

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommend the Zoning Administrator and Design Director approve, with conditions, a Conditional Use Permit Major Modification and Site Plan and Design Review, for the project known as **Z25-040, Prime Gas Station Modification**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Conditional Use Permit Major Modification** to demolish a fire-damaged gas station convenience store and construct a new store on a 0.38-acre site within the General Commercial (C-2) zone.
2. **Site Plan and Design Review** to construct a new 1,800 square foot convenience store and trash enclosure and to reconfigure on-site vehicle parking. There are no proposed changes to the existing fuel station or canopy.

PROJECT INFORMATION

Location: 7282 Franklin Blvd.
Parcel Number: 050-0010-047-0000
Council District: 5
Applicant: Barry and Wynn Architects c/o Rod Sepulveda
379 Hartz Avenue
Danville, CA 94526
Property Owner: Ahmed S. Dobashi
7282 Franklin Blvd.
Sacramento, CA 95823
Project Planner: Danny Abbes, Associate Planner, (916) 808-5873
Hearing Date: May 28, 2026

Land Use Information

General Plan Designation: Residential Mixed Use
Community Plan Area: South Area
Design Review Area: Florin Road Corridor
Existing Land Use: Gas Station
Zoning: General Commercial (C-2) zone

Surrounding Zoning and Land Uses:

North:	C-2	Commercial
South:	C-2	Commercial
East:	C-2	Vacant
West:	County	Commercial

Site Characteristics:

Parcel Area:	±0.38-acres
Building Size (Existing):	994 square feet plus 560 square feet of storage
Building Size (Proposed):	994 square feet plus 623 square feet of storage
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Other Information

Previous Files: DR23-279 (This project approval was a rear addition of storage, office, and restroom space intended to improve and legalize the rear storage area, but it was not constructed before the fire.)

ATTACHMENTS: Site Plan, Floor Plan, Elevations

PROJECT INFORMATION

BACKGROUND

The project site is located at the northeast corner of Franklin Boulevard and Meadowgate Drive. According to Sacramento County Assessor Parcel Viewer details and historic aerial imagery, the property has been used as a gas station and convenience store since 1962. It has a deemed Conditional Use Permit. In July of 2024, the convenience store endured a fire. The applicant proposes to demolish the fire-damaged store and construct a new store within approximately the same building footprint. Additionally, the proposal includes a new trash enclosure and reconfiguration of on-site vehicle parking.

PROPOSED PROJECT AND ANALYSIS

The proposed project requires the following entitlements:

Conditional Use Permit (CUP) Major Modification

Approval of a major modification is required with any material changes in the orientation or location of structures on the parcel, and with any major change in the pattern or volume of traffic flow either on or off any property covered by the (gas station use) permit. The request is classified as a major modification since it involves a new and slightly larger building, a new trash enclosure, and removal of one of the two driveways on Franklin Boulevard. The modification request requires a public hearing and approval by the Zoning Administrator and Design Director.

There are no proposed changes to the existing fuel station or canopy.

The modification request also does not involve any new or modified tobacco or alcohol retail sales use permits. Planning staff have communicated with the applicant that new use permit applications and approvals may be required by the time the store could re-open due to a lapse of tobacco and/or alcohol product sale activity pursuant to City of Sacramento Code Section 17.808.410 (Discretionary permits-Expiration for discontinuance of use). Staff have not conducted any review of these separate permit types.

Site Plan and Design Review

Site Plan and Design Review is required to evaluate the project against applicable development standards of the C-2 zone and Sacramento City Code Title 17, as well as applicable design guidelines.

The proposed project complies with applicable development standards including setbacks, height, floor-area ratio, and vehicle and bicycle parking:

- Since the C-2-zoned subject parcel is not next to an R- or OB-zoned parcel, there is no front, side, or rear setback requirement.
- The allowed height is 55 feet; the proposed building is 15 feet tall.
- Floor-area ratio does not apply to uses which conduct a substantial portion of their business outdoors per General Plan Land Use Policy 3.8.
- No vehicle parking is required. Four spaces are provided.

There are no proposed deviations to development standards.

Staff find the convenience store compatible with applicable Florin Road Corridor Design Guidelines. The store design is oriented to the primary street with its main entry and a high percentage of windowed wall surface facing Franklin Blvd. Further, the entry feature is distinguished with a brick column, taller parapet, and canopy. Brick material and color also provide a visual base, while entry and corner canopies provide additional articulation for the small building.

The project was reviewed and conditioned by city departments, including Public Works and Solid Waste, to ensure functional access, on-site maneuvering, and serviceability. Public Works required the elimination of the Franklin Boulevard driveway nearest the corner, which will be replaced with new sidewalk.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders. All property owners and occupants within 500 feet of the project site were mailed a public hearing notice. A hearing notice was also posted at the project site at least 10 days prior to the hearing. At the time of writing this report, staff did not receive any comments related to the proposed project.

Environmental Determination: The project is determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section Number 150301, Existing Facilities, Class 2, Section Number 15302, Replacement or Reconstruction, and Class 3, Section Number 15303, New Construction or Conversion of Small Structures.

Findings of Fact – Conditional Use Permit

- 1) The proposed use and its operating characteristics are consistent with the general plan and any applicable specific plan or transit village plan in that neighborhood-serving commercial uses are allowed within the Residential Mixed Use General Plan land use designation. There is no applicable specific or transit village plan.
- 2) The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning district in which it is located, and of all other provisions of this title and this code in that the proposed project plans comply with applicable setback, height, floor-area ratio, and parking development standards of the C-2 zone.
- 3) The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public services and utilities in that the site is currently served by existing public and private utilities and infrastructure in which it will be able to continue its operation. City departments reviewed and conditioned the project to ensure proper function and access.
- 4) The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that city departments reviewed and conditioned the project to ensure site access and on-site maneuverability.

Findings of Fact – Site Plan and Design Review

- 1) The design, layout, and physical characteristics of the proposed development are consistent with the General Plan land use designation of Residential Mixed Use which permits retail development. There is no applicable specific plan or transit village plan.
- 2) The design, layout, and physical characteristics of the project are consistent with applicable development standards, including height, setbacks, and vehicle parking, and with the applicable Florin Road Design Guidelines in that the store is oriented to the primary street with its main entry and a high percentage of windowed wall surface facing Franklin Blvd. Further, the entry feature is distinguished with a colored brick column and taller parapet, and awnings provide articulation for the small building.
- 3) All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards in that the use will continue to have access to utility infrastructure and vehicle access from Franklin Boulevard and Meadowgate Drive. Vehicle parking stalls meet dimension and maneuverability standards.

- 4) The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood, in that the store has windows facing adjacent streets, and the building is visually articulated with materials and canopies.
- 5) The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged in that the project rebuilds a store on an urban site connected to existing road and utility networks.
- 6) The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the site layout and building comply with development standards designed for health, safety, and convenience, and to deter nuisance.

Draft Conditions of Approval – Conditional Use Permit Major Modification

Planning

1. Any modifications to the attached approved plans or operations may be subject to additional planning review.
2. Any litter on the site shall be removed daily.

Public Works

3. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
4. All new and existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
5. The applicant shall remove all unused existing driveways adjacent to the subject property and reconstruct the curb, gutter, and sidewalk to the satisfaction of the Department of Public Works.

6. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards.
7. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
8. Garbage pick-up and truck delivery services shall be prohibited within the hours of 7am to 9am and 4pm to 6pm.
9. The applicant shall provide sufficient signing, striping, and/or pavement markings to prohibit onsite parking near the trash enclosure to ensure adequate space for trash pickup to the satisfaction of the Department of Public Works.
10. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

Draft Conditions of Approval – Site Plan and Design Review

Planning

11. Provide the following building materials as indicated per approved plans:
 - a. Painted stucco
 - b. Brick veneer
 - c. Metal canopies
 - d. Anodized aluminum storefront door and window system
12. Trash enclosure shall meet development standards in Sacramento City Code section 17.616.040.
13. New security fence shall be wrought iron. No new chain link fencing is allowed.
14. Prior to building permit issuance, a landscape plan shall be submitted for Planning review and approval. Proposed plants shall not cause visual obstruction at full maturity, per city code Section 12.28.010.
15. Prior to building permit issuance, a photometric plan shall be submitted for review and approval that demonstrates compliance with lighting requirements of Sacramento City Code Section 17.608.040.L, including minimum maintained illumination of 1½ foot-candles per square foot of parking area during business hours, and that exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

16. Provide a minimum of 1 short-term and 2 long-term bicycle parking spaces. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
17. The applicant shall obtain all necessary building permits and encroachment permits prior construction commencement.
18. Any signage shall comply with the City's Sign Code requirements and is subject to a separate review and approval process.

Police

Lighting

19. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
20. Light poles, if applicable, shall be no higher than 20'.
21. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
22. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5-foot candles per square foot of parking area at a 6:1 average to minimum ratio.
23. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
24. Exterior lighting distribution and fixtures shall be approved by the Sacramento Police Department CPTED Sergeant (or designee) prior to issuance of a building permit.
25. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
26. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping

27. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
28. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security

29. Business shall be equipped with and maintain a security system with:
 - An alarm system with a valid UL Certificate in accordance with ANSI/UL Standard 681-2014 (Standard for Installation and Classification of Burglar and Holdup Alarm), Extent Number 4
 - a Video Assessment and Surveillance System (VASS)
30. Holdup alarm system shall be employed near the:
 - all points of sale
 - safe(s)
31. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
32. Manager with access to VASS storage shall be able to respond to any activation within two hours.
33. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
34. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
35. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
36. VASS shall be placed in drive-thru areas so as to capture driver faces and vehicle license plates.
37. VASS shall be capable of storing no less than 30 days' worth of activity.
38. VASS shall provide comprehensive coverage of:
 - all points of sale
 - safe(s)

- manager's office
- areas of ingress and egress (doors, driveways)
- alcohol placement areas
- parking lot
- gas pumps
- adjacent public rights of way
- trash enclosure(s)
- areas not clearly visible from public streets
- coverage of all four (4) exterior sides of the building(s)
- at least one camera shall be positioned to get a front face shot at the main entrance

39. Height markers are required on the interior doorway.

40. Electronic "point of sale" age verification system is required, including:

- scans and authenticates ID
- identifies fake IDs
- records dates and times of entry
- has the ability to create a "banned patron" list

41. No more than 10 percent of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.

42. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.

43. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.

44. Sales registers should be designed so as to allow employees visual surveillance of the main store entrance.

45. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.

46. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).

47. Property management shall be responsible for the daily removal of all litter from the site.

48. Applicant shall install a law enforcement “Knox Box” for police access to the premises after hours.
49. Bollards rated at K4 or higher should be installed along the north side of the building to protect pedestrians and prevent vehicle intrusion.

During Construction

50. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
51. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
52. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Public Works

53. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
54. All new and existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
55. The applicant shall remove all unused existing driveways adjacent to the subject property and reconstruct the curb, gutter, and sidewalk to the satisfaction of the Department of Public Works.
56. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards.
57. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
58. Garbage pick-up and truck delivery services shall be prohibited within the hours of 7am to 9am and 4pm to 6pm.
59. The applicant shall provide sufficient signing, striping, and/or pavement markings to prohibit onsite parking near the trash enclosure to ensure adequate space for trash

pickup to the satisfaction of the Department of Public Works.

60. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

SMUD

61. SMUD has existing overhead 12kV facilities on south east of the PROJECT SITE that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
62. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal. Applicant is further made aware that the proposed location of any relocated facilities will be subject to SMUD's vegetation management practices including restrictions of 15 feet high at full maturity and placement of trees within SMUD easements. Applicant shall bear cost to remove vegetation or trees located within proposed new facilities area and SMUD retains the right to engage in customary vegetation management practices at proposed new location after facility relocation. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
63. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs, including but not limited to vegetation management, tree pruning or removal, weed abatement and application of weed abatement material, and a height restriction of fifteen feet tall at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
64. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
65. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.

66. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.

SacSewer

67. Prior to the APPROVAL OF IMPROVEMENT PLANS: Installation of a public cleanout is required at the right-of-way. These improvements must be shown on the plans.

68. Prior to the APPROVAL OF IMPROVEMENT PLANS: Lower Laterals must not directly connect to main lines more than 19 feet deep / directly to trunk lines (lines with flow greater than 1 MGD). Connection to the line on Franklin Boulevard will not be allowed except at the manhole.

69. Prior to the APPROVAL OF IMPROVEMENT PLANS: All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.

70. Prior to the APPROVAL OF IMPROVEMENT PLANS. If any proposed garbage enclosure will contain a drain to the sewer, the enclosure must have a roof.

Solid Waste

71. Project must meet the requirements outlined in City Code Chapter 13.24 and 17.616.

72. The proposed trash enclosure must have sufficient space to store bins for trash, recycling, and organics. Service level minimums for recycling and organics can be found in Chapter 13.24.600. Trash and organics must be collected at least weekly. Recycling must be collected at least monthly.

73. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the containers safely.

74. This project will be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's web site at <http://www.cityofsacramento.org/public-works/RSW/Collection-Services/Recycling/Construction-and-Demolition>. as a condition of building permit issuance. Please contact the Solid Waste C&D team if you have any questions:

Phone: (916) 808-0965

Email: C&D@cityofsacramento.org

Department of Utilities (DOU)

75. City records indicate the existing domestic water service may not have a backflow preventer. The applicant shall install a reduced pressure principal backflow device (per City standards) as part of their building permit or submit evidence of an existing device that meets City

requirements. The applicant may contact the Department of Utilities Development Services staff at DOUDevelopmentReview@cityofsacramento.org or 916-808-7890 for assistance in permitting requirements related to the installation of a backflow device. The applicant shall provide the building permit number that includes the installation of an approved backflow device to the DOU entitlement engineer prior to condition signoff.

76. There is currently a 72-inch drainage main adjacent to the western property line of this project. Per City Code 13.04.230, no permanent structure (including without limitation garages, patios, concrete slabs, tool shed and similar structures) shall be constructed on top of drainage pipelines or anywhere within the associated utility easements.
77. Prior to design the applicant shall field verify the exact location of the City drainage main and show these utilities with the distances dimensioned from the property line on the construction plans. The DOU Field Services will assist the applicant in field verifying the location of City Utilities. The applicant should call the following for assistance: Customer Service at (916) 808-5454.
78. The applicant shall dedicate a 15-foot easement centered over the existing drainage main to the satisfaction of the Department of Utilities. (Note: The proposed trash enclosure will be required to be located outside of the easement.)
79. If the project alters or modifies existing drainage patterns, the applicant will be required to prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,600 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to an estimated 0.18 cfs/acre. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
80. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
81. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has less than one-acre of new or modified impervious area, therefore, certified full capture trash control devices and source control measures will be required.
82. A maintenance agreement is required for all on-site full capture trash control systems. Contact DOU for a list of accepted proprietary devices if considered for full capture trash

control. Construction drawings must include all on-site full capture trash control features and devices selected for the site. Please refer to Appendix H in the latest edition of the “Stormwater Quality Design Manual for the Sacramento Region” for more details.

Advisory Notes

- ADV.1. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof. (DOU)
- ADV.2. This project is in Drainage Basin 128 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368. (Note: The Drainage Pumped Impact Fee is based on increase in impervious area.) (DOU)
- ADV.3. The applicant should be advised that the proposed development may be subject to 200-year flood elevation requirements. (DOU)
- ADV.4. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU. (Note: This condition applies to new structures and/or if there are modifications to the existing foundation.) (DOU)
- ADV.5. The proposed development is located within the Sacramento Area Sewer District (SacSewer). Satisfy all SacSewer requirements. (DOU)
- ADV.6. The onsite water and storm drain systems shall be private systems maintained by the owner or other approved entity. (DOU)
- ADV.7. The applicant is responsible for the protection and repair of the City drainage mains during construction of the proposed structure. Contact Underground Service Alert at 1-800-642-2444, 48 hours before work is to begin. (DOU)
- ADV.8. As per City Code, the applicant will be responsible to meet their obligations regarding:
 - a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$125. This project proposes a total of 1,617 square feet of Commercial Retail/Services development. The Park Development Impact Fee due for this project is based on the Housing Incentive Zone Rate of \$0.20 per square foot for retail and commercial services projects. The applicant would likely receive credit for the demolition of the existing structures. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. (Park Planning and Development Services)

- ADV.9. City of Sacramento permits must be obtained for private patrol, alarms, and camera systems. (Police)
- ADV.10. ONGOING: Public lower laterals must not be smaller than the upper laterals, sized according to the California Plumbing Code requirements. (SacSewer)
- ADV.11. ONGOING: The existing building is currently connected to the public sewer. Any required construction and/or modification to the public sewer system must be to the satisfaction of SacSewer prior to the approval of improvement plans. SacSewer Design Standards and Specifications apply to any onsite and offsite public sewer construction. (SacSewer)
- ADV.12. ONGOING: Construction of a grease trap or a sand oil separator may be required. The applicant must verify with the applicable jurisdiction's building department. (SacSewer)
- ADV.13. ONGOING: If the proposed trash enclosure will contain a drain to the sewer, it must be covered. (SacSewer)
- ADV.14. ONGOING: Lateral repair or replacement is required if the current lateral is damaged or deemed unmaintainable. (SacSewer)

Respectfully Submitted: *Daniel Abbes*

Danny Abbes
Associate Planner

Reviewed By: *MA*
Marcus Adams (May 22, 2026 13:23:57 PDT)

Marcus Adams
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.



Project Title:
PRIME GAS
CONVENIENCE STORE
DEMOLITION & RECONSTRUCTION

7282 FRANKLIN BLVD
SACRAMENTO, CA 95823

Sheet Title:
NEW
FLOOR PLAN

www.barrylynn.com

3799 BRUCE AVENUE
EMERYVILLE, CA 94608
(925) 837-1425 (F)
(925) 837-1425 (O)

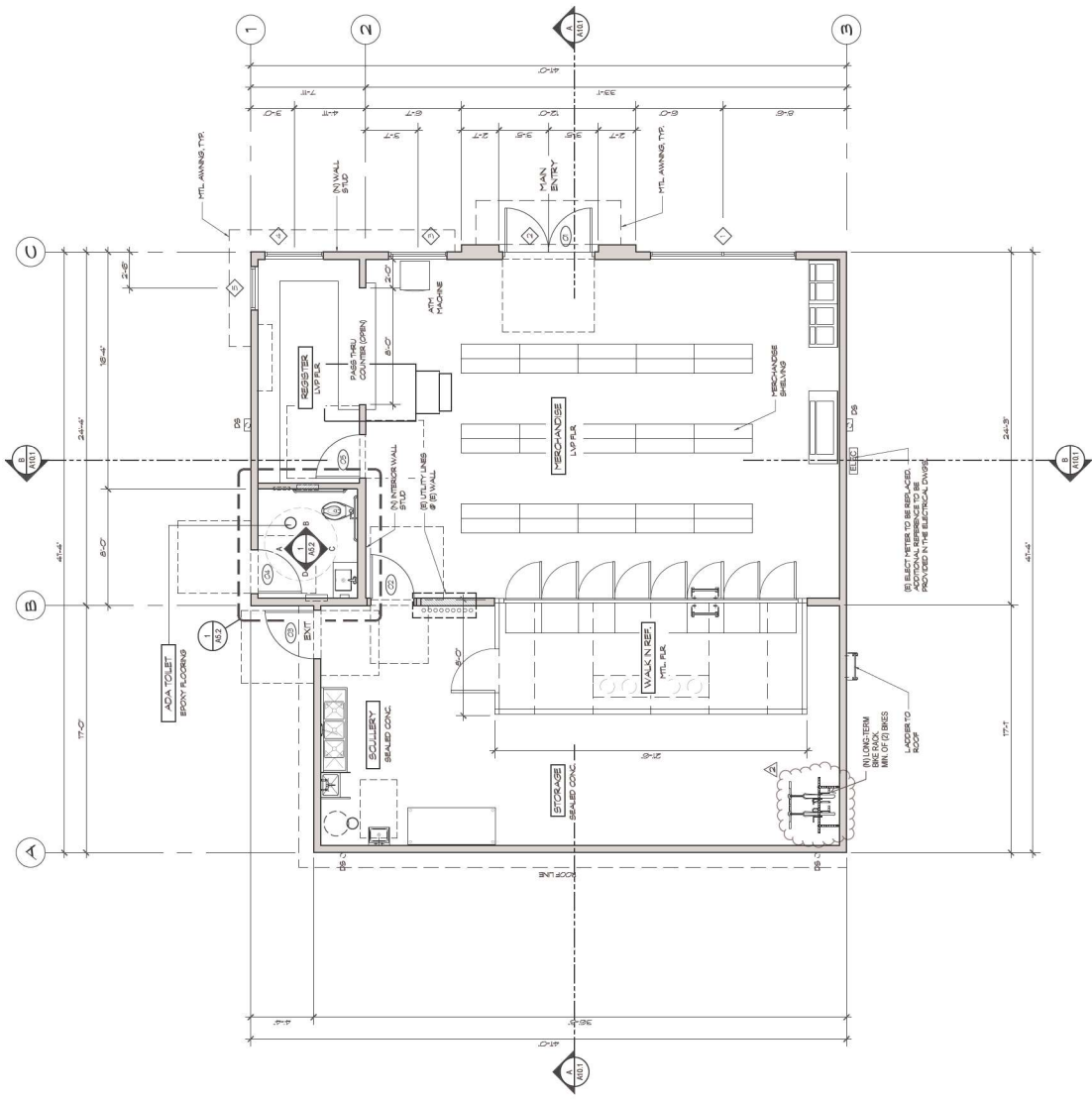


No.	By	Date
1	PLANNING COMMENTS P2	RS 12/25/25

Scale: SEE PLAN
Drawn By: JP / RS
Approved: RS / SW
Job No.: 22422.01
Date: 11.14.25
Sheet No.:

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SHEET 09 OF 36



FLOOR PLAN



Project Title:
PRIME GAS CONVENIENCE STORE
 DEMOLITION & RECONSTRUCTION
 7282 FRANKLIN BLVD
 SACRAMENTO, CA 95823
 Sheet Title:
EXTERIOR ELEVATIONS

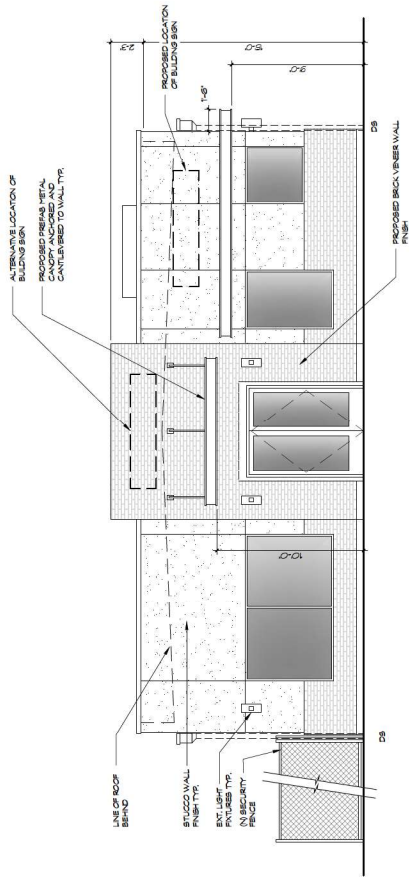


Revisions	No.	By	Date

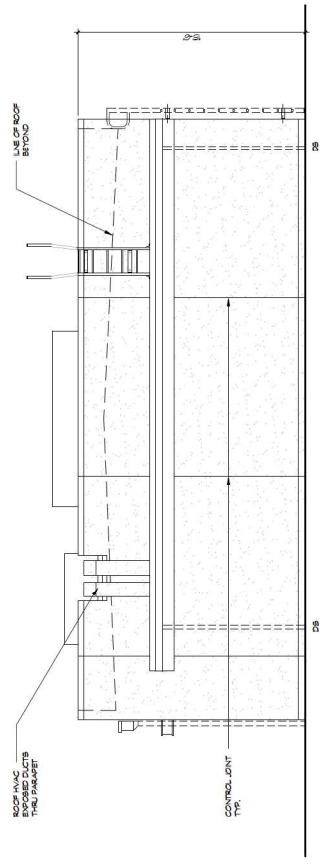
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 Drawn By: JF / RS
 Approved: RS / SW
 Job No.: 24422.01
 Date: 11.14.25
 Sheet No.:

A9.1

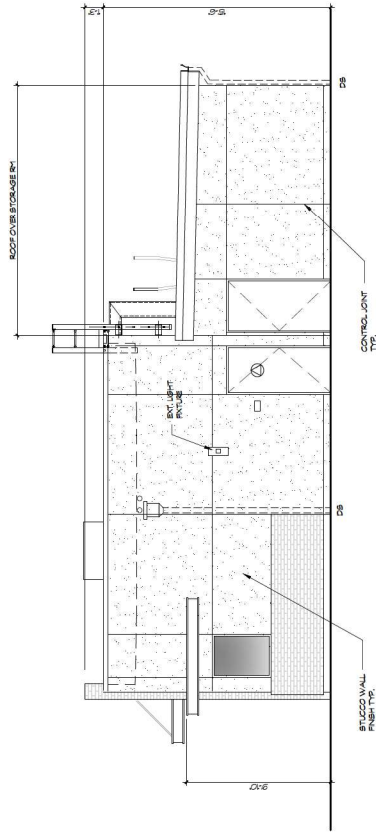
SHEET 16 OF 36



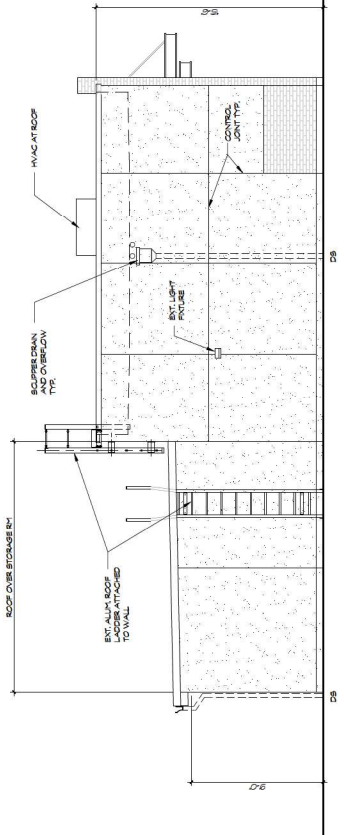
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

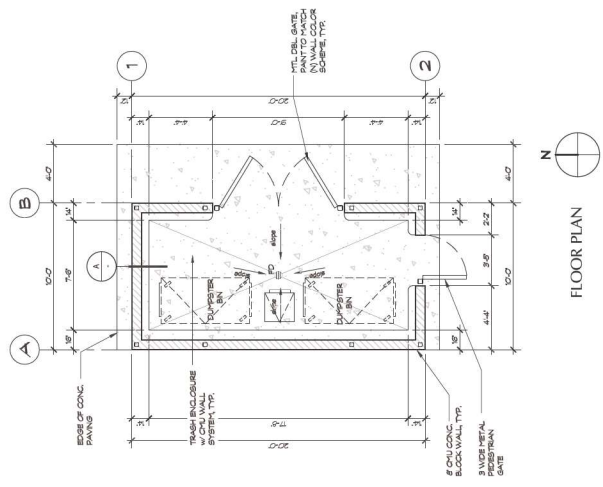


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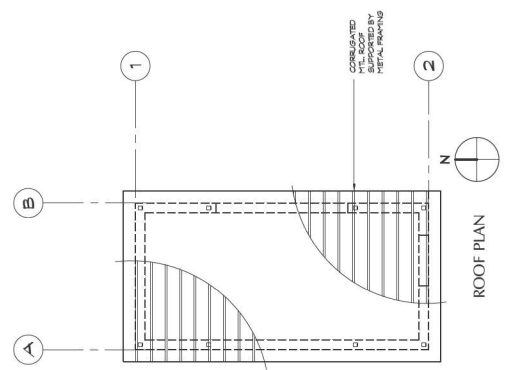


REVISIONS:	
No.	Date

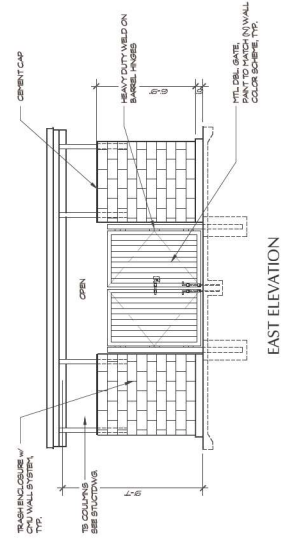
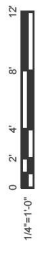
Scale:	SEE PLAN
Drawn By:	JP / RS
Approved:	RS / SW
Job No.:	22422.01
Date:	11.14.25
Sheet No.:	



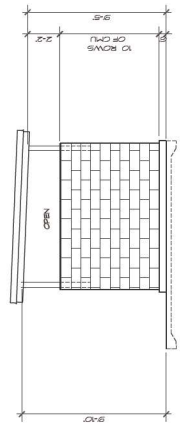
FLOOR PLAN



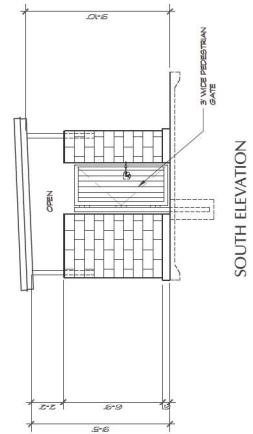
ROOF PLAN



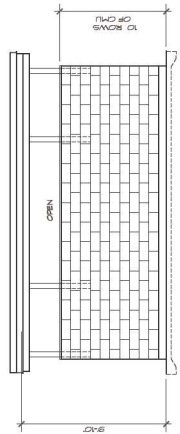
EAST ELEVATION



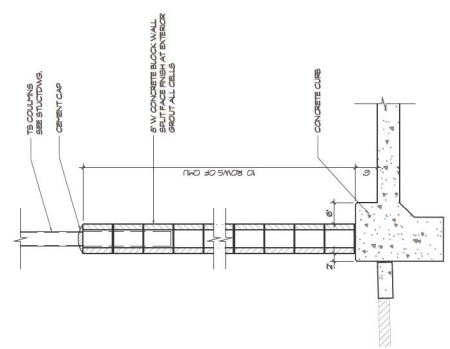
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



SECTION - A
SCALE 3/4\"/>



Project Title:
PRIME GAS
CONVENIENCE STORE
 DEMOLITION & RECONSTRUCTION
 7282 FRANKLIN BLVD
 SACRAMENTO, CA 95823
 Sheet Title:
ROOF PLAN

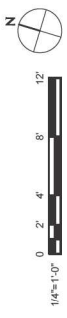
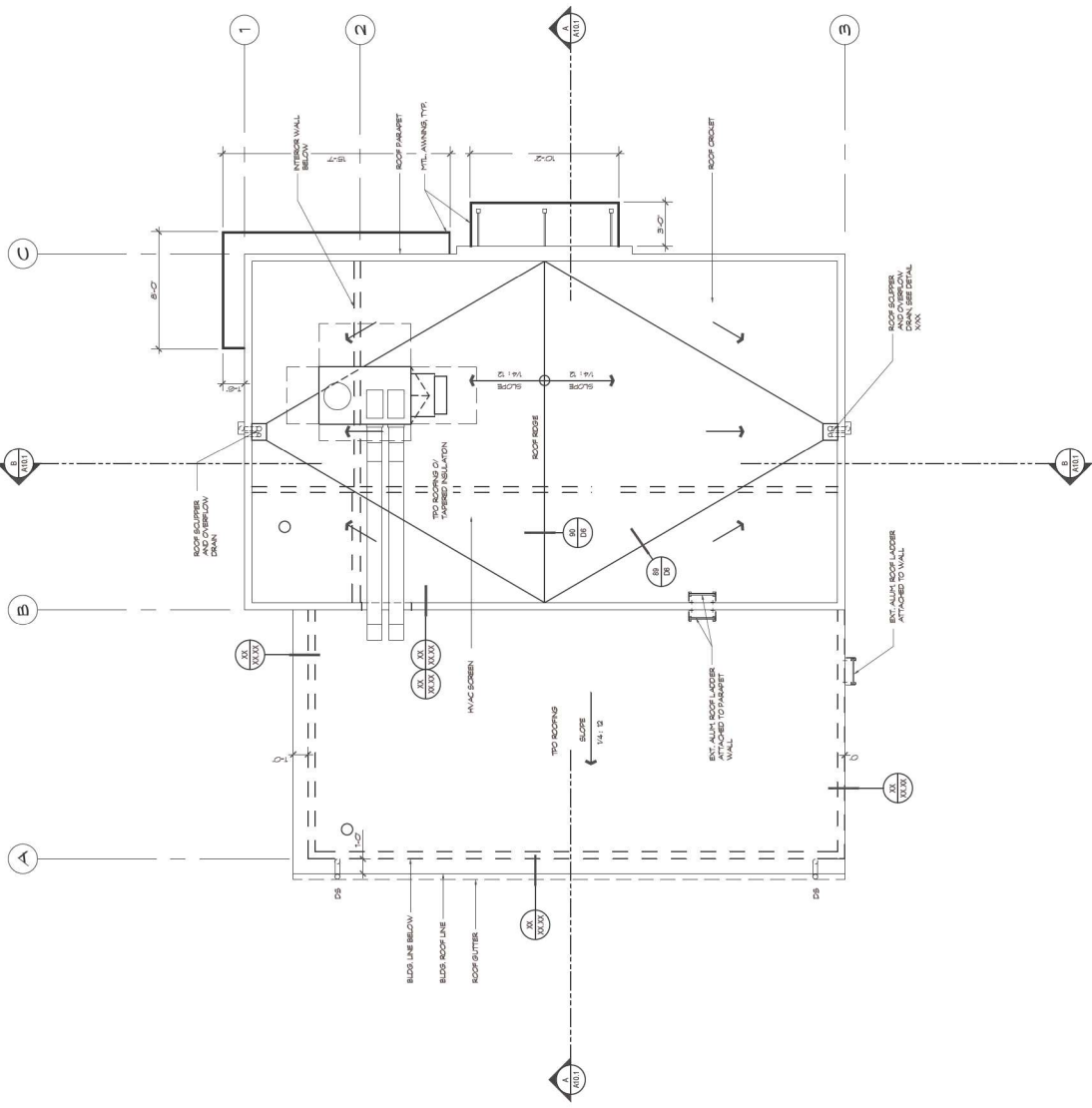


REVISIONS:	
No.	Date

Scale: SEE PLAN
 Drawn By: JP / RS
 Approved: RS / SW
 Job No.: 22422.01
 Date: 11.14.25
 Sheet No.:

A8.1
 SHEET 14 OF 36

SEE SHEET 7.0 FOR FLOOR PLAN GENERAL NOTES
 AND LEGEND. ALL DIMENSIONS AND CALCULATIONS
 INDICATED DIMENSIONS SHALL TAKE
 DIMENSIONS TO CENTERLINE UNLESS NOTED
 OTHERWISE.
DO NOT SCALE PLANS



ROOF PLAN



Revisions:	
No.	Date

Scale:	SEE PLAN
Drawn By:	JP / RS
Approved:	RS / SW
Job No.:	22422.01
Date:	05.08.25
Sheet No.:	

SUGGESTED PRIME GAS SIGN AND LOCATION
 POLYCARBONATE - ILLUMINATED SIGN
 ACTUAL DESIGN AND COLORS TO BE SUBMITTED SEPARATELY BY THE OWNER
 3-COAT STUCCO SYSTEM w/ CONTROL JOINTS, TYP.
 BY DUNN-EDWARDS OR EQUAL

THIN BRICK VENEER w/ DARK GREY MORTAR
 BRICK BY "BRICK IT", COLOR: ROCHE HARBOR, OR EQUAL
 DARK METAL COPING AT TOP OF BRICK WALL, TYP.

METAL AWNING, DARK BRONZE COLOR
 w/ STEEL SCREEN UNDERNEATH - PAINTED DARK BRONZE
 AWNING TO BE ANCHORED TO WALL, AND SUPPORTED BY
 DECORATIVE STEEL ADJUSTABLE LENGTH TIE RODS - DARK BRONZE, TYP.

MTL COPING - PAINTED, TYP.
 SUGGESTED COLOR: D6063 BLACK WALNUT - LVR 8
 BY DUNN-EDWARDS OR EQUAL

SHORTER METAL AWNING, DARK
 BRONZE COLOR
 w/ STEEL SCREEN UNDERNEATH
 AWNING TO BE ANCHORED TO
 WALL, TYP.

EXTERIOR WALL SCOURCE
 CYLINDER LIGHT
 TAMPER-RESISTANT
 BY BK LIGHTING
 OR EQUAL

EXISTING STEEL BOLLARD(S)
 TO BE PAINTED
 COLOR TO BE SELECTED BY OWNER, TYP.

AS PAVING WALKWAY TO BE RE-SEALED
 AND STRIPED, TYP.

DARK ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM
 COLOR: DARK BRONZE
 DOUBLE PANE INSULATED GLAZING, LOWE

DARK ANODIZED ALUMINUM STOREFRONT DOOR SYSTEM
 COLOR: DARK BRONZE
 DOUBLE PANE INSULATED GLAZING, LOWE
 DARK BRONZE HARDWARE AND PULL HANDLE

NOTE:
 SEE SHEETS A8.1 THRU A10.1 FOR ADDITIONAL EXTERIOR ELEVATIONS AND SECTIONS

