Avenue.

SASD:

- ADV7. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if Regional San impact fees are due. Fees are to be paid prior to the issuance of building permits.
- ADV8. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via its local sanitary sewer collection system. SacSewer is responsible for conveying sewage from the City collection system to the EchoWater Resource Recovery Facility for treatment, resource recovery, and disposal.

DOU:

- ADV9. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- ADV10. Residential water taps for Parcel 2 shall be sized per the City's Building Department onsite plumbing requirements (water taps from the water main in the street to the meter may need to be larger than 1-inch depending on the length of the house service, number of fixture units, etc.).
- ADV11. For development of Parcels 1, 2, 3, and 4, the applicant shall provide separate water and sewer services to each of the four (4) parcels. The locations of services shall be to the satisfaction of the DOU.
- ADV12. Any increase of impervious area for future developments of the four parcels will require drainage mitigation. Per the current DOU Onsite Design Manual, using the static analysis and per the DOU onsite project storage method, an estimated 10,600 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to an estimated 0.10 cfs/acre. The drainage study shall be consistent with the latest basin 158 drainage model for the project area. The applicant

is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)

ADV13. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

SMUD:

ADV14. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.

ADV15. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).

Parks:

ADV16. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

- a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$4,560. This is based on the tentative subdivision map to create five (5) residential lots with one (1) existing single family dwelling unit. The Quimby in lieu fee is based on the number of dwelling units according to the highest density of the existing zoning designation or existing specific plan density designation, whichever allows the highest density, the average land value of \$100,000 per acre for the North Sacramento Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of finalizing conditions on the final map. The Department of Public Works is the lead for resolving the conditions on the map, including the invoicing and payment of the in-lieu fee.
- b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

FIRE:

ADV17. Per the most recently adopted California Residential Code, all new residential construction including 1 and 2 family dwellings and townhouses shall be provided with an approved NFPA 13 D sprinkler system.

Site Plan and Design Review

Planning:

1. No construction or additions are allowed with this project approval.
2. Deviations to the following development standards are approved as follows:
 - a. Lot depth pursuant to Sacramento City Code (SCC) section 17.204.230 for Parcel 2.
3. The applicant shall obtain all necessary building permits to demolish the existing accessory structure prior to finalizing the map.
4. The applicant shall obtain a Lot Line Adjustment prior to finalizing the map.
5. Any changes, additions, or modifications shall require additional review and approval from Planning staff and may require additional entitlements.
6. This approval shall expire in three years from the approval date and may be extended consistent with the provisions in Sacramento City Code Section 17.808.400.

Respectfully Submitted: _____



Deja Harris
Associate Planner

Recommendation Approved: _____



Zach Dahlia
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the Director hearing. If an appeal is not filed, the actions of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map. A discretionary permit expires and is thereafter void if the use or development project for which the discretionary permit has been granted is not established within the applicable time period. The applicable time period is either three years from the effective date of approval of the discretionary permit; or the time specified by the decision-maker, if so stated in a condition of approval of the discretionary permit. A use or development project that requires a building permit is established when the building permit is secured for the entire development project and construction is physically commenced.



KEY NOTES:

THE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS SURVEY.
RECORDS OF THE RECORD EASEMENTS MAY EXIST.

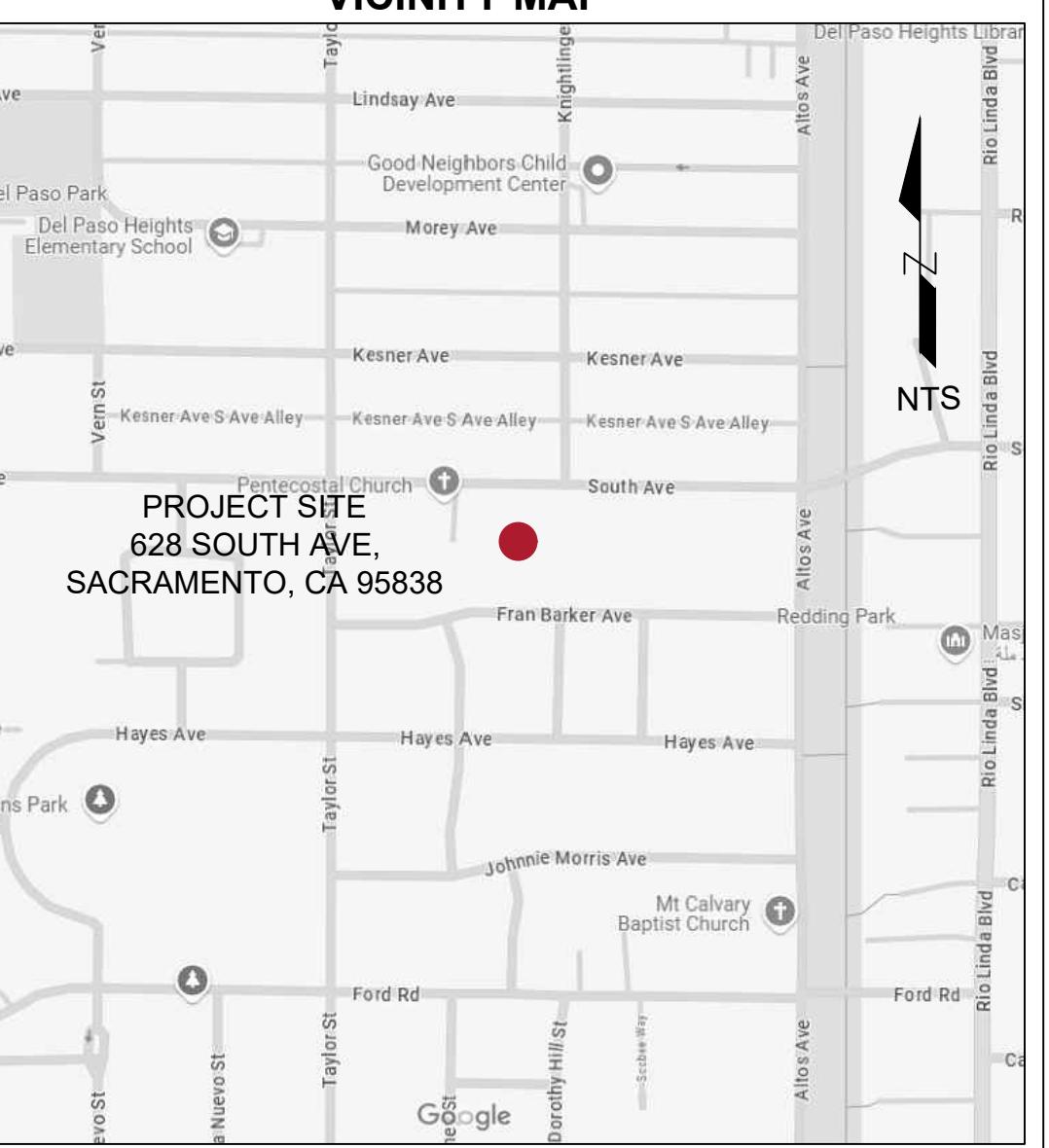
THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING
RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD
INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE
VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.

THIS SURVEY IS NOT A BOUNDARY SURVEY. ADDITIONAL FIELD SURVEY AND RESEARCH
MAY BE REQUIRED TO ESTABLISHED THE ACTUAL BOUNDARY.

THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND
UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF
UNSURE RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL
EXPLORATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS
OF SUCH UNDERGROUND UTILITIES. SURVEYOR ASSUMES NO RESPONSIBILITY
FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH
UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS
OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON
THE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES
WHICH ARE NOT WITHIN THE RECORD EASEMENT.

MONUMENTS WERE SET AS A PART OF THIS SURVEY.

ITY MAP



GEND

ABBREVIATIONS

ABBREVIATIONS			
EDGE OF GROUND	CL	CENTER LINE	
ELECTRIC POLE	BOS	BOTTOM OF SLOPE	
WATER LEVEL	TOS	TOP OF SLOPE	
EDGE OF ROAD	FL	FENCE LINE	
LOT LINE ADJUSTMENTS	AUE	ACCESS & UTILITY EASEMENT	
SET-BACK	BSB	BUILDING SET-BACK	
PUBLIC UTILITY EASEMENT	DE	DRAINAGE EASEMENT	

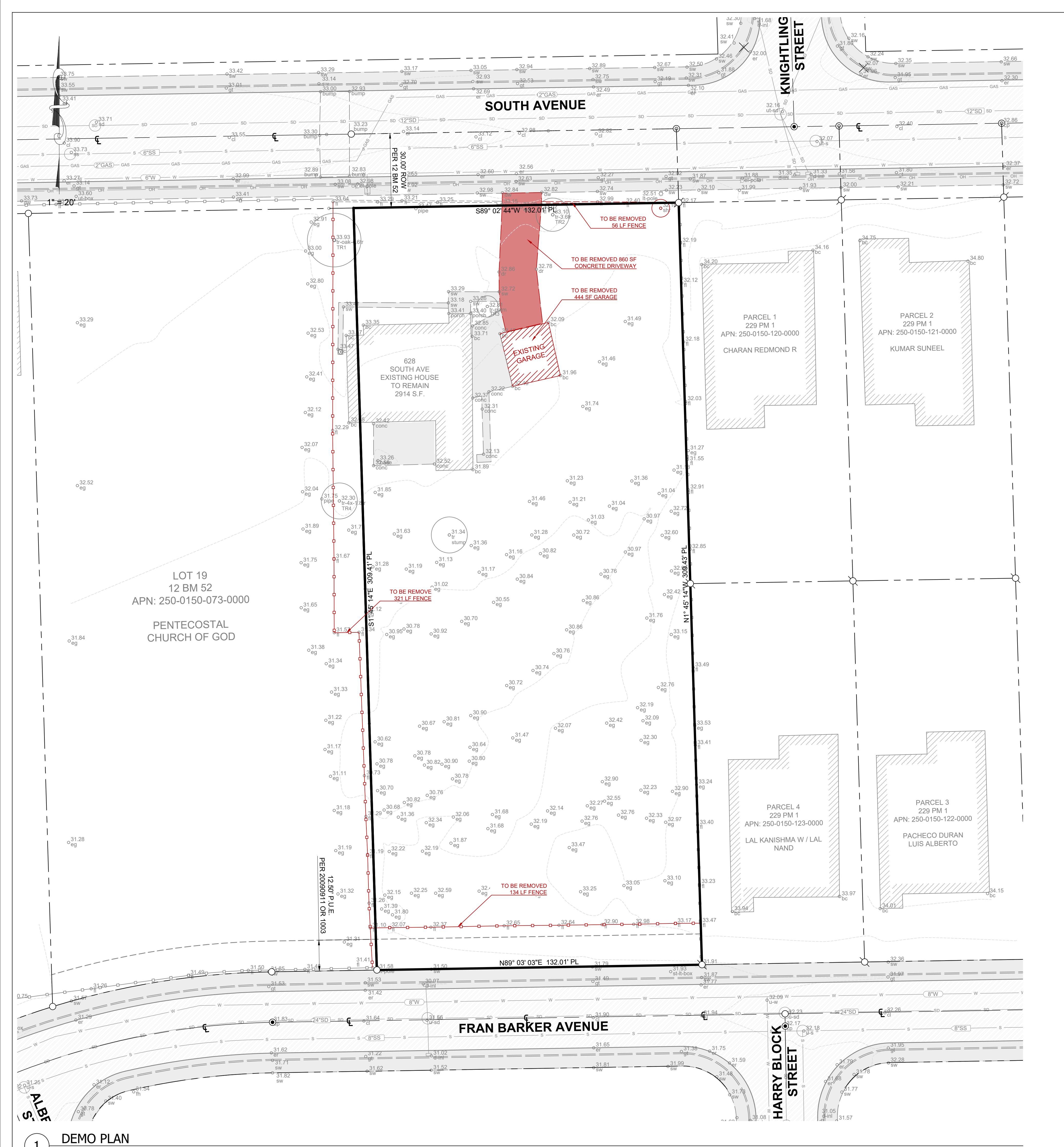
REF. LEGEND

TREE LEGEND			
TREE#	TYPE	TRUNK DIAM.	DRIP LINE
TR1	OAK	1.46'	21.0'
TR2	NOT OAK	1.14'	13.0'
TR3	PALM TREE	0.5'	9.0'
TR4	NOT OAK / MULTIPLE TRUNK	0.57'	14.0'

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EXISTING CONDITIONS TOPOGRAPHY MAP

C-0.1



DEMOLITION		
STRUCTURE		444 SF
CONCRETE DRIVEWAY		860 SF
FENCE		511 LF



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STAMP

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PRELIMINARY DEMO PLAN

REVISION SCHEDULE

OWNER CONTACT:
OWNERS NAME: CK WONG
PHONE #: (916) 983-2168
EMAIL: CKWONG@GMAIL.COM

PROJECT NO.:

DRAWN BY:

SHEET NO.

200

C-02

100

C-0.2

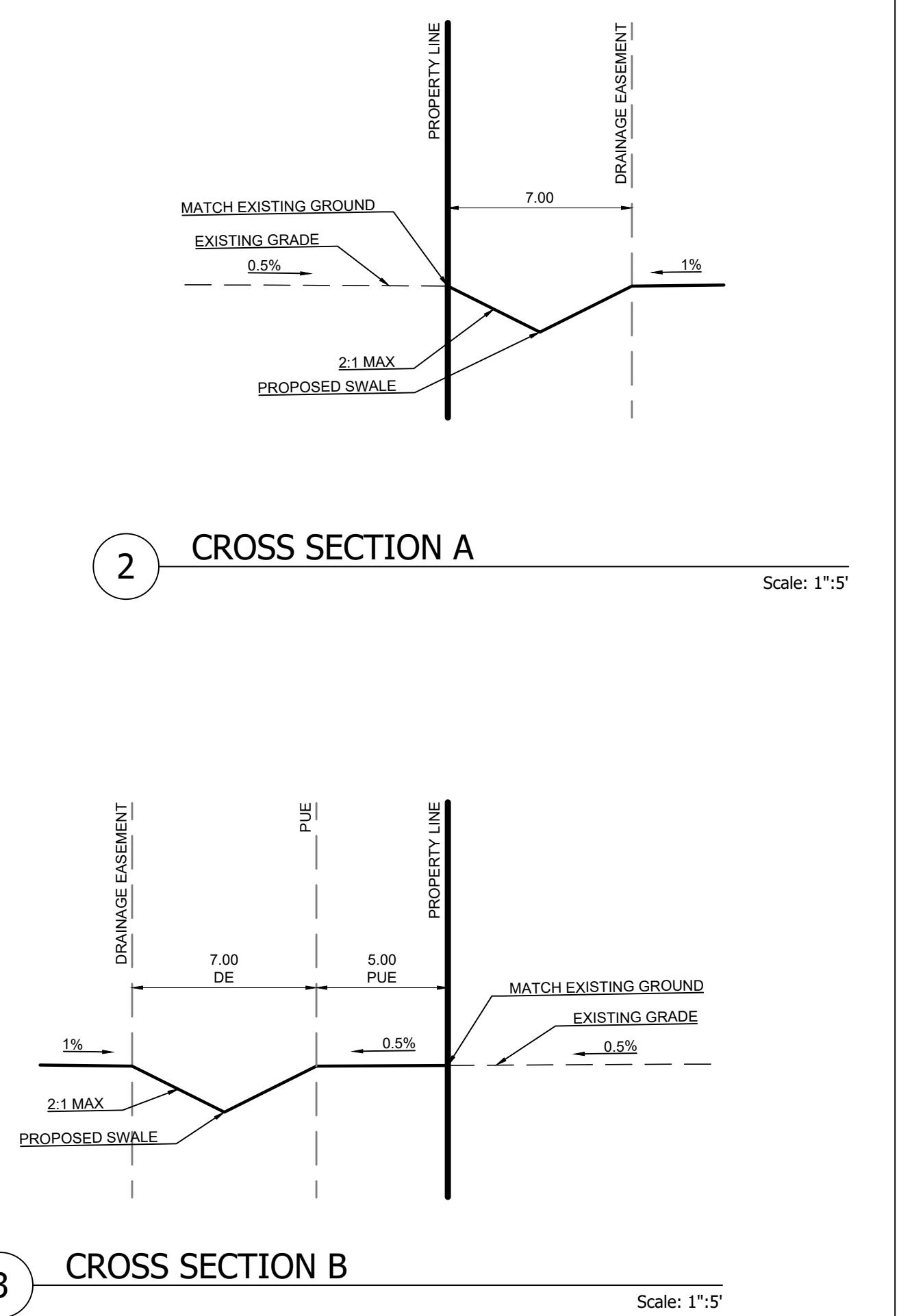


ADING PLAN LEGEND

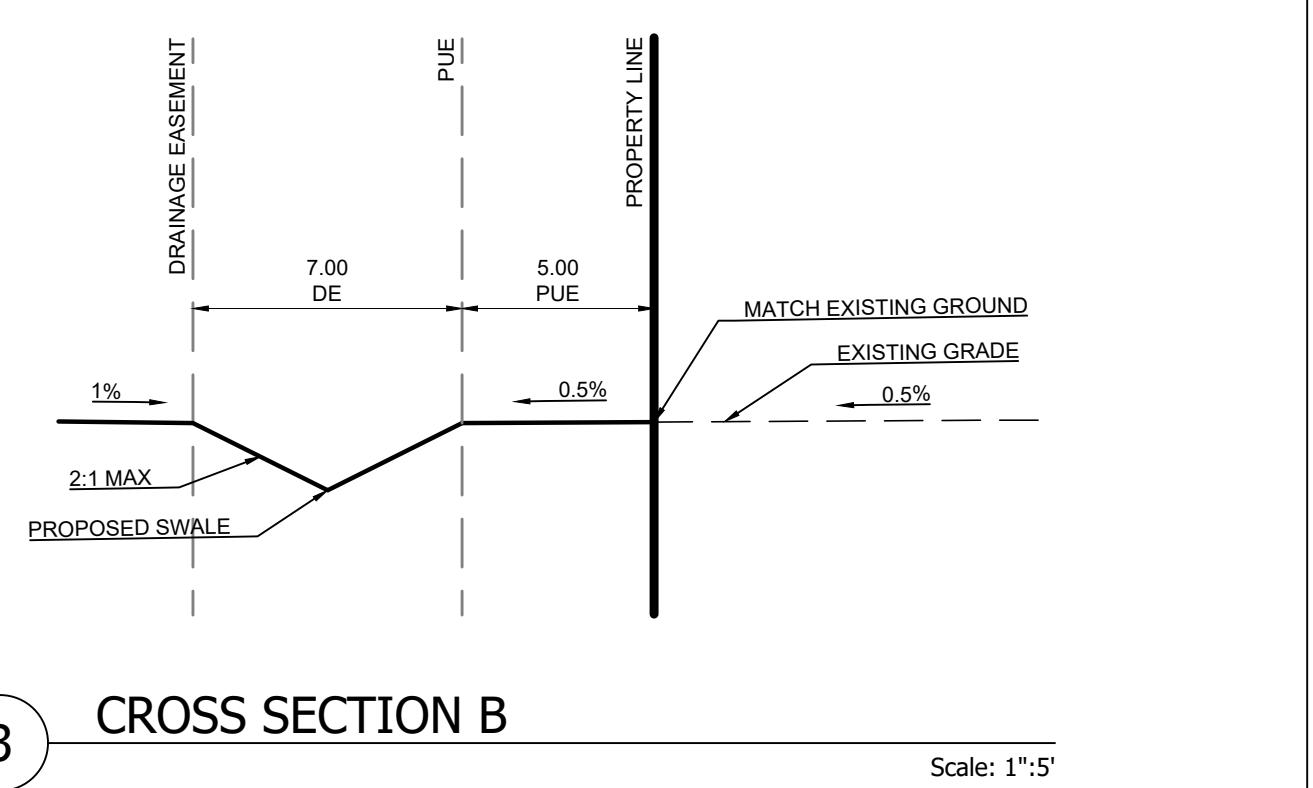
PROPOSED ELEVATION	
EXISTING ELEVATION	31.68 31.53
PROPOSED CONTOUR LINES	32
LOPE DIRECTION	-0.8%
ILET	☒
WALE	SWL
TORM DRAIN LINE	SD

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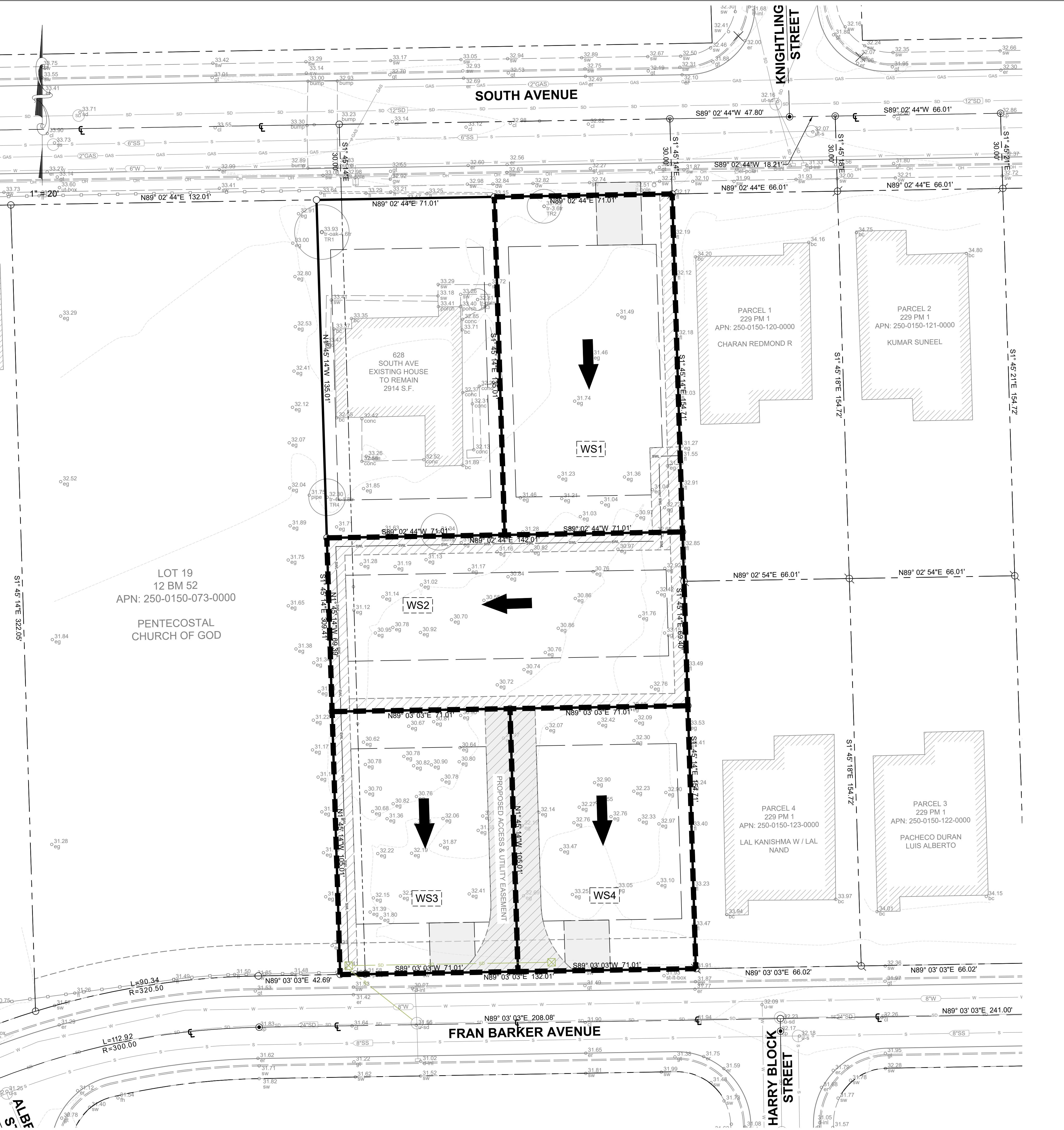
PRELIMINARY GRADING PLAN



CROSS SECTION A



CROSS SECTION B



ORMWATER CONTROL LEGEND

WATERSHED AREA BOUNDARY

WATERSHED AREA

OVERLAND RELEASE PATH

INLET

SWALE

STORM DRAIN LINE

WS1

SWL

SD

WATERSHED SUMMARY TABLE

WATERSHED	AREA, AC	100-YEAR STORAGE REQUIREMENT PER AC	IMPERVIOUS FACTOR FOR R-1 ZONE	REQUIRED STORAGE PER ADDITIONAL ACRE OF IMPERVIOUS SURFACE, CF
WS1	0.22	10600 CF	0.4	933
WS2	0.22			933
WS3	0.17			720
WS4	0.17			720

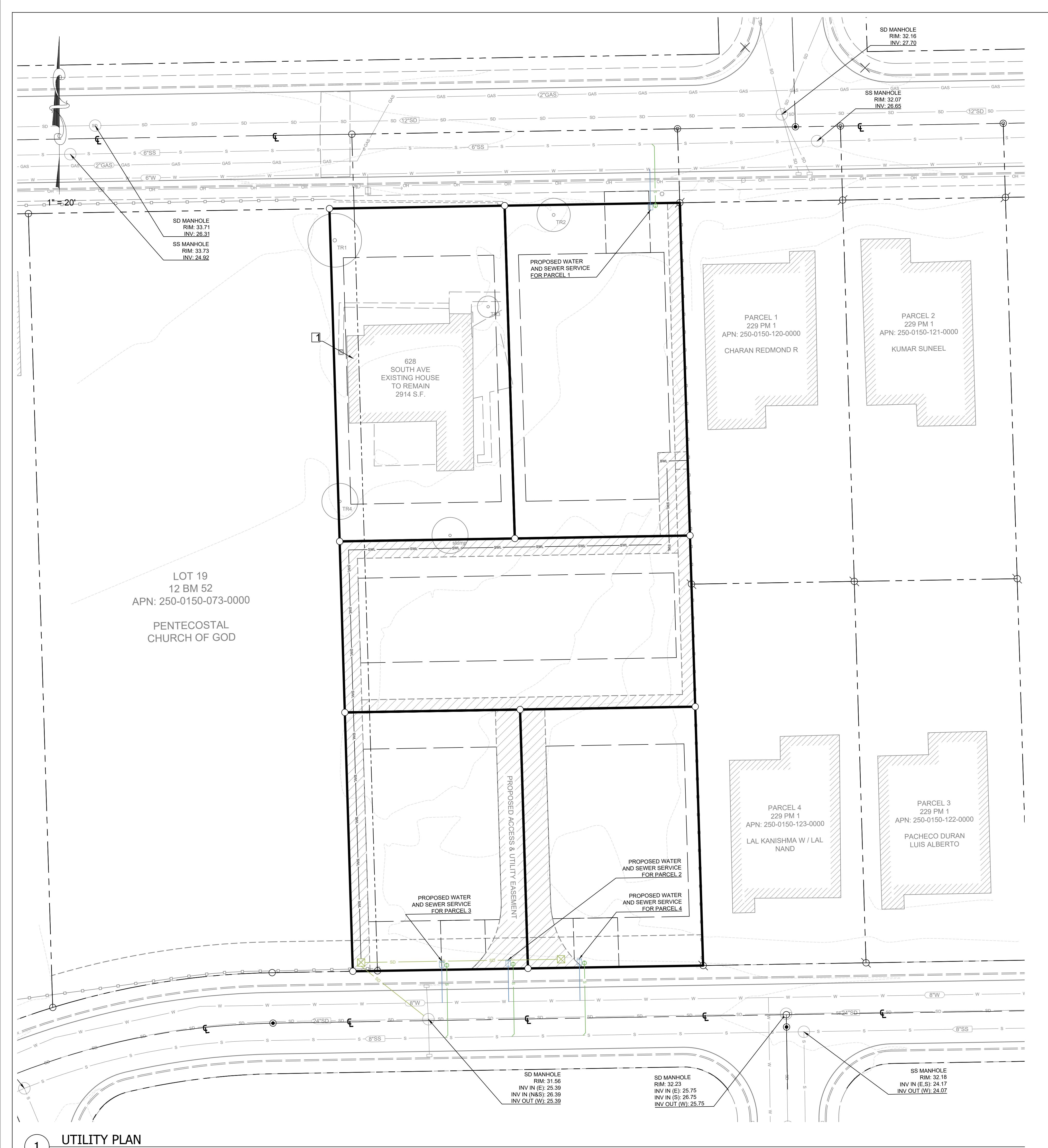
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PRELIMINARY STORMWATER CONTROL PLAN

C-0.4

1 STORMWATER CONTROL PLAN

1":20'



STORM LEGEND	
SEWER LINE AND CLEANOUT	
WATER LINE AND WATER METER	
INLET	
STORM DRAIN LINE	



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PRELIMINARY UTILITY PLAN

SION SCHEDULE

ACT:
E: CK WONG
(983-2168
NG8@MAC.COM

11

6/1

Page 10

10

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1

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C-0.6

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0 20 40 60 80 100

20 20 20 20

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Feet



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SITE PHOTOS

SHEET TITLE

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE

OWNER CONTACT:

OWNERS NAME: CK WONG
PHONE #: (916) 983-2168
EMAIL: CKWONG8@MAC.COM

PROJECT NO.:

P100

DESIGNER:

P.E.

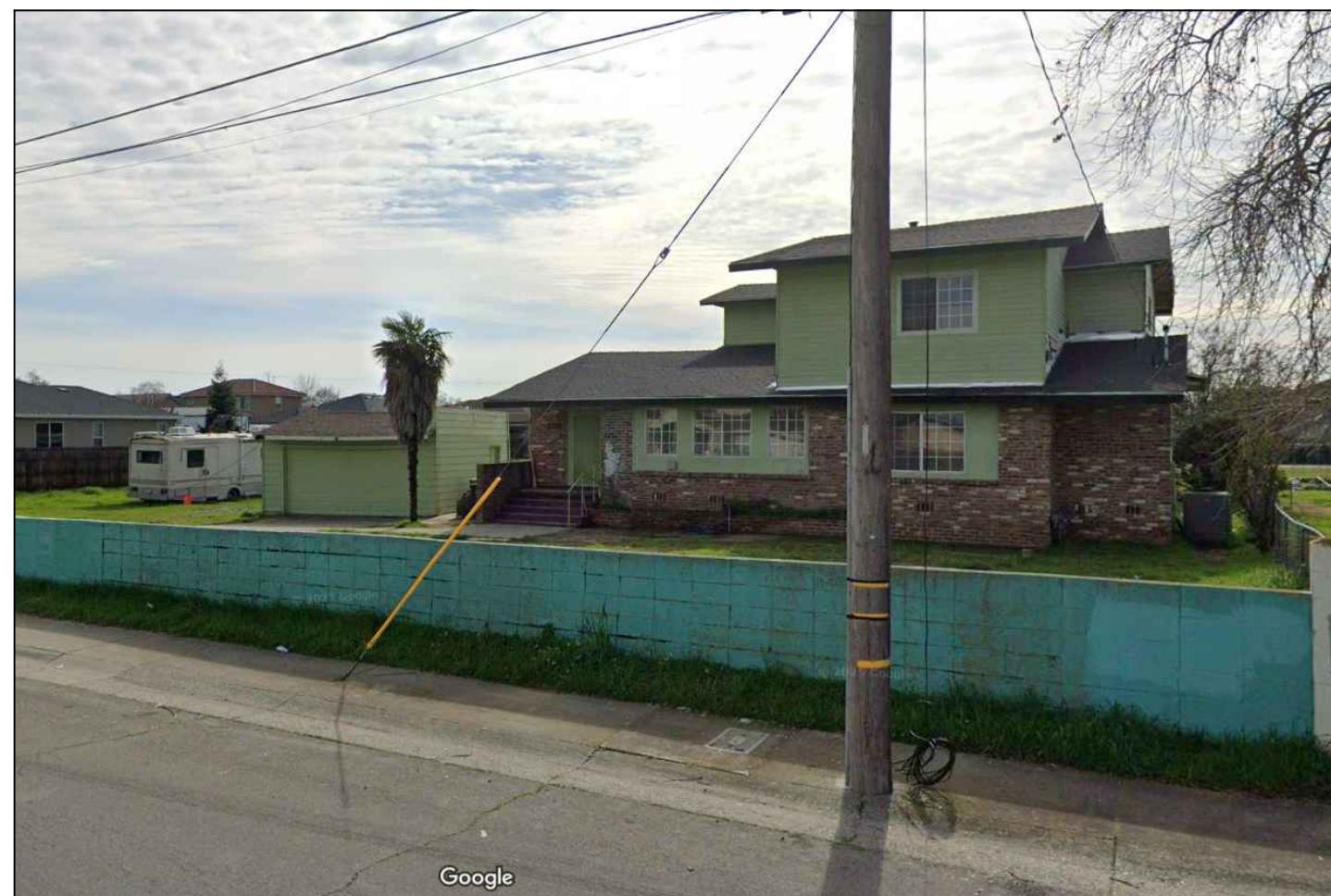
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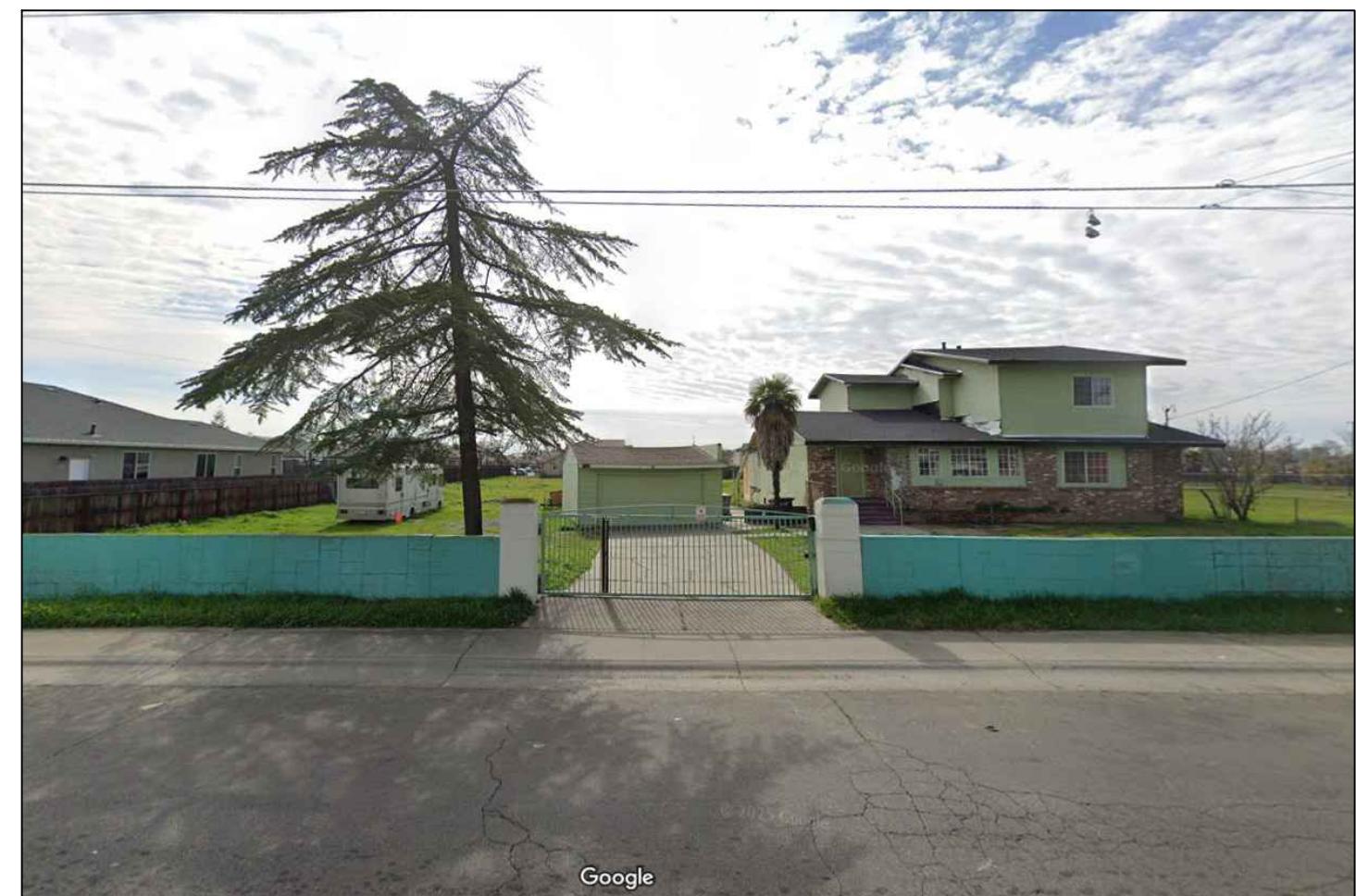
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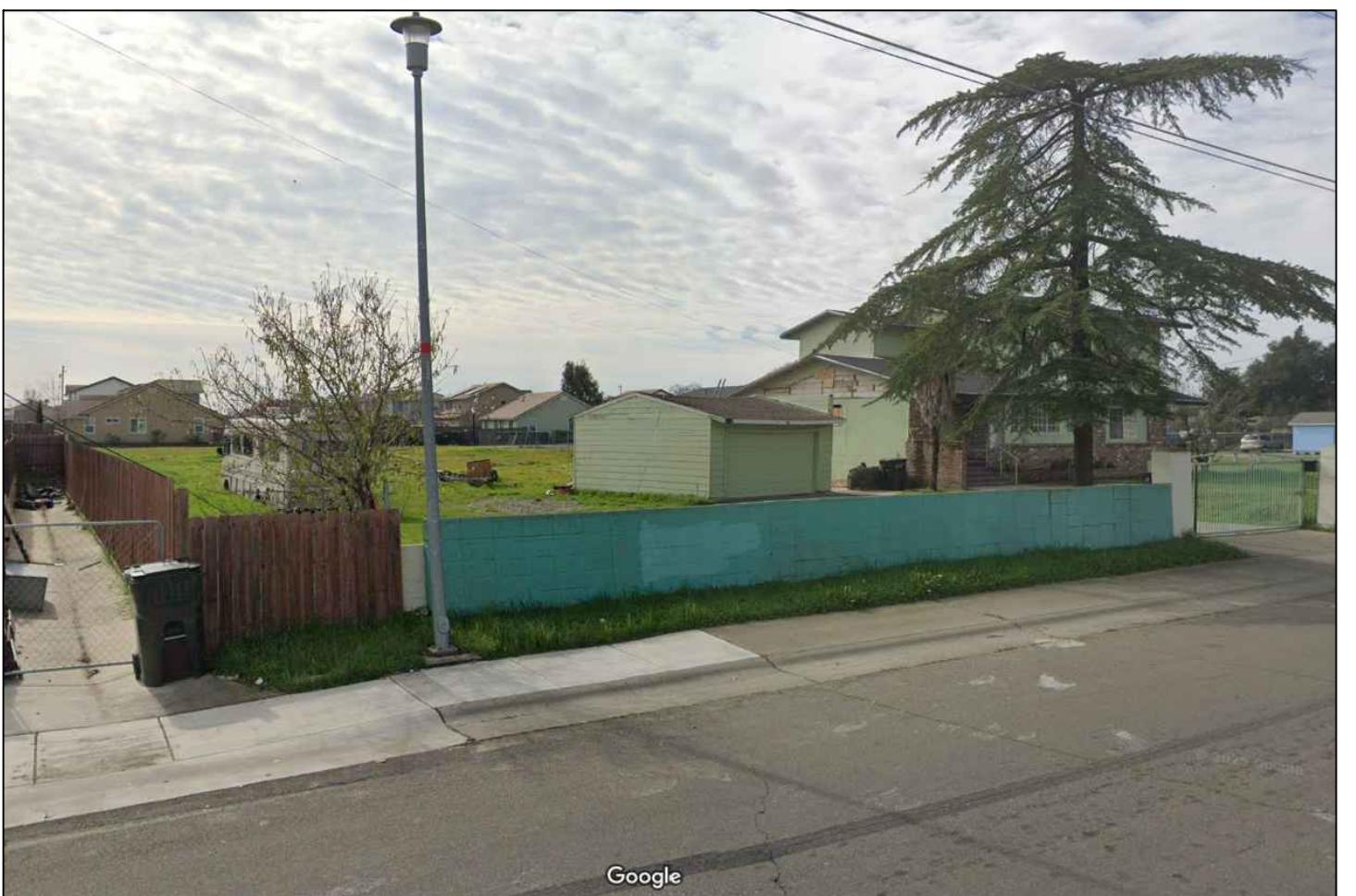
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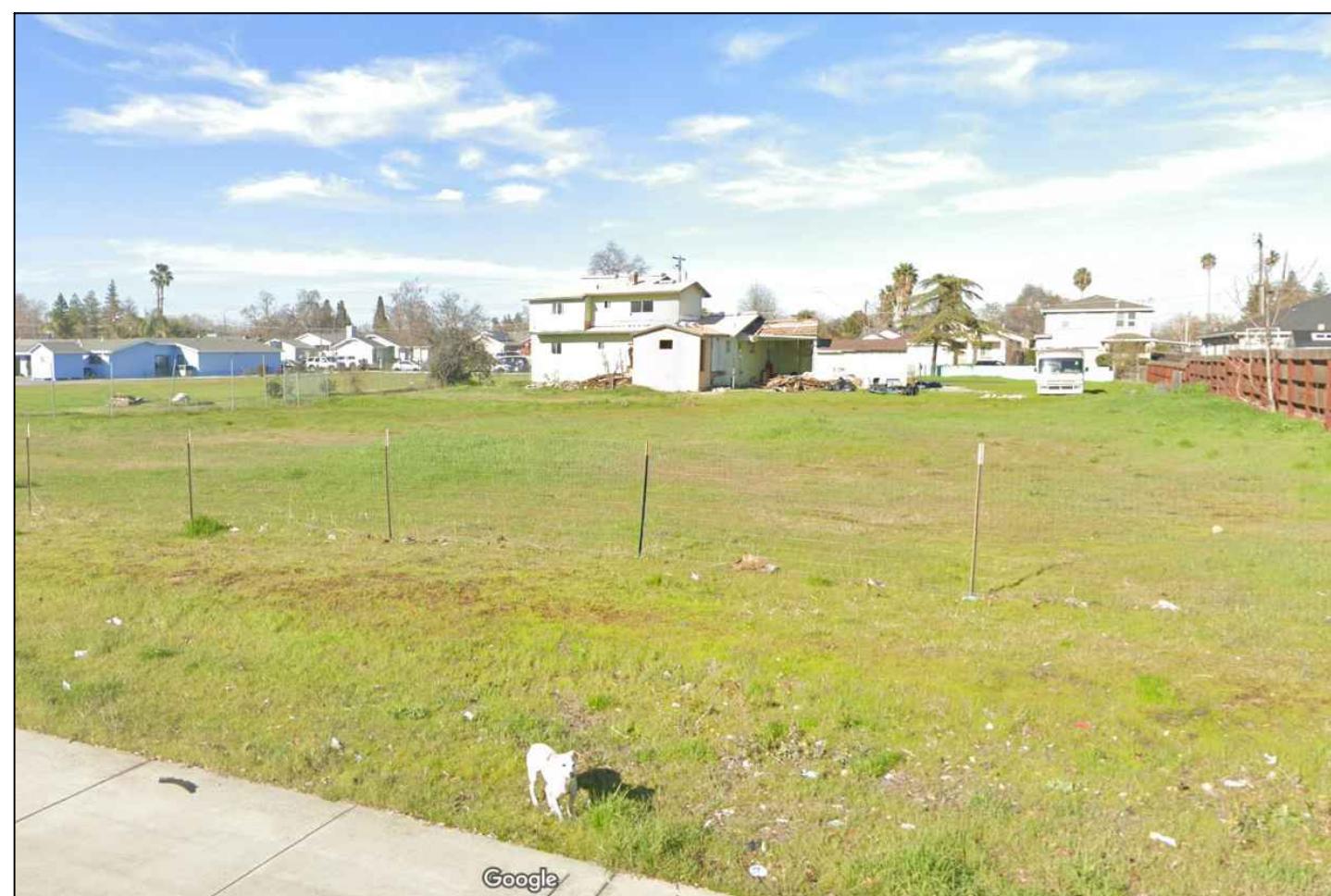
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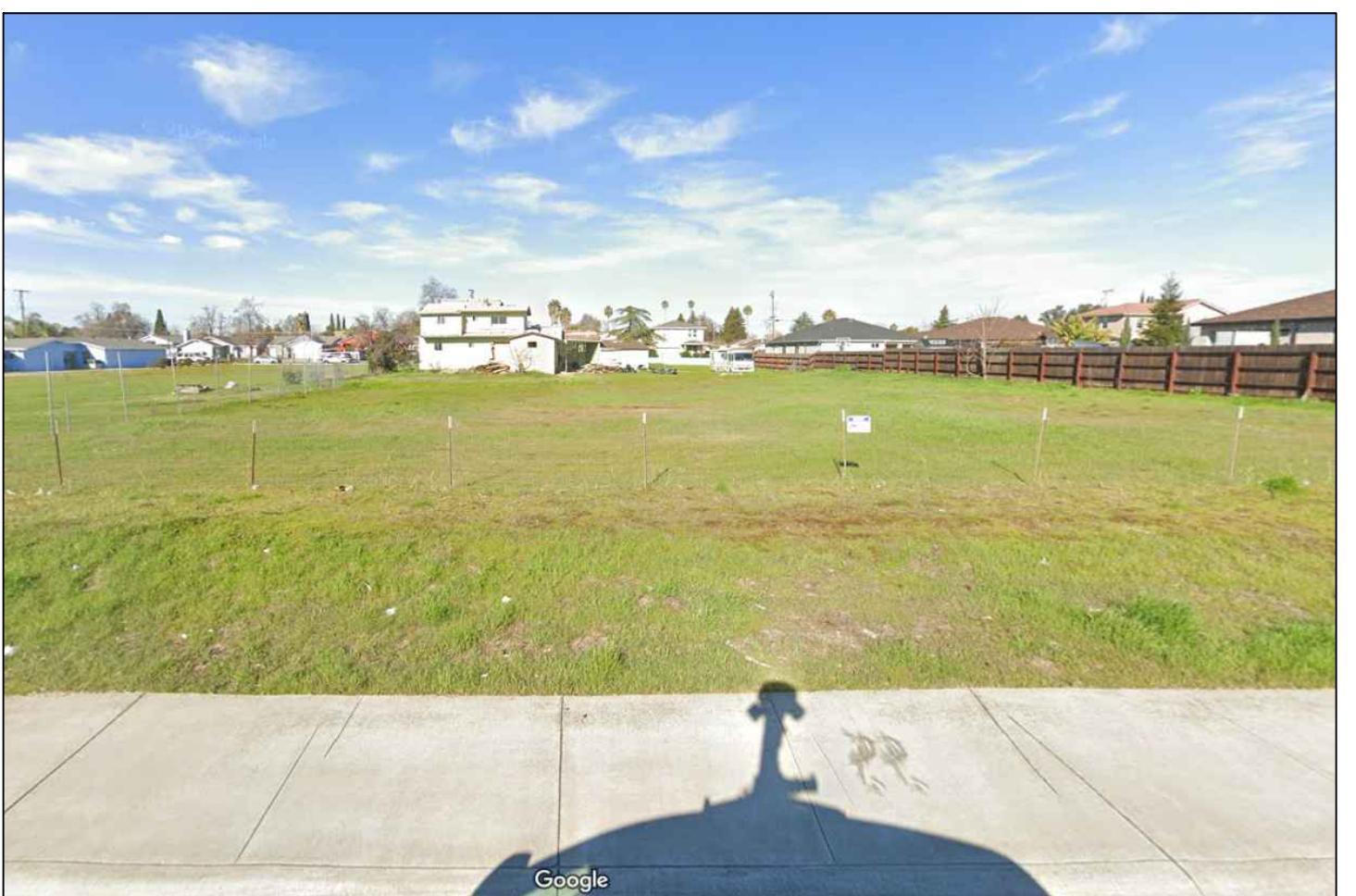
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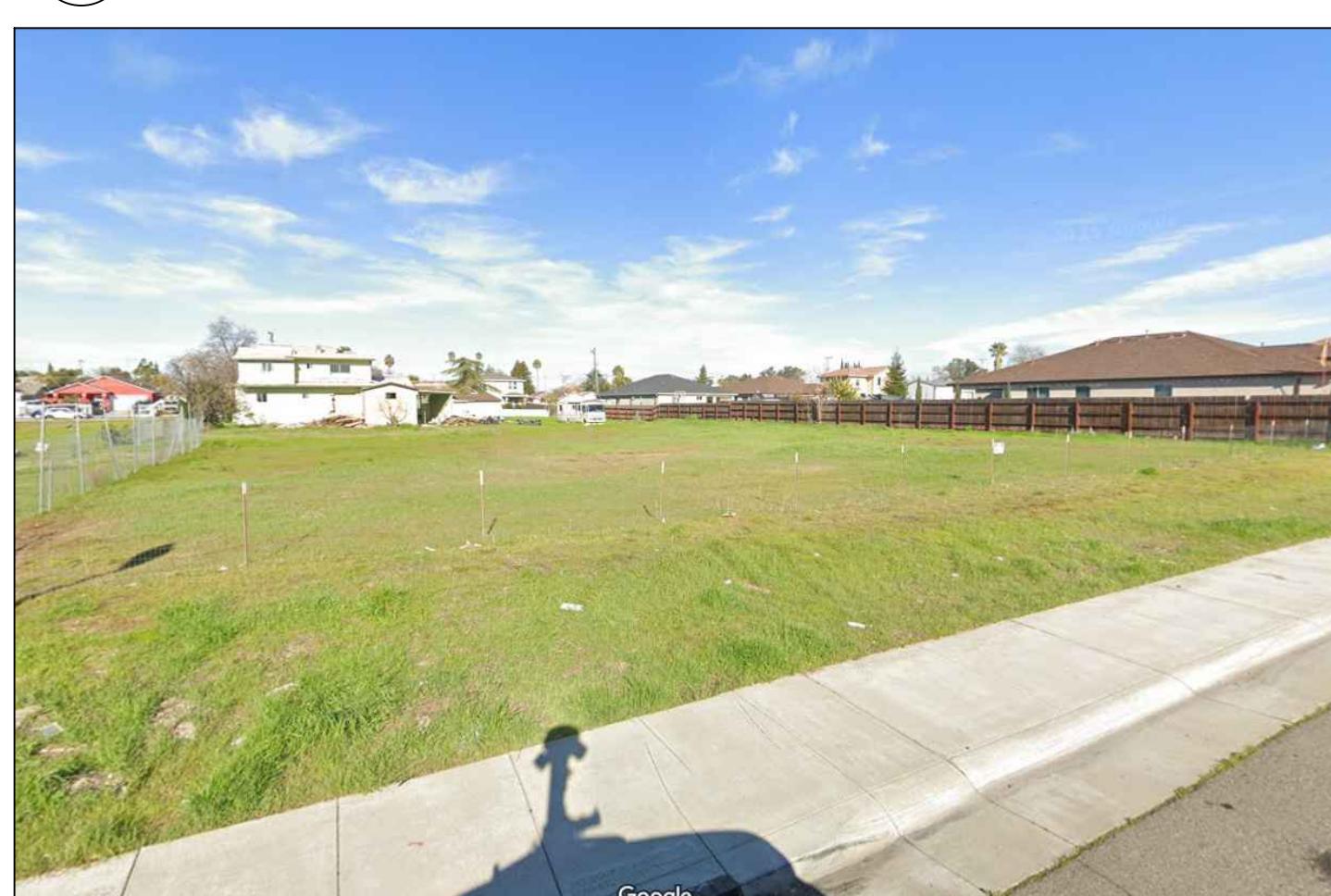
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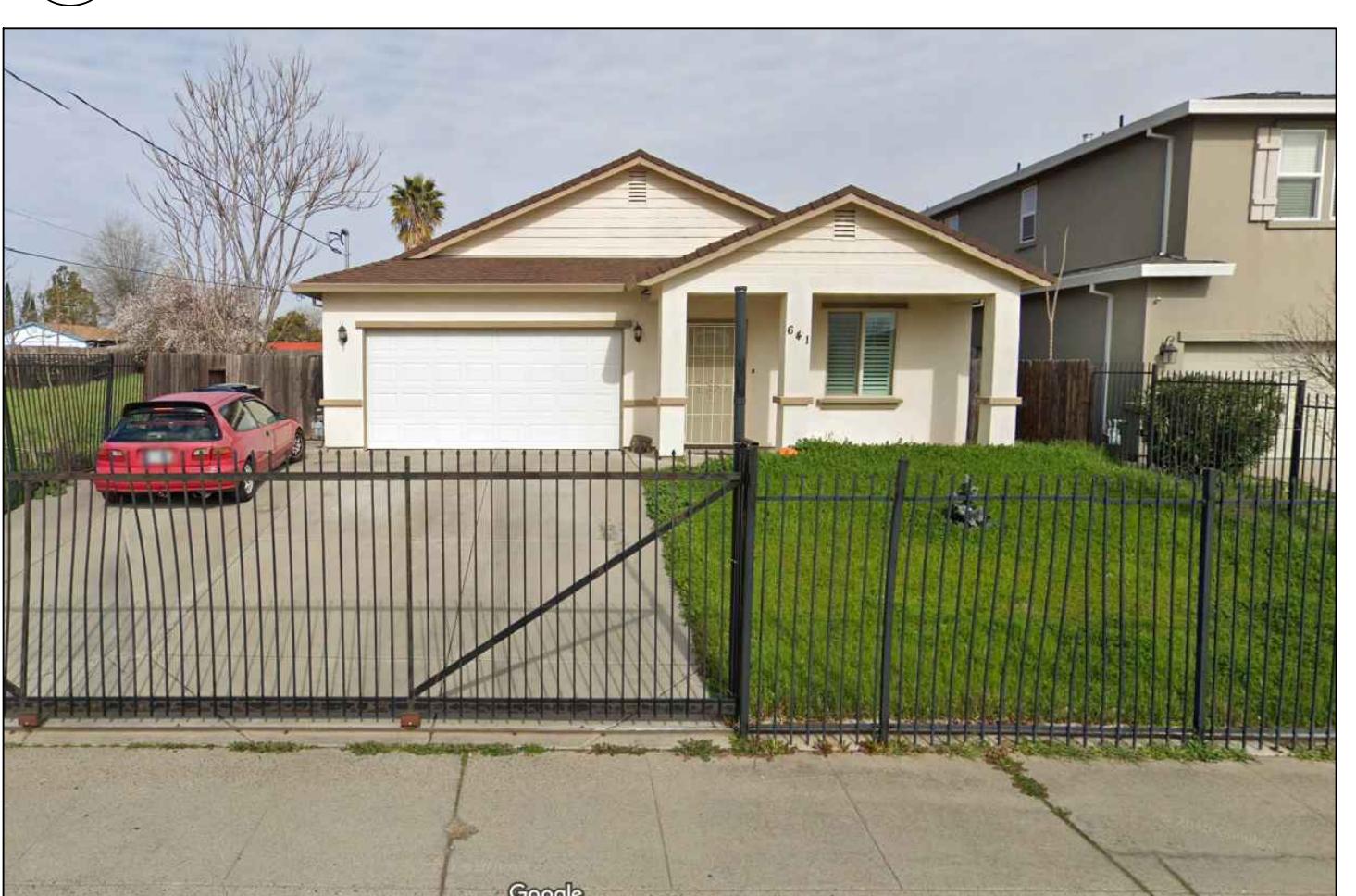
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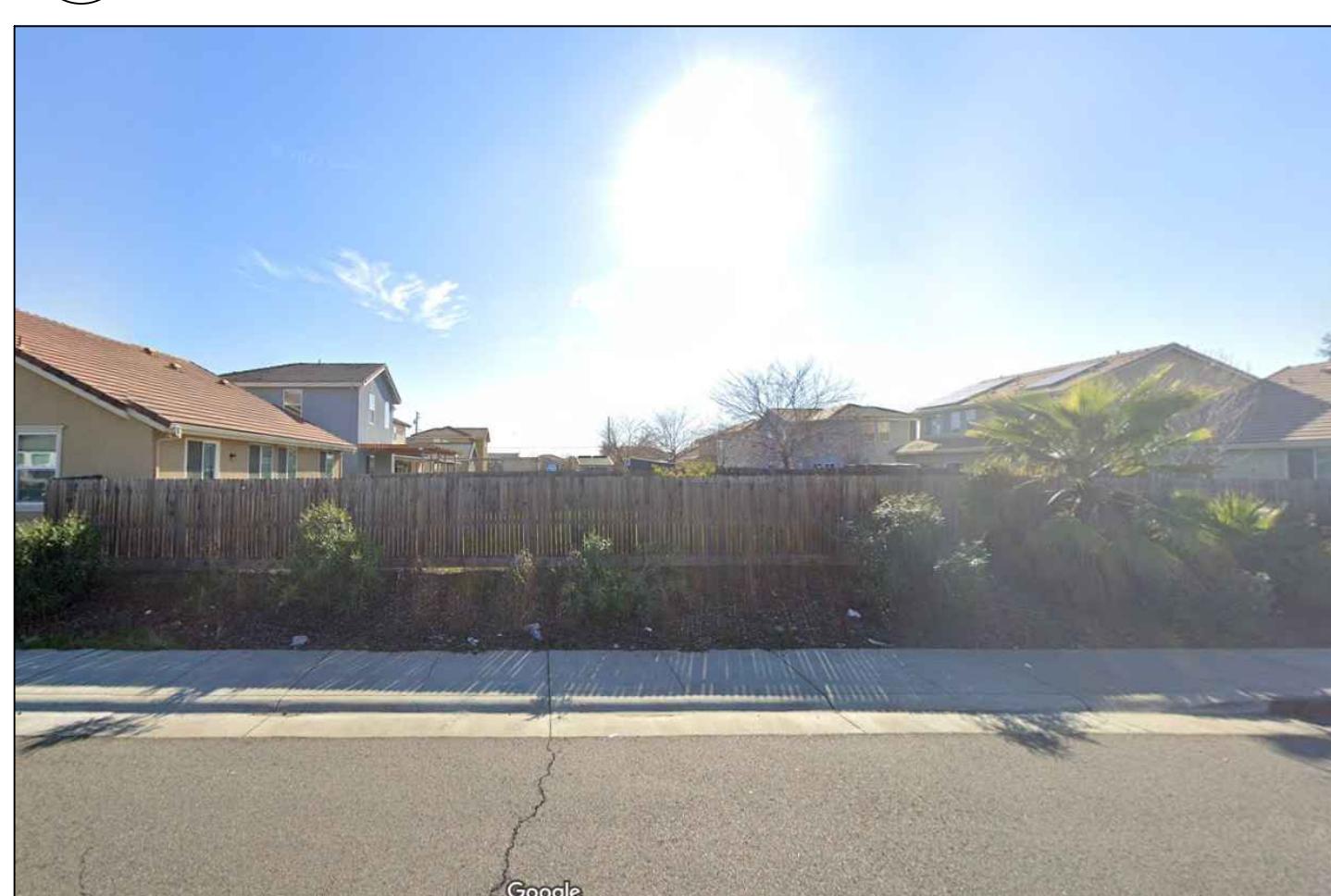
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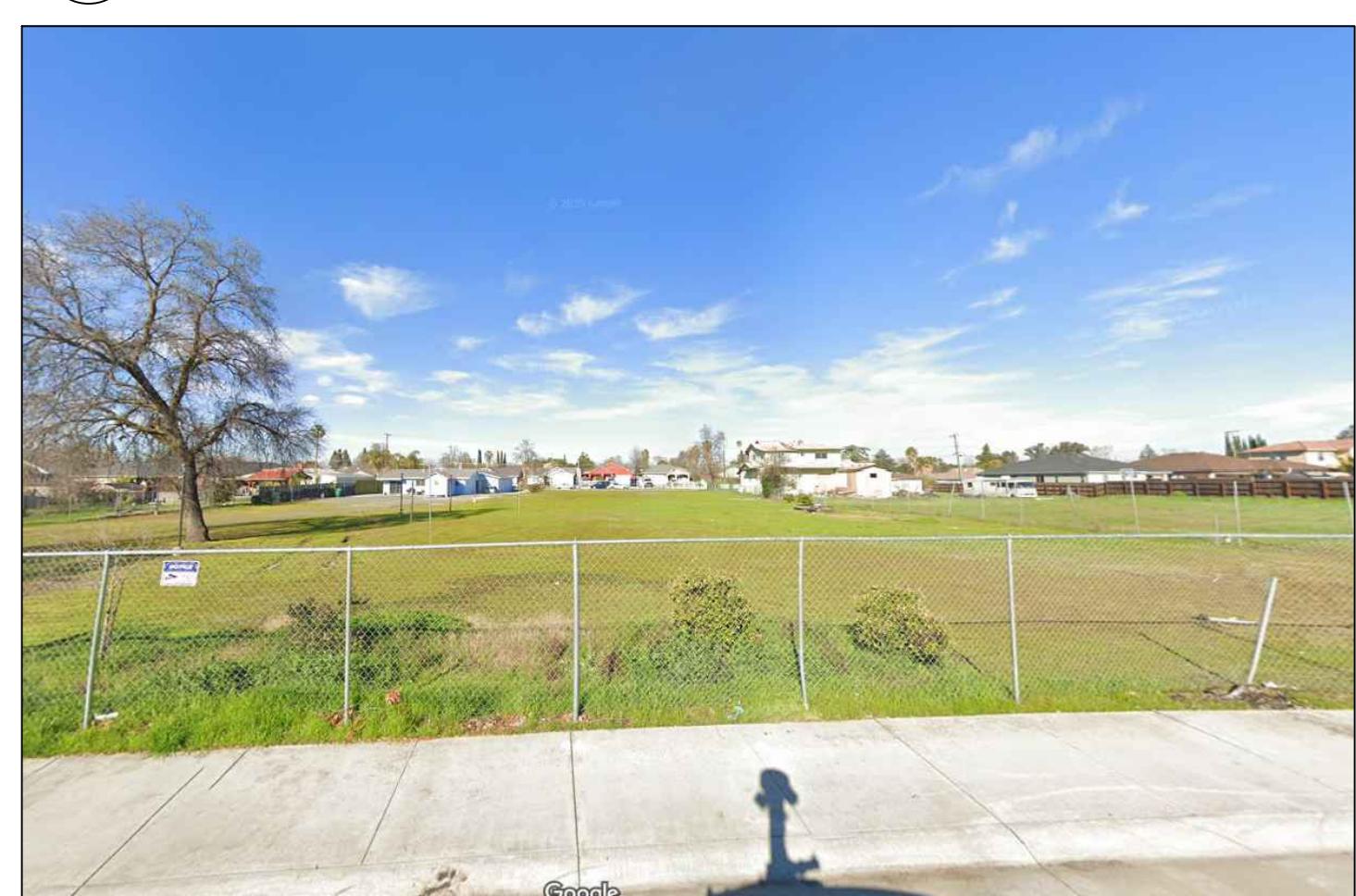
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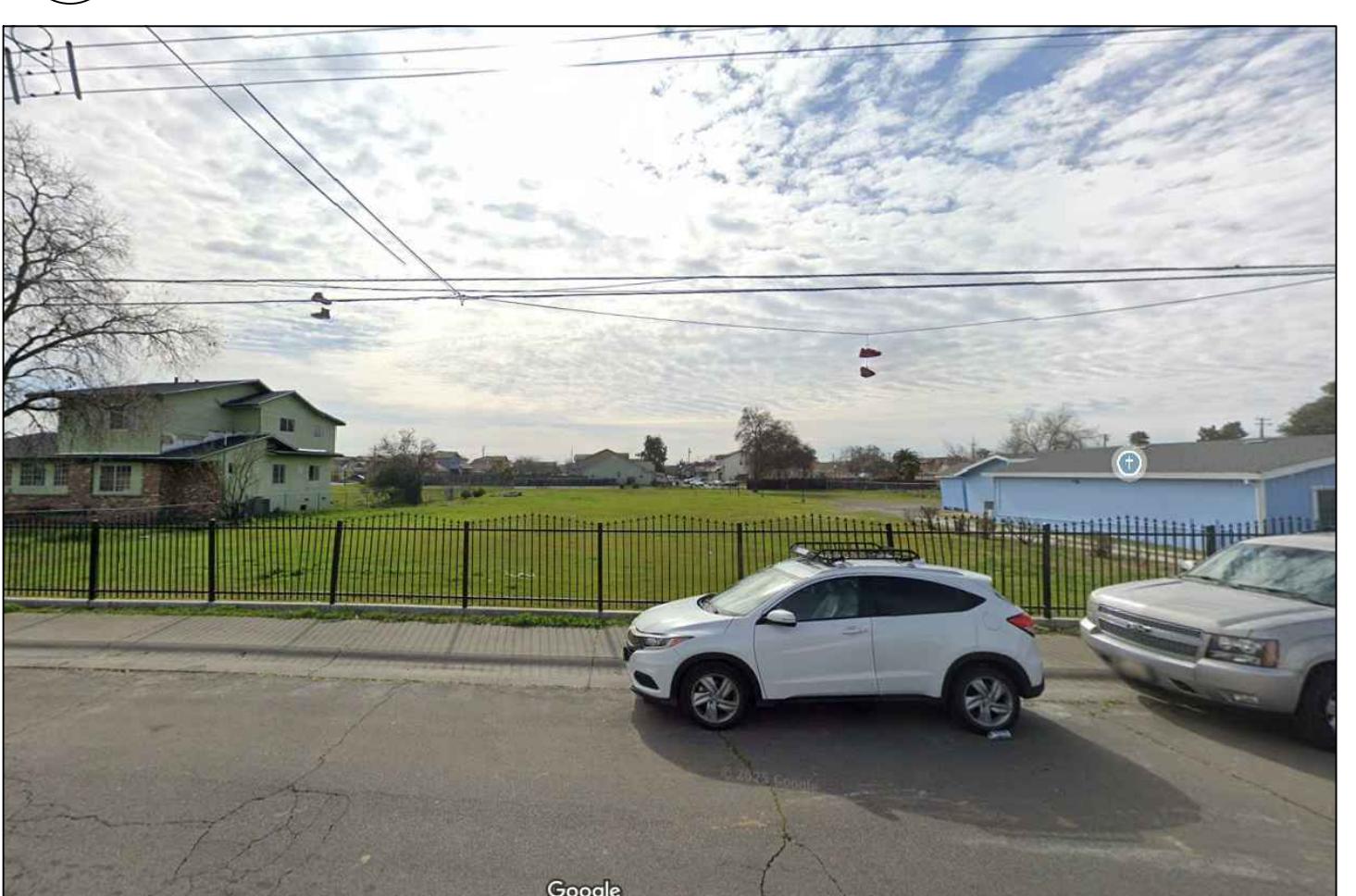
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