

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING**
300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommends the Design Director approve with conditions the Site Plan and Design Review for the accessory structure to a single-family residence for project known as file **DR26-078**. Draft Findings of Fact and Conditions of Approval for the project are included below.

Requested Entitlements:

1. **Environmental Determination:** Categorically Exempt per CEQA Guidelines Section 15303 – Construction of Small Facilities or Structures.
2. **Site Plan and Design Review** to construct a prefabricated metal barn with a deviation to allow the structure to exceed the maximum allowable height for detached accessory structures.

Location: 5421 Levee Road, Sacramento, CA 95835 (District 1)

Assessor's Parcel Number: 226-0020-003-0000

Applicant: Ron Montez
3 Feathers Construction
4155 Auburn Folsom Road, Loomis, CA 95650

Property Owner: Joe Prioriello
5421 E Levee Road, Sacramento, CA 95835

Project Planner: Kevin Valente, Contract Planner, (916) 372-6100

General Plan Designation: Rural Residential
Community Plan Area: North Natomas
Zoning: Agricultural (A)
Design Review Area: Citywide SPDR
Existing Land Use of Site: Rural Residence

Surrounding Zoning and Land Use:

North:	A	Rural Residences
South:	A	Rural Residences
East:	Flood (F) and Agriculture-Open Space (A-OS)	Steelhead Creek, Union Pacific Railroad, and Open Space
West:	A	Rural Residences

Site Information:

Existing Property Dimensions:	Approx. 450' wide x 360' deep; 4.24 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Setback Information:

All Parcels:	Required:	Proposed:
Front	60 ft	Approx. 300 ft
Interior (East)	0 ft	243 ft
Interior (West)	0 ft	207 ft
Rear	0 ft	15 ft

Development Standards:

Building:	Required:	Proposed:	Deviation:
Minimum Distance from Main Building	4 ft	102 ft	N/A
Maximum Height	12 ft	14 ft-10½ in	2 ft-10½ in
Maximum Wall Height	10 ft	12 ft	2 ft

Background/Analysis:

The project site consists of an existing single-family residence located at 5421 Levee Road. The applicant is proposing to construct a 1,980 square foot, detached, prefabricated, metal barn in the rear yard. The proposed prefabricated barn will be constructed with metal wall and roof panels. The proposed exterior materials do not match the existing primary residence on-site; however, are consistent with other existing accessory structures on-site and in the area.

The project is proposing to exceed the allowable height for detached accessory structures within the Agricultural Zone by two feet. Staff supports the deviation since: 1) the proposed structure would match the scale of the existing main residences and surrounding structures within the vicinity of the project site; and 2) the proposed structure would not be visible from the project site frontage (Levee Road); and 3) the proposed structure would not visually impede the adjacent neighbor and the surrounding community.

The project was routed to all applicable city agencies, county departments, and utility agencies on April 23, 2026. Comments received have been incorporated into conditions of approval or advisory notes below.

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, July 9, 2026. Valley View Acres Neighbors Working Together, Valley View Acres Community Association, North Natomas Community Association, North Natomas Community Coalition, Natomas Chamber of Commerce, Natomas Community Association, and Preservation Sacramento were also notified of the project. As of the drafting of this report, staff have not received any comments.

Environmental Considerations:

The project is determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section number 15303 (New Construction or Conversion of Small Structures), which includes construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Recommended Determination

As designed, the project meets all applicable development standards for the A zone and the architectural design standards for single-unit dwelling design guidelines. The planning staff supports the project and recommends approval of the residential accessory structure with a maximum building height deviation.

Draft Findings of Fact:

Planning/Design Review – Kevin Valente

1. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Rural Residential.
2. The design, layout, and physical characteristics of the proposed project are consistent with all applicable design guidelines and with all applicable development standards in that the proposal meets all applicable development standards for the Agricultural Zone and the design standards for single-unit dwellings. Furthermore, the project meets the citywide design principles in relation to single-family residences.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the adjacent residential accessory structures.
5. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.
6. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.

7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2025 Adequate Progress Annual Report accepted by the City Council on October 21, 2025 (Resolution No. 2025-0282).

DRAFT CONDITIONS OF APPROVALS:

Planning / Design Review

1. The accessory structure shall be constructed per the approved plans.
2. Provide the following building materials for the accessory structure as indicated per approved plans.
 - a. Metal walls and roof panels (at all elevations)
 - b. Metal carriage garage doors (at front and right elevations)
3. No vehicles shall be parked within the accessory structures due to no proposed driveway access.
4. Any new or relocated electrical service panels shall not be placed on any street facing elevation and must be screened from street view when located on the interior side yard of the structure.
4. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
6. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).
7. The applicant shall obtain all necessary building permits prior to commencing construction.
8. This approval shall expire in three years from the approval date.

Advisory Notes

1. DOU: All stormwater and surface runoff drainage impacts resulting from new impervious areas (such as but not limited to roof areas, driveway, paving, etc.) shall be subject to drainage mitigation as specified in the current Onsite Design Manual and/or the Design

and Procedures Manual. Drainage mitigation shall be accomplished by: (1) conforming to a City approved Drainage Study or Master Plan, (2) providing onsite drainage detention, or (3) payment of in-lieu fees (applies only in the CSS). Applicant is advised to contact the City of Sacramento Department of Utilities Development Review Section (916-808-7890) or DOUDevelopmentReview@cityofsacramento.org at the early planning stages to address any onsite drainage related requirements.

ATTACHMENTS:

Exhibit A: Project Plans

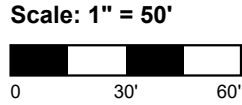
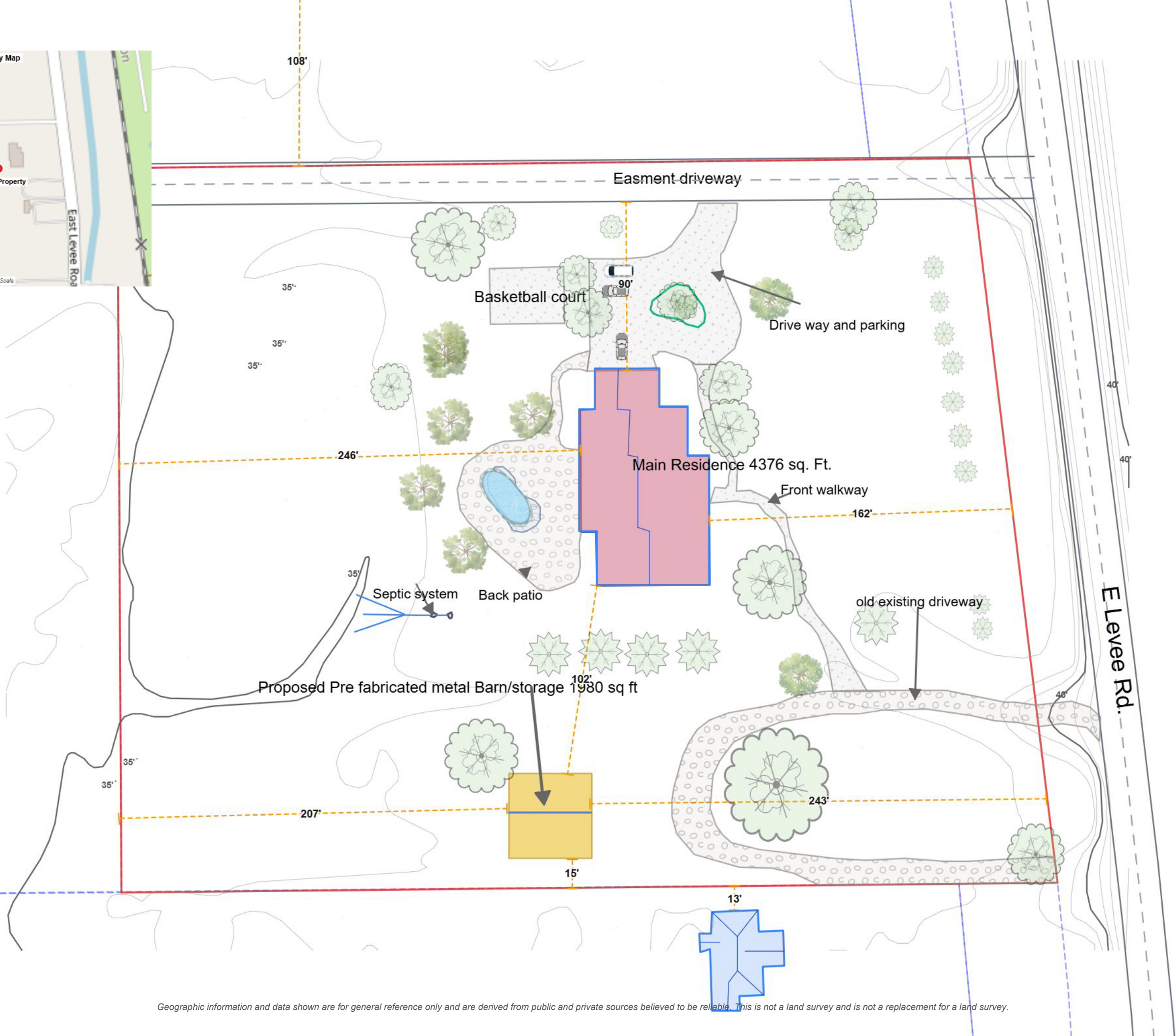
Exhibit B: Existing Photos

Kevin Valente

Kevin Valente, AICP
Contract Planner



Armando Lopez Jr., AIA
Interim Senior Architect



Geographic information and data shown are for general reference only and are derived from public and private sources believed to be reliable. This is not a land survey and is not a replacement for a land survey.

SITE PLAN

5421 E Levee Rd
Sacramento
CA 95835

Property Info
APN: 22600200030000
Zoning: A

Surface Coverage
Lot Area: 4.24 ac
Impervious: 16,883 sq ft (9.1%)
Permeable: 3.85 ac (90.9%)

JOE PRIORIELLO

5421 E LEVEE RD, SACRAMENTO, CA 95835

(AHJ : SACRAMENTO CITY, CA)

44' X 45' X 12' / 11' / 9'-RED BARN

SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

GENERAL STRUCTURAL DESIGN NOTES

1. THIS STRUCTURE IS DESIGNED FOR NON-HABITABLE USE. NO PERSONS ARE ALLOWED TO LIVE IN THIS BUILDING OR USE IT AS A LIVING SPACE. ONLY INCIDENTAL OCCUPANCY IS PERMITTED.
2. ALL WELDS ARE TO BE SHOP WELDS. FIELD WELDING IS NOT PERMITTED NOR REQUIRED. WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
3. LIGHT GAUGE TUBING SHALL BE EITHER (OR EQUAL): ASTM A513-1035 (FY = 50 KSI, FU = 66 KSI) OR ASTM A500 GRADE C (FY = 50 KSI, FU = 65 KSI). ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI) OR EQUAL. HOT ROLLED STEEL SHAPES (FY = 36 KSI, BASE ANGLES) EXPOSED TO THE ELEMENTS, SHALL HAVE ONE COAT OF RUST PROOF PRIMER FOLLOWED BY TWO COATS OF PAINT.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS PER ESR-2196 U.N.O. REF. TO DESIGN NOTES ON SHEET 2 FOR SHEATHING FASTENER TYPE.
5. ADEQUATE BRACING DURING ALL STAGES OF CONSTRUCTION IS REQUIRED. STRUCTURE AND FOUNDATION ARE DESIGNED FOR COMPLETED CONDITION ONLY. ADDITIONAL SUPPORT TO MAINTAIN STABILITY IS REQUIRED IN CASE OF ROOF ACCESS FOR MAINTENANCE.
6. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE:	CBC 2022
OCCUPANCY / USE GROUP:	U (PRIVATE GARAGE)
CONSTRUCTION TYPE:	V B (ANY MAT'L - IBC 602.5)
RISK CATEGORY:	II
BUILDING FOOTAGE:	1980 SQ.FT
1. DEAD LOAD (D)	
COLLATERAL LOAD	2.0 PSF
2. ROOF LIVE LOAD (Lr)	Lr = 20 PSF
3. SNOW LOAD (S)	
GROUND SNOW LOAD	Pg = 0 PSF
IMPORTANCE FACTOR	Is = 1.00
THERMAL FACTOR	Ct = 1.2
EXPOSURE FACTOR	Ce = 1.0
ROOF SLOPE FACTOR	Cs = 1.0
FLAT ROOF SNOW LOAD	Pf = 0 PSF
SLOPED ROOF SNOW LOAD	Ps = 0 PSF
DESIGN SNOW LOAD	S = 0 PSF
4. WIND LOAD (W)	
DESIGN WIND SPEED	V = 95 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
Ss / S1	0.537/0.246
SDs / SD1	0.49/0.346
DESIGN CATEGORY	D
SITE CLASS	D (DEFAULT)
IMPORTANCE FACTOR	Ie = 1.00

L.F.R.S IN X DIR (TRANSVERSE)

TYPICAL FRAME	O.M.F.
RESPONSE MOD. FACTOR	R = 3.50
F & B END FRAMES	O.C.B.F
RESPONSE MOD. FACTOR	R = 3.25
SEISMIC COEFFICIENT	CSx = 0.151
SEISMIC BASE SHEAR	VSx = 1113 LBF

L.F.R.S IN Z DIR (LONGITUDINAL)

L & R SIDEWALLS	O.C.B.F
RESPONSE MOD. FACTOR	R = 3.25
SEISMIC COEFFICIENT	CSz = 0.151
SEISMIC BASE SHEAR	VSz = 1054 LBF

STRUCTURAL DRAWING INDEX

- 1 COVER SHEET
- 2 ELEVATIONS
- 3A FOUNDATION PLAN & NOTES
- 3B FOUNDATION DETAILS & NOTES
- 4A COLUMN LAYOUT PLAN
- 4B COLUMN LAYOUT DETAILS
- 5A FRAME SECTION & DETAILS
- 5B FRAME SECTION DETAILS
- 6A SIDE WALL FRAMING & DETAILS
- 6B SIDE WALL DETAILS & DETAILS
- 6C SIDE WALL DETAILS
- 7A END WALL FRAMING & DETAILS
- 7B..... END WALL DETAILS

STATEMENT OF SPECIAL INSPECTIONS	REQ'D	PERIODIC	CONTINUOUS
		P	C
STEEL FABRICATION & GENERAL FRAMING			
1. SHOP WELDING OF CONN. SLEEVES	Y	X	-
2. STRUCTURAL STEEL MATERIALS	Y	X	-
ANCHORAGE			
1. POST-INSTALLED CONCRETE ANCHOR BOLTS (PER ICC-ESR REQUIREMENTS - REF SHEET 3B)	Y	X	-
THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.			

REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	SEP 11 2025

2.25.247.0

THE INFORMATION CONTAINED IN THESE DRAWINGS IS THE SOLE PROPERTY OF PACIFIC METAL BUILDINGS, INC. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF PACIFIC METAL BUILDINGS, INC. IS PROHIBITED.

FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDINGS MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO MAKE ANY CHANGES TO PLANS.

SHEET NO: 1 OF 7

PROJECT NO: 232-25-2554

DRAWN BY: A.F

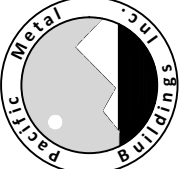
DATE: 9/11/2025

COVER SHEET

LOCATION: 5421 E LEVEE RD, SACRAMENTO, CA 95835

PROJECT TITLE: JOE PRIORIELLO

METAL BUILDING MANUFACTURER

270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO

5421 E LEVEE RD,

SACRAMENTO, CA 95835

Sacramento City, CA

JOE PRIORIELLO

5421 E LEVEE RD,

SACRAMENTO, CA 95835

Sacramento City, CA

JOE PRIORIELLO

5421 E LEVEE RD,

SACRAMENTO, CA 95835

Sacramento City, CA

REGISTERED PROFESSIONAL ENGINEER

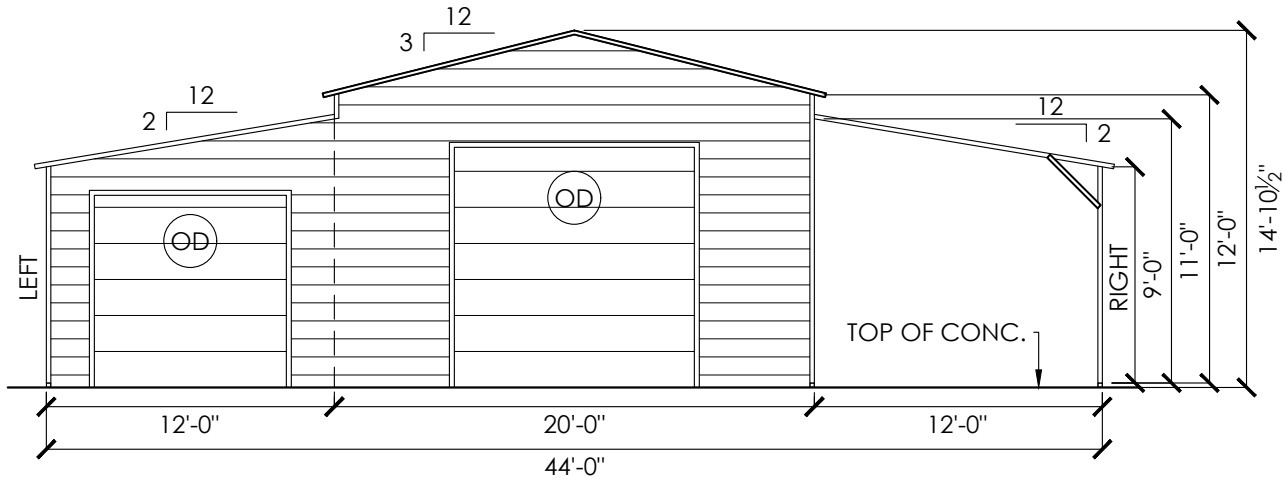
CIVIL

RAFAEL D. SALGADO

C95761

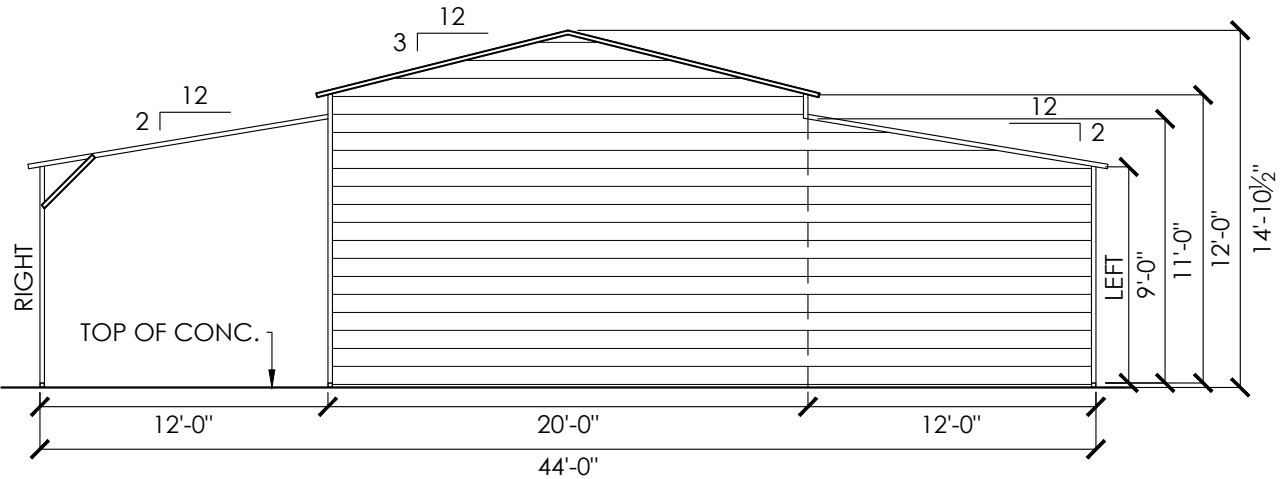
STATE OF CALIFORNIA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



FRONT END WALL ELEVATION

SCALE: 1/8" : 1'



BACK END WALL ELEVATION

SCALE: 1/8" : 1'

DESIGN NOTES

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL MAIN BLDG. EXT ROOF SHEATHING SHALL BE: CLASS A RATED **29GA. 3/4" RIB HT - GALV. - PER UES ER 0550 OR EQ.** (REF. SHT 5A FOR PROFILE AND FASTENER SCHD.)
4. ALL LEAN-TO EXT ROOF SHEATHING SHALL BE: CLASS A RATED **26GA. 1 1/4" PBR PANEL - PER UES ER 0550 OR EQ.** (REF. SHT 5A FOR PROFILE AND FASTENER SCHD.)
4. ALL EXT WALL SHEATHING SHALL BE: CLASS A RATED **29GA. 3/4" RIB HT - GALV. - PER UES ER 0550 OR EQ.** (REF. SHT 5A FOR PROFILE AND FASTENER SCHD.)
5. SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS W/ BONDED NEOPRENE WASHER PER ESR 2196.
6. PER IBC 1507.4.2 PROVIDE LAP SEALANTS PER MFG'S INSTRUCTIONS AT **LEAN-TO ROOF SHEATHING LAPS.**

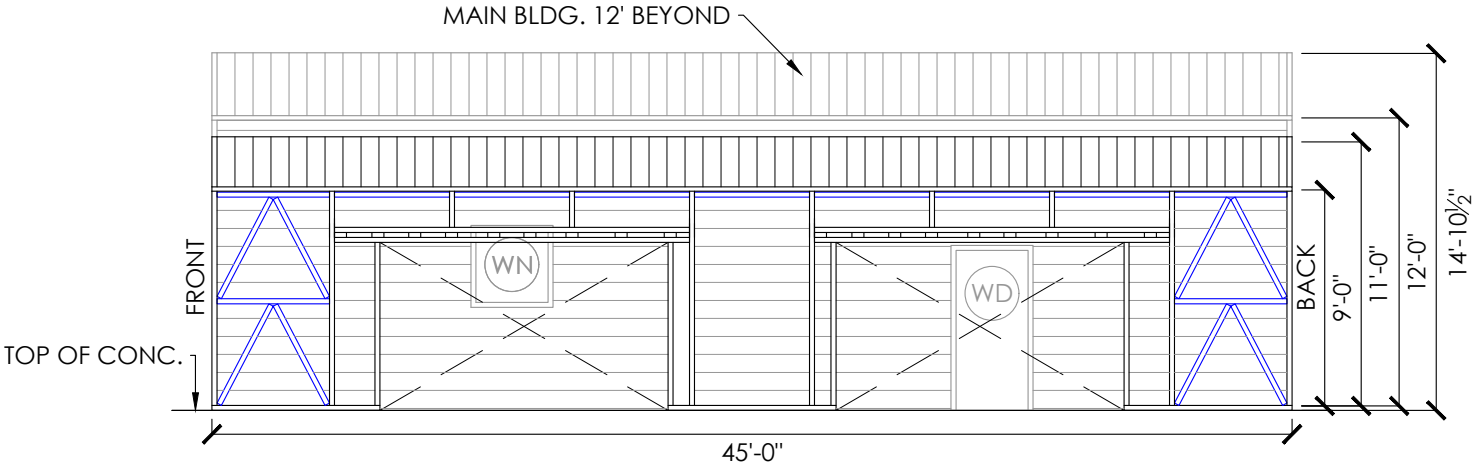
LEGEND

- (WN) WINDOWS (REF WINDOW MFG)
- (WD) WALK-IN DOORS (REF DOOR MFG)
- (OD) OVER HEAD / ROLL-UP DOOR (REF DOOR MFG)

NOTE 1: ANY DOOR OR WINDOW DESIGN & CONNECTION / ATTACHMENT INFORMATION, IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

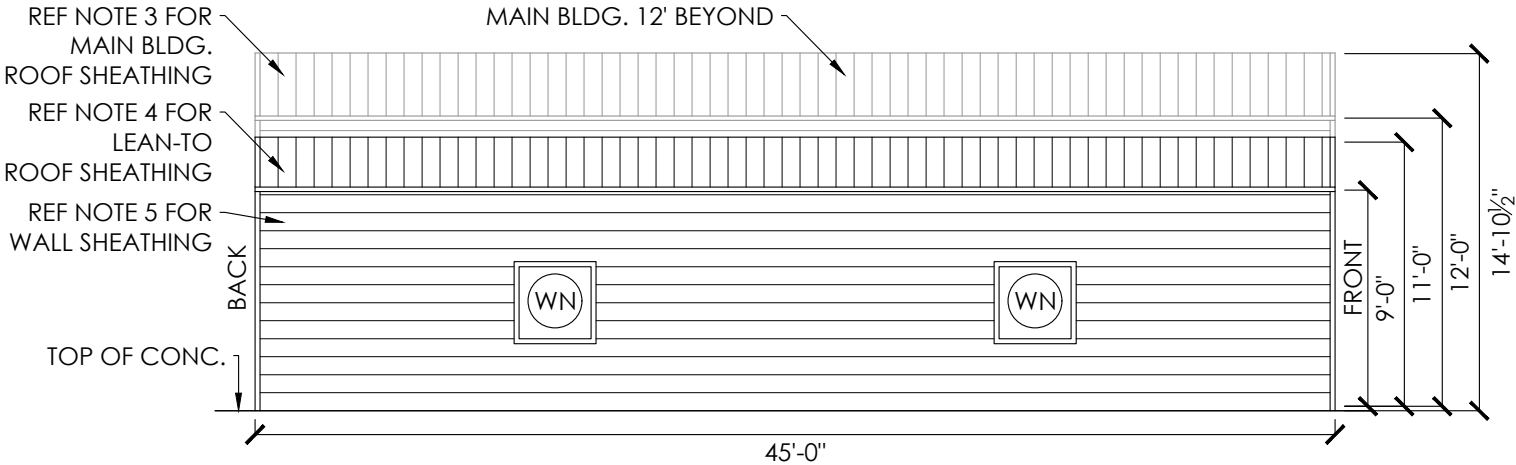
NOTE 2: LOCATION OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).

NOTE 3: HEIGHT OF WINDOWS CAN BE ADJUSTED OR DETERMINED ON SITE AS NEEDED.



RIGHT SIDE WALL ELEVATION

SCALE: 1/8" : 1'



LEFT SIDE WALL ELEVATION

SCALE: 1/8" : 1'

SHEET NO:
2 OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

DATE:
9/11/2025

ELEVATIONS

SHEET TITLE:

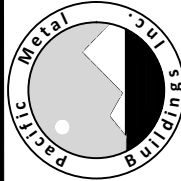
PROJECT TITLE:

LOCATION:

5421 E LEVEE RD, SACRAMENTO, CA 95835

JOE PRIORIELLO

METAL BUILDING MANUFACTURER



270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

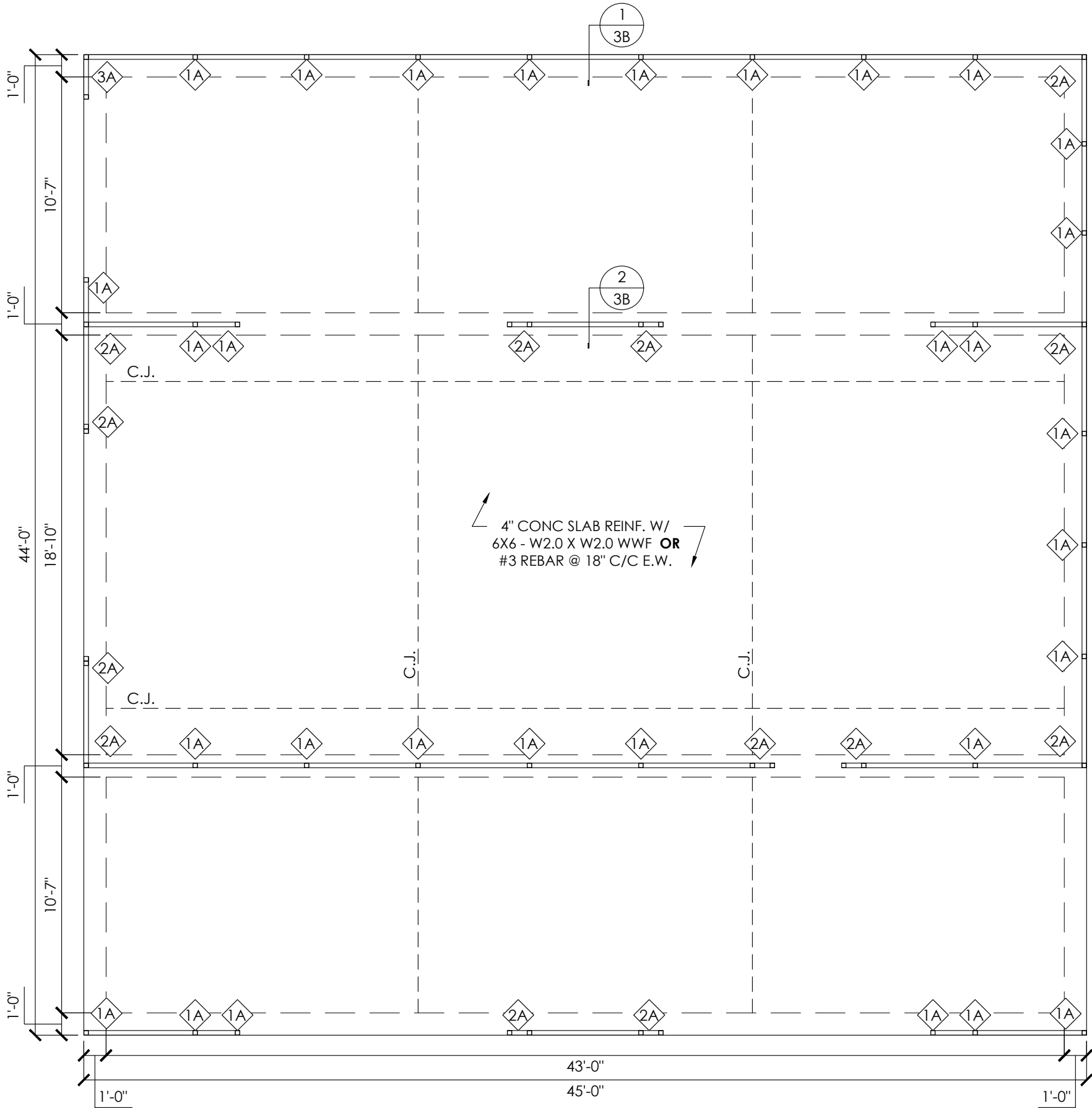
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- MIN. FOOTING DEPTH NEEDED TO RESIST BUILDING LOADS IS INDICATED ON FOUNDATION DETAILS. HOWEVER, A GREATER FOOTER DEPTH MAYBE REQUIRED TO MEET THE LOCAL FROST LINE DEPTH PER CODE.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS FOR MODERATE WEATHERING POTENTIAL. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

CONCRETE ANCHORAGE	
1A	(1) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)
2A	(2) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)
3A	(3) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)



FOUNDATION PLAN

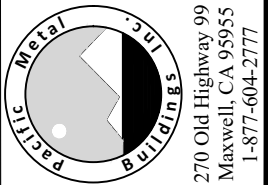
SCALE: 3/16" : 1'

FOUNDATION PLAN & NOTES

LOCATION: 5421 E LEVEE RD, SACRAMENTO, CA 95835

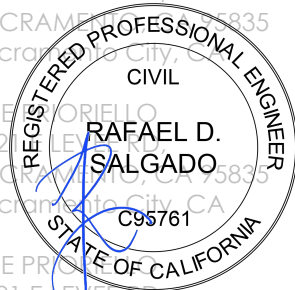
PROJECT TITLE: JOE PRIORIELLO

METAL BUILDING MANUFACTURER



WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA



EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

CONCRETE ANCHORAGE	
1A	(1) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)
2A	(2) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)
3A	(3) 1/2"Ø x 6" LG. SCREW-BOLT + ANCHOR (PER ESR 3889)

ANCHORAGE NOTES:

1. ANCHOR INSTALLATION REQUIREMENTS (REF ANCHORAGE DETAIL):
- E.D. - ANCHOR EDGE DISTANCE:

H. - ANCHOR HOLE DEPTH:

D. - CONCRETE EMBEDMENT DEPTH:

SPACING BETWEEN (2) ANCHORS:

MIN. 4.25" OR U.N.O.

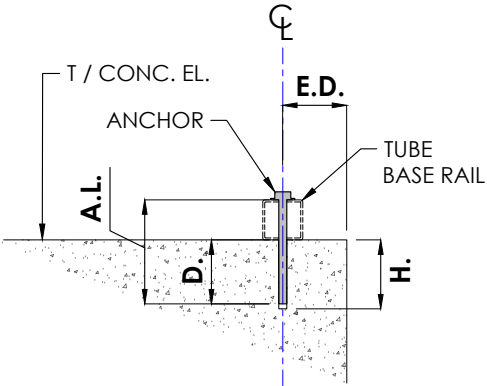
MIN. 6.25"

MIN. 5.75"

MIN. 2.75" OR U.N.O.
2. ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS OR U.N.O.
3. ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ. PER SPECIFIED ESR.

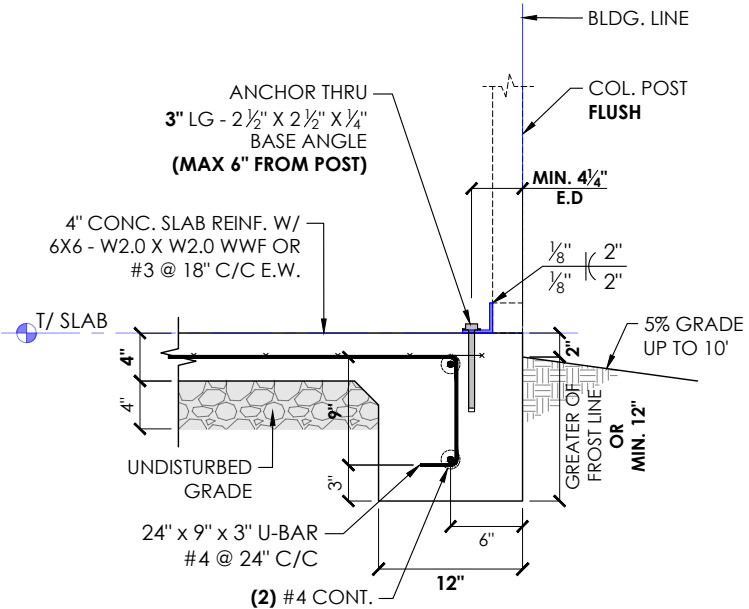
REINFORCEMENT NOTES:

1. REINFORCING STEEL: DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40, WITH A MINIMUM YIELD OF 40 KSI FOR ALL BARS UNLESS OTHERWISE INDICATED ON DRAWINGS.
2. WELDED WIRE FABRIC: ASTM A185 USING BRIGHT STEEL WIRE MEETING THE REQUIREMENTS OF ASTM A82. GAUGES AND DIMENSIONS AS NOTED ON THE DRAWINGS. PROVIDE IN FLAT SHEETS OR ROLLS.



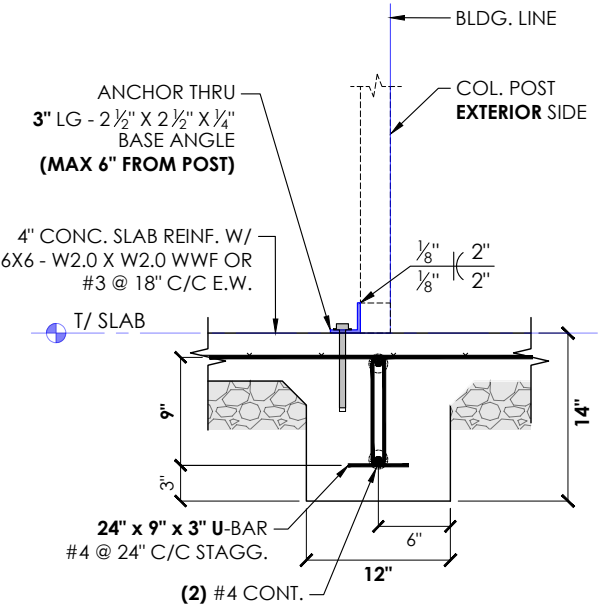
ANCHORAGE DETAIL

SCALE: NTS



1 FOUNDATION DETAILS

SCALE: 3/4" : 1'



2 FOUNDATION DETAILS

SCALE: 3/4" : 1'

SHEET NO:
3B OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

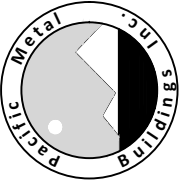
DATE:
9/11/2025

FOUNDATION DETAILS & NOTES

LOCATION:
5421 E LEVEE RD, SACRAMENTO,
CA 95835

PROJECT TITLE:
JOE PRIORIELLO

METAL BUILDING
MANUFACTURER



270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

REGISTERED PROFESSIONAL ENGINEER
CIVIL

RAFAEL D. SALGADO

C95761

STATE OF CALIFORNIA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

SHEET TITLE:

COLUMN LAYOUT DETAILS

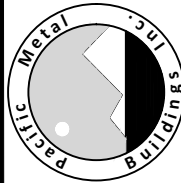
LOCATION:

5421 E LEVEE RD, SACRAMENTO,
CA 95835

PROJECT TITLE:

JOE PRIORIELLO

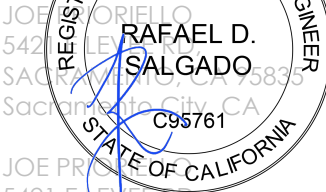
METAL BUILDING
MANUFACTURER



270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

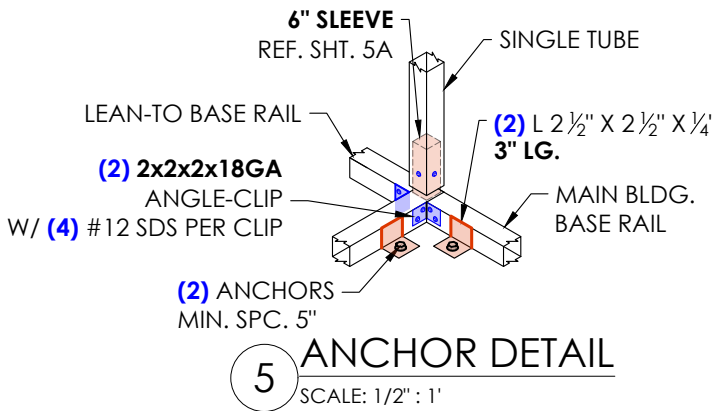
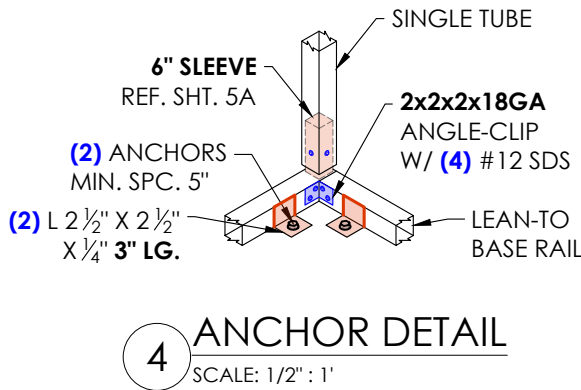
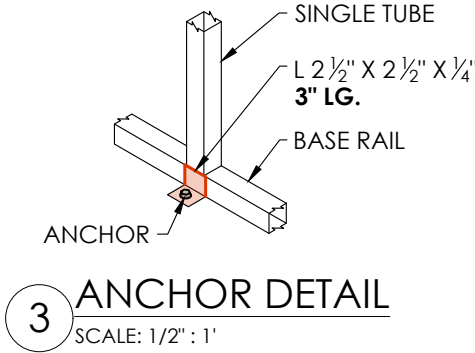
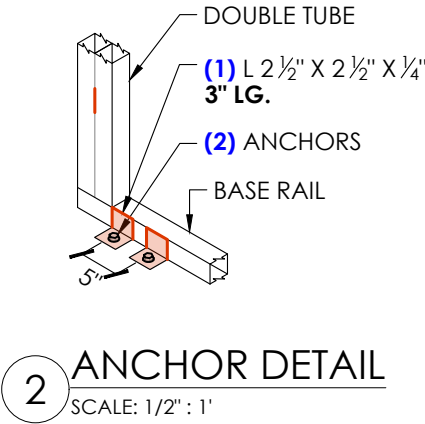
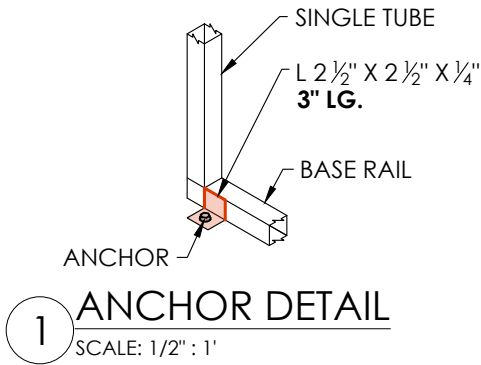
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

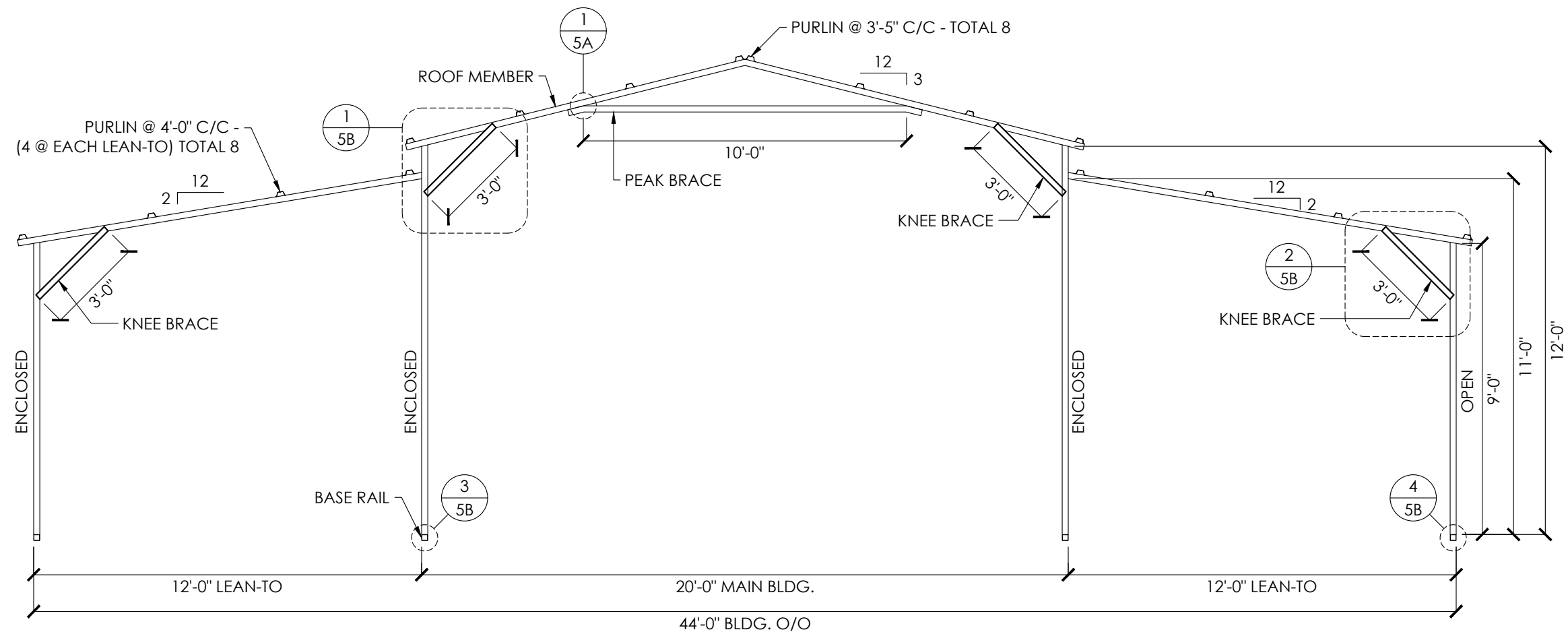
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA



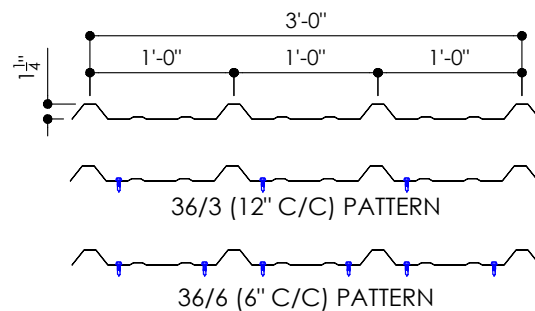
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

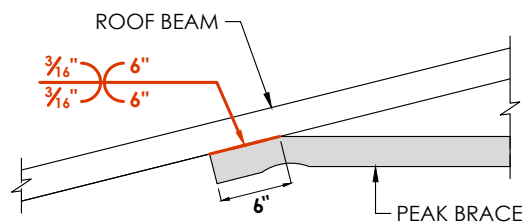




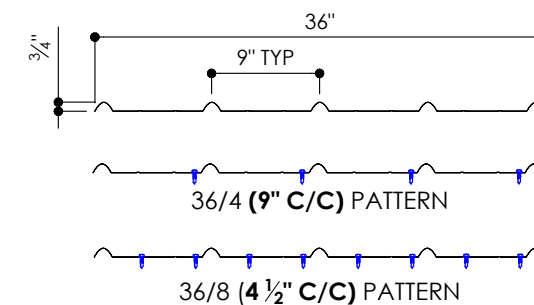
TYPICAL FRAME
SCALE: 1/4" : 1'



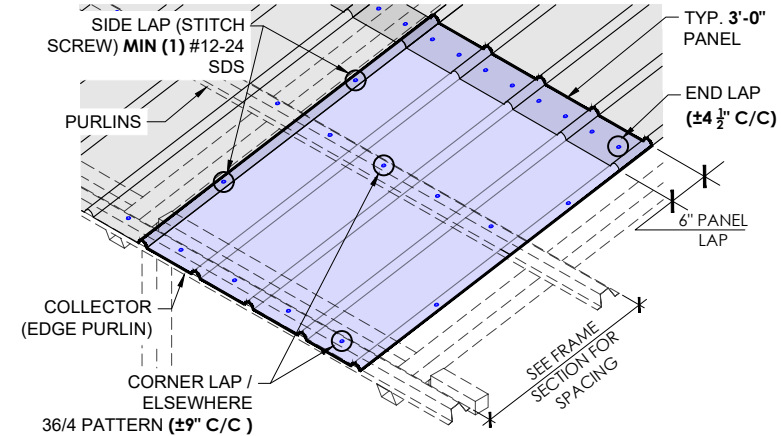
LEAN-TO ROOF
26GA. - 1 1/4" RIB - CORRUGATED SHEET
SCALE: 3/4" : 1'



1 PEAK BRACE DETAIL
SCALE: 3/4" : 1'



MAIN BLDG. SIDES, ENDS & ROOF / LEAN-TO SIDES & ENDS
29GA. - 3/4" RIB - CORRUGATED SHEET
SCALE: 3/4" : 1'



SHEATHING FASTENER PATTERN
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
COLUMN POST	2 1/4" SQ. X 12GA TUBE
ROOF MEMBER	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
PEAK BRACE	2 1/4" SQ. X 12GA TUBE
KNEE BRACE	(2) 4" X 1" X 14GA HAT CHANNEL
CONNECTOR SLEEVE	2" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL

SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC

REF. DESIGN NOTE ON SHEET 2 FOR SHEATHING FASTENER TYPE.

SHEET. NO:
5A OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

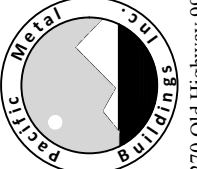
DATE:
9/11/2025

FRAME SECTION & DETAILS

LOCATION:
5421 E LEVEE RD, SACRAMENTO,
CA 95835

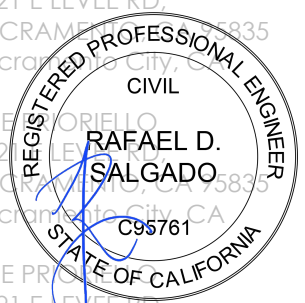
PROJECT TITLE:
JOE PRIORIELLO

METAL BUILDING
MANUFACTURER

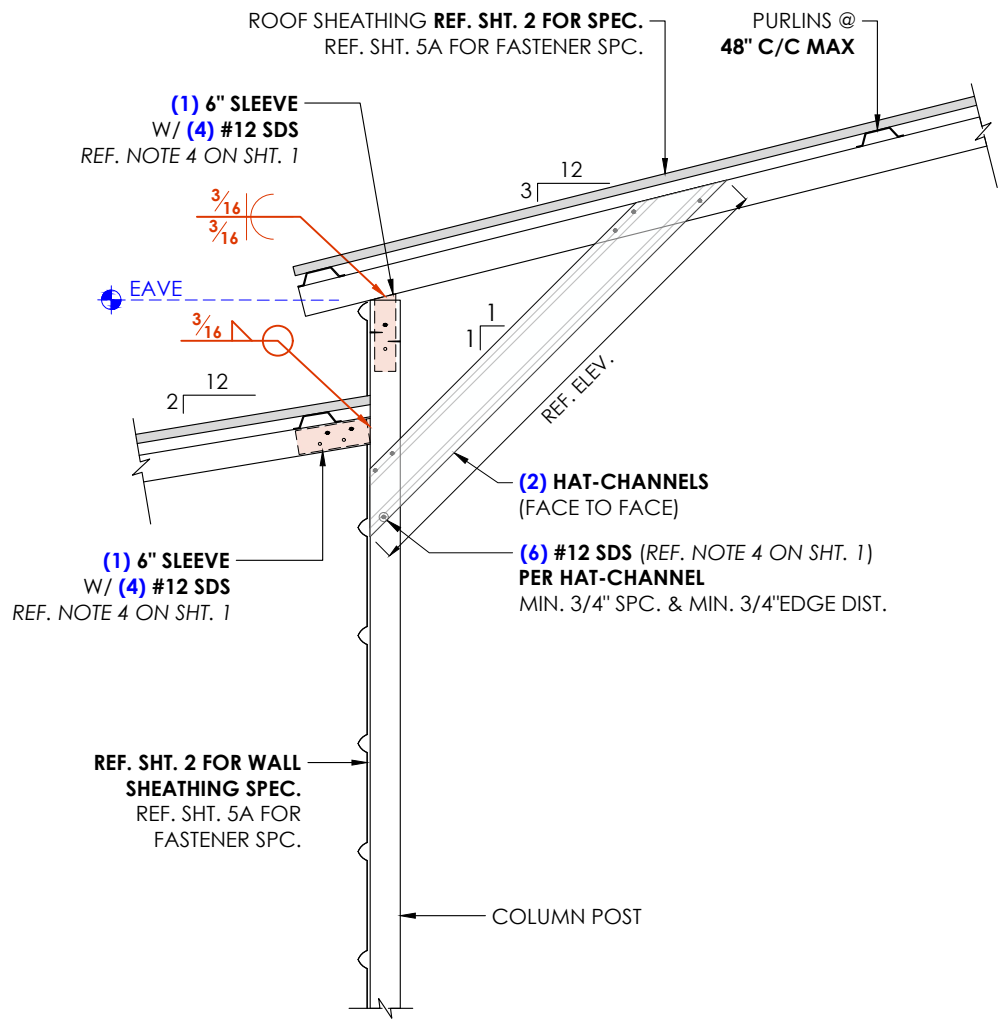

270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

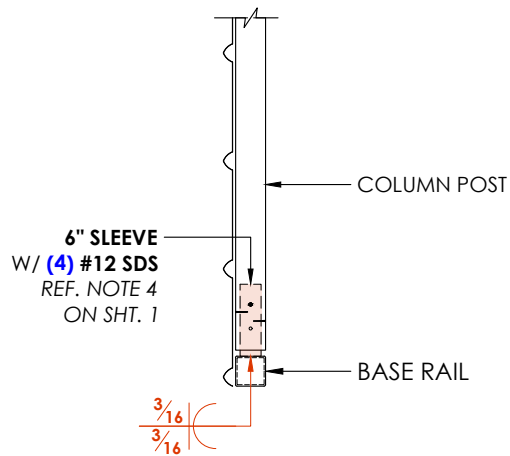
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA



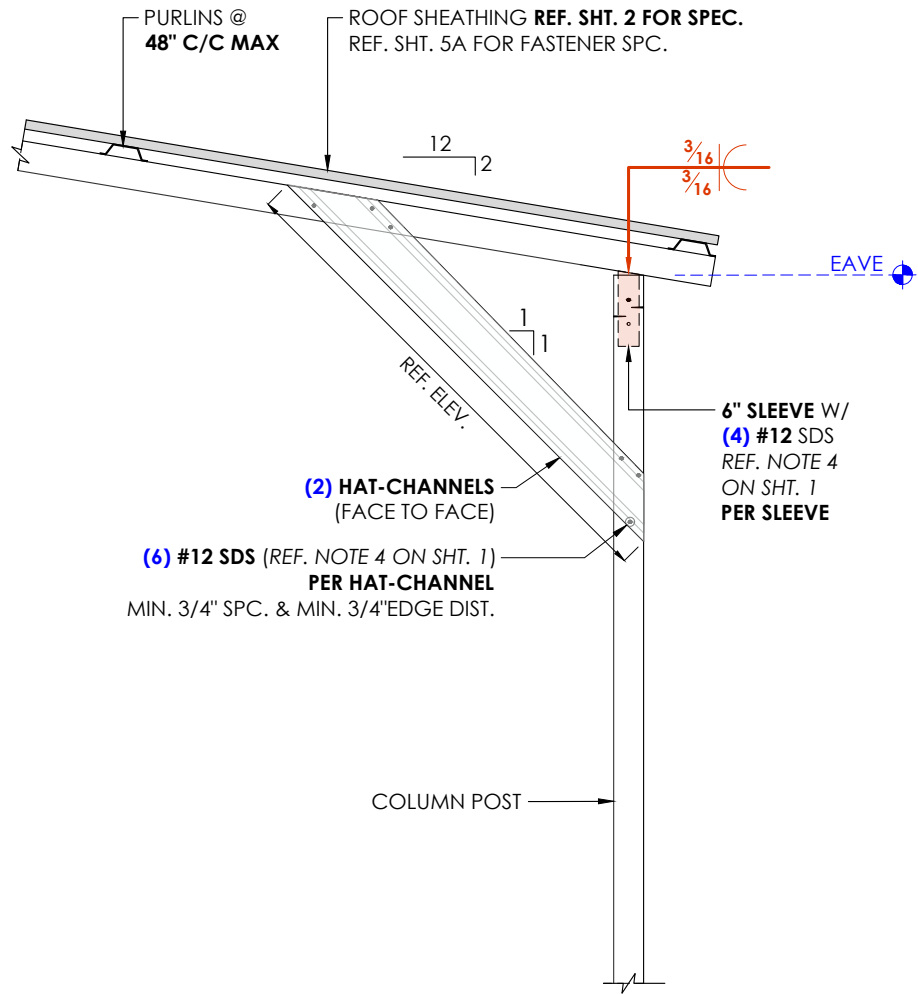
EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



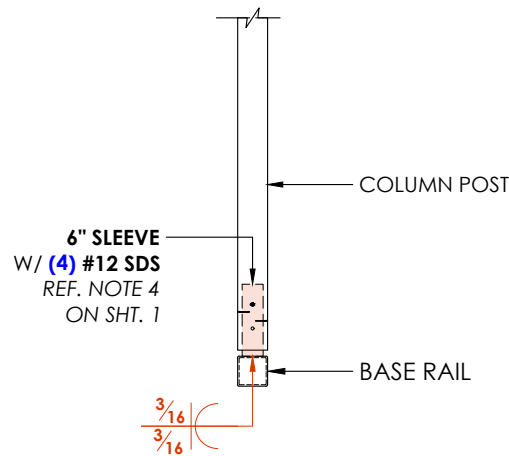
1 MAIN BLDG. / LEFT LEAN-TO
TYP. FRAME DETAIL
SCALE: 3/4" : 1'



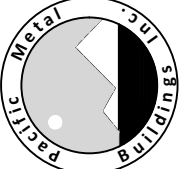
3 MAIN BLDG. / LEFT LEAN-TO
BASE DETAIL
SCALE: 3/4" : 1'



2 LEAN-TO
TYP. FRAME DETAIL
SCALE: 3/4" : 1'



4 RIGHT LEAN-TO
BASE DETAIL
SCALE: 3/4" : 1'

SHEET NO: 5B OF 7	
PROJECT NO: 232-25-2554	
DRAWN BY: A.F	DATE: 9/11/2025
SHEET TITLE: FRAME SECTION DETAILS	LOCATION: 5421 E LEVEE RD, SACRAMENTO, CA 95835
	PROJECT TITLE: JOE PRIORIELLO
METAL BUILDING MANUFACTURER	
 270 Old Highway 99 Maxwell, CA 95955 1-877-604-2777	

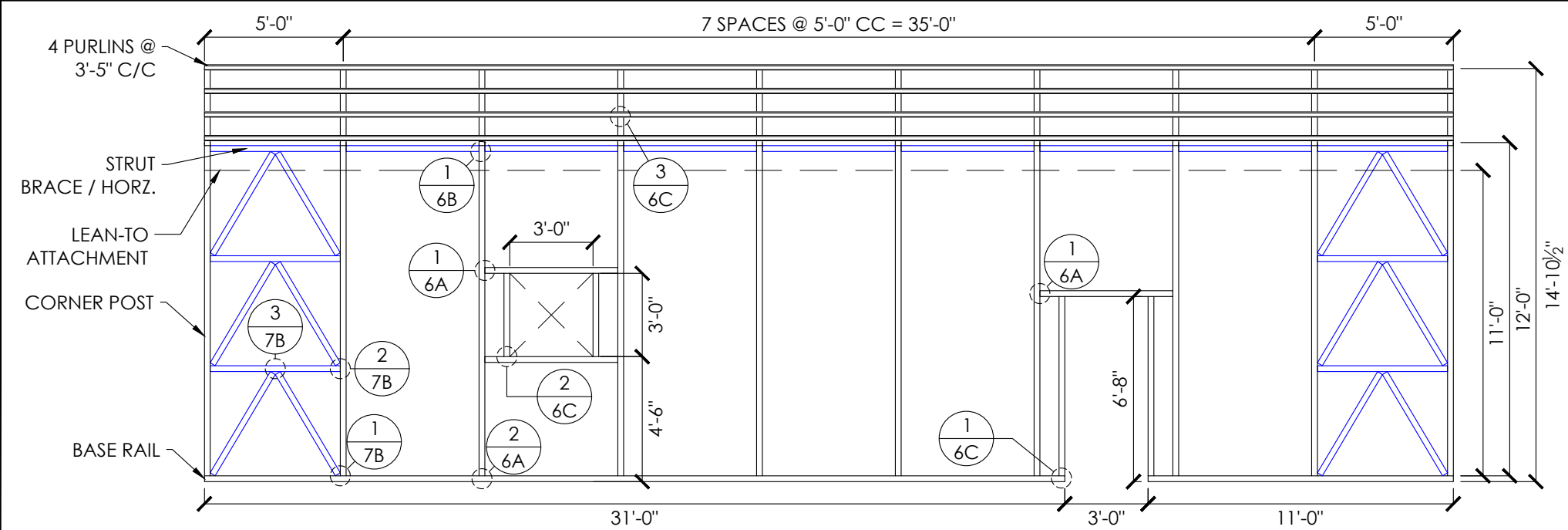
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

REGISTERED PROFESSIONAL ENGINEER
CIVIL
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
C95761
STATE OF CALIFORNIA

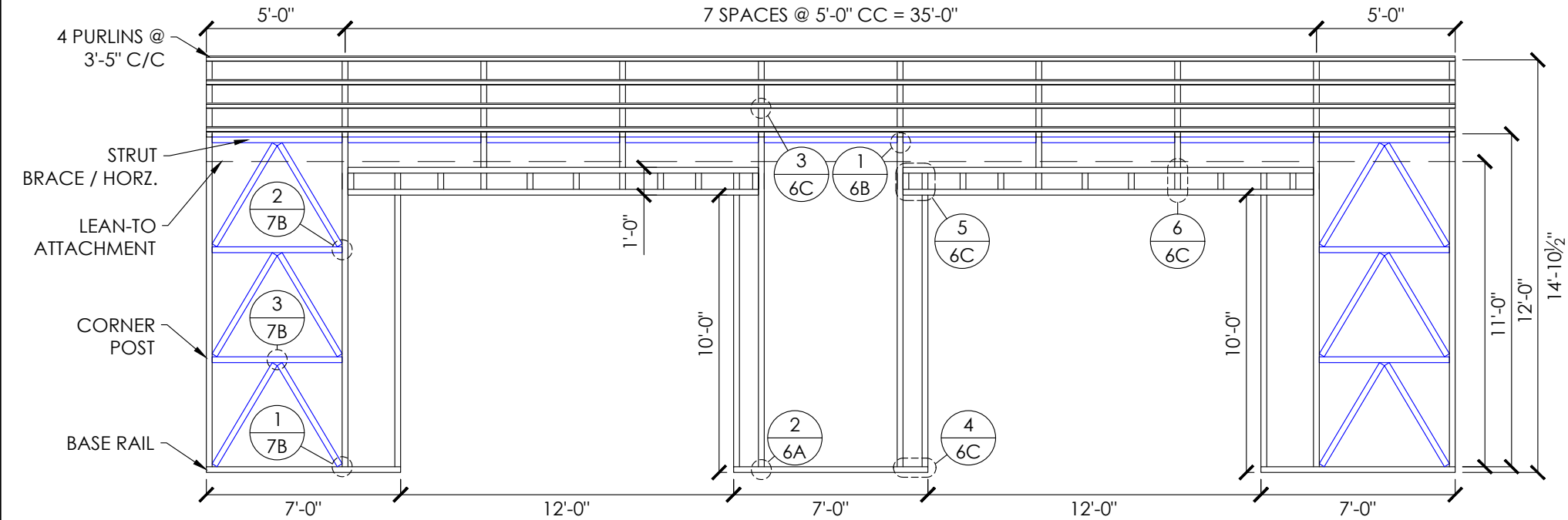
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



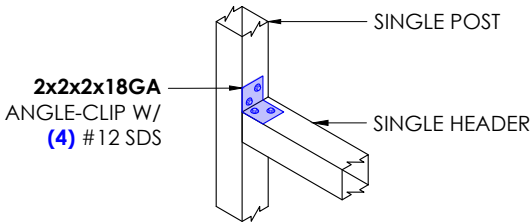
RIGHT SIDE WALL FRAMING

SCALE: 3/16" : 1'

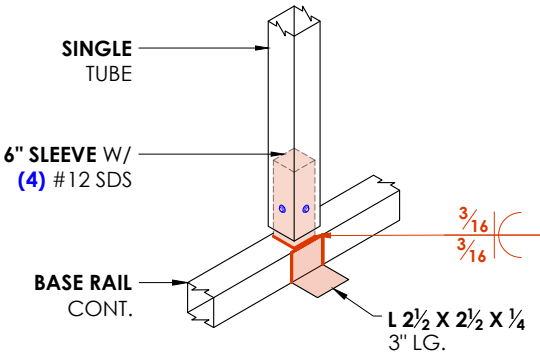


MAIN BLDG. LEFT SIDE WALL FRAMING

SCALE: 3/16" : 1'



1 WINDOW/DOOR DETAIL
SCALE: 3/4" : 1'



2 COLUMN-BASE DETAIL
SCALE: 3/4" : 1'

MEMBER PROPERTIES	
SIDE WALL POST	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
CONNECTOR SLEEVE	2" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
TRUSS HEADER	(2)2 1/4" SQ. X 12GA TUBE W/ 12" TRUSS
DOUBLE HEADER W/ SPACER	(2)2 1/4" SQ. X 12GA TUBE W/ 6" SPACER
WIN DOW/DOOR POST	2 1/4" SQ. X 12GA TUBE
HORZ. BRACE	2 1/4" SQ x 14GA TUBE

SHEET. NO:
6A OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

DATE:
9/11/2025

SIDE WALL FRAMING & DETAILS

LOCATION:
5421 E LEVEE RD, SACRAMENTO,
CA 95835

PROJECT TITLE:
JOE PRIORIELLO

METAL BUILDING
MANUFACTURER

270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

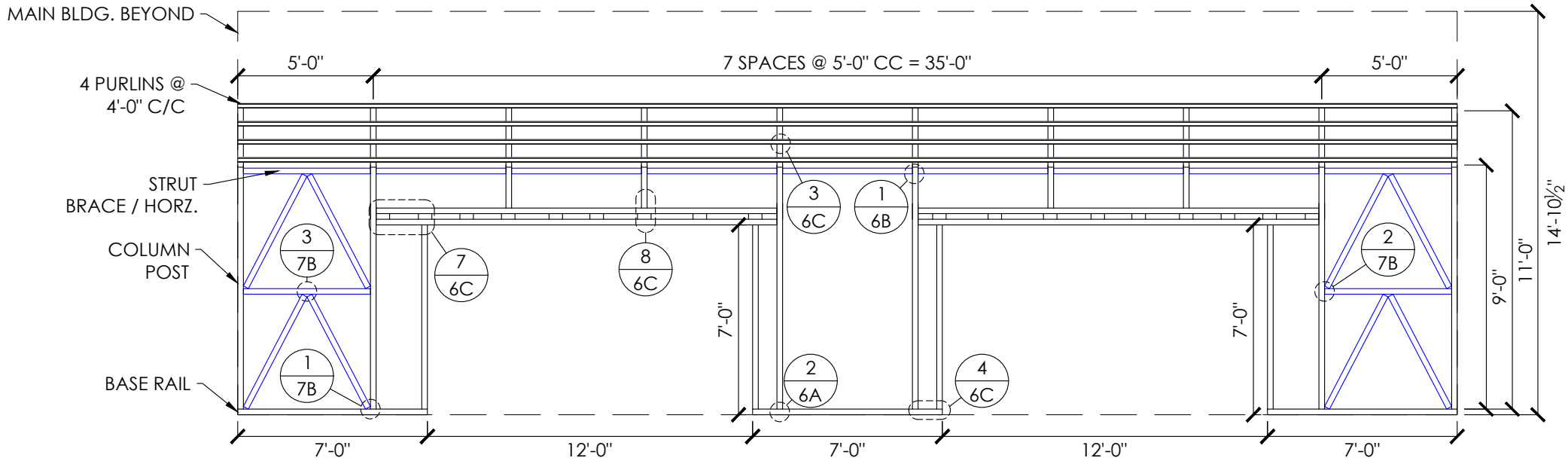
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

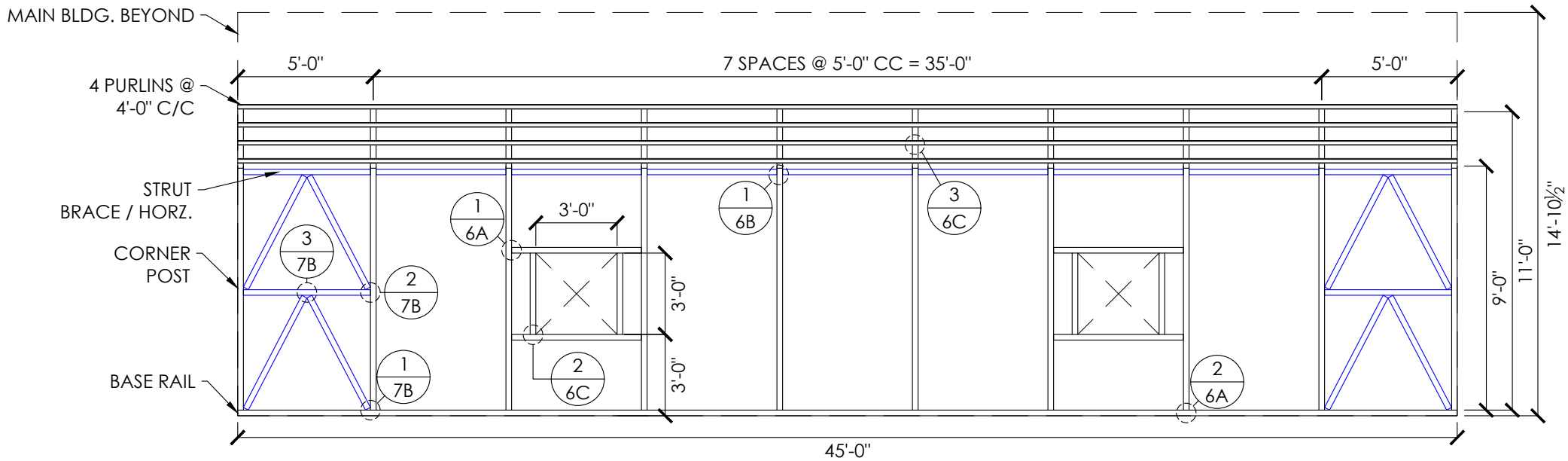
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



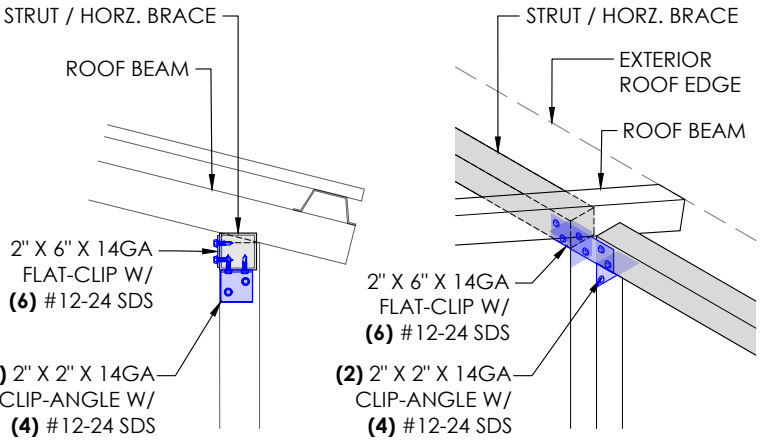
RIGHT LEAN-TO SIDE WALL FRAMING

SCALE: 3/16" : 1'



LEFT LEAN-TO SIDE WALL FRAMING

SCALE: 3/16" : 1'



1 STRUT BRACE DETAIL

SCALE: 3/4" : 1'

MEMBER PROPERTIES	
SIDE WALL POST	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
CONNECTOR SLEEVE	2" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
TRUSS HEADER	(2)2 1/4" SQ. X 12GA TUBE W/ 12" TRUSS
DOUBLE HEADER W/ SPACER	(2)2 1/4" SQ. X 12GA TUBE W/ 6" SPACER
WIN DOW/DOOR POST	2 1/4" SQ. X 12GA TUBE
HORZ. BRACE	2 1/4" SQ X 14GA TUBE
DIAGONAL BRACES	2" SQ. X 12GA TUBE

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

SHEET NO:
6B OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

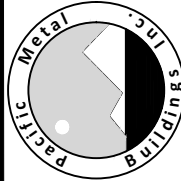
DATE:
9/11/2025

SHEET TITLE:
SIDE WALL FRAMING & DETAILS

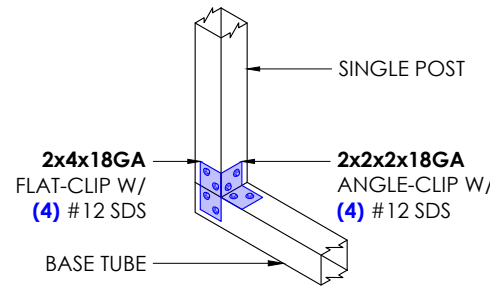
LOCATION:
5421 E LEVEE RD, SACRAMENTO,
CA 95835

PROJECT TITLE:
JOE PRIORIELLO

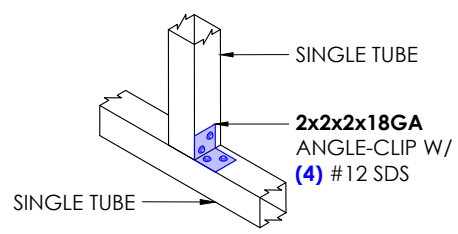
METAL BUILDING
MANUFACTURER



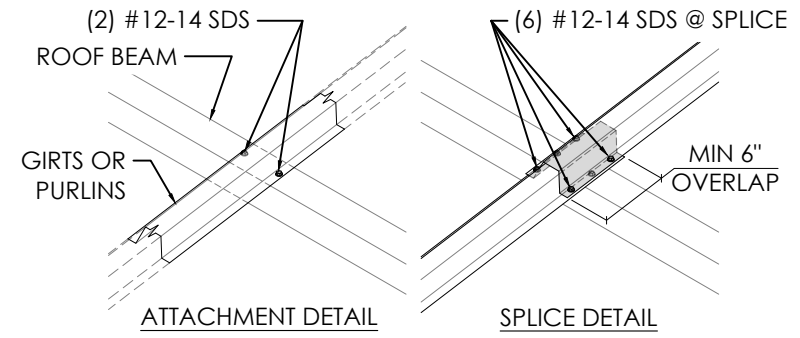
270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777



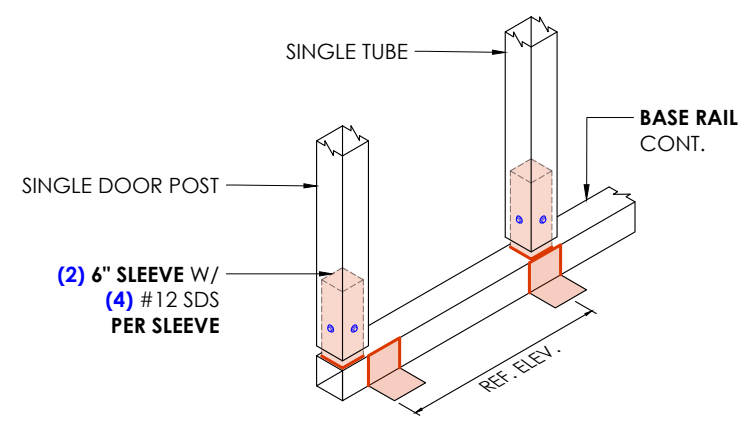
1 DOOR DETAIL
SCALE: 3/4" : 1'



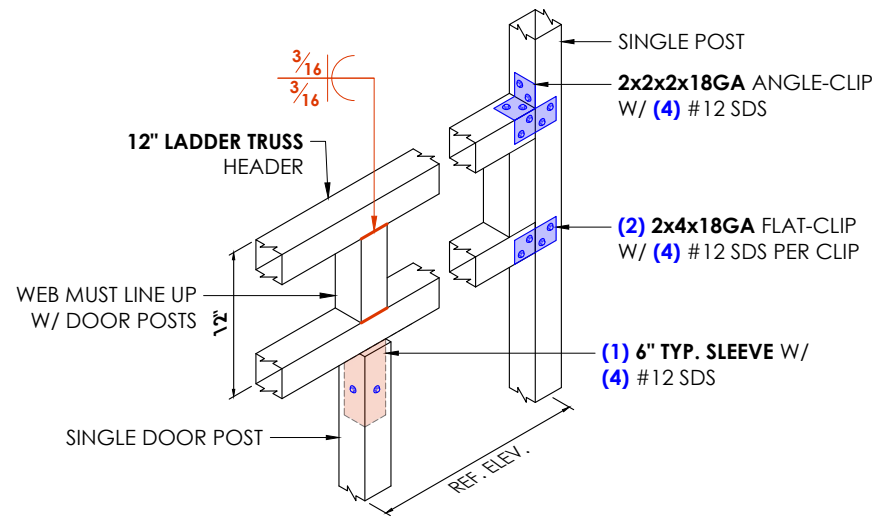
2 WINDOW DETAIL
SCALE: 3/4" : 1'



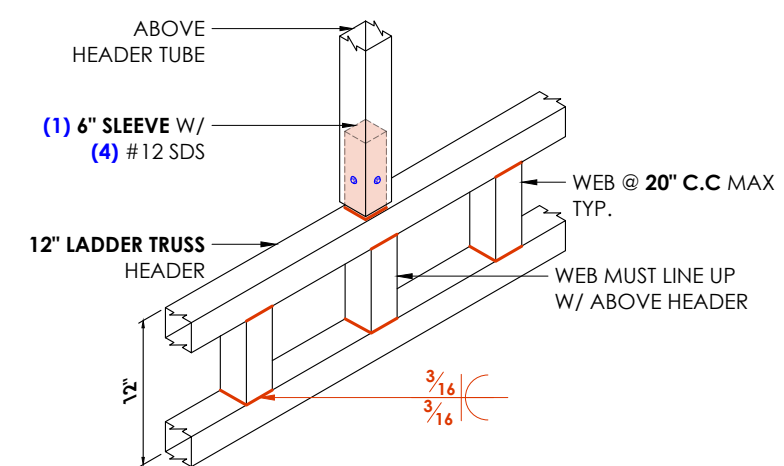
3 GIRT/PURLIN DETAIL
SCALE: 3/4" : 1'



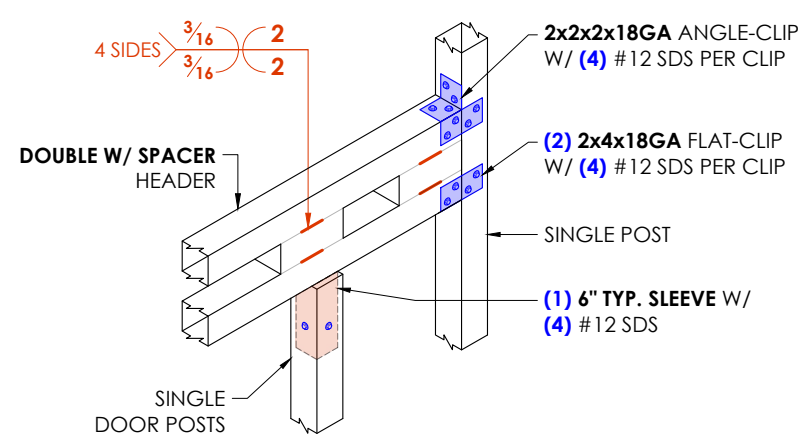
4 DOOR BASE DETAIL
SCALE: 3/4" : 1'



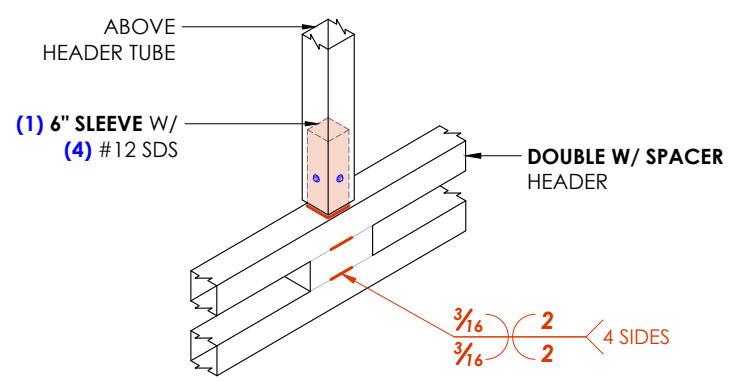
5 DOOR HEADER DETAIL
SCALE: 3/4" : 1'



6 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



7 DOOR HEADER DETAIL
SCALE: 3/4" : 1'

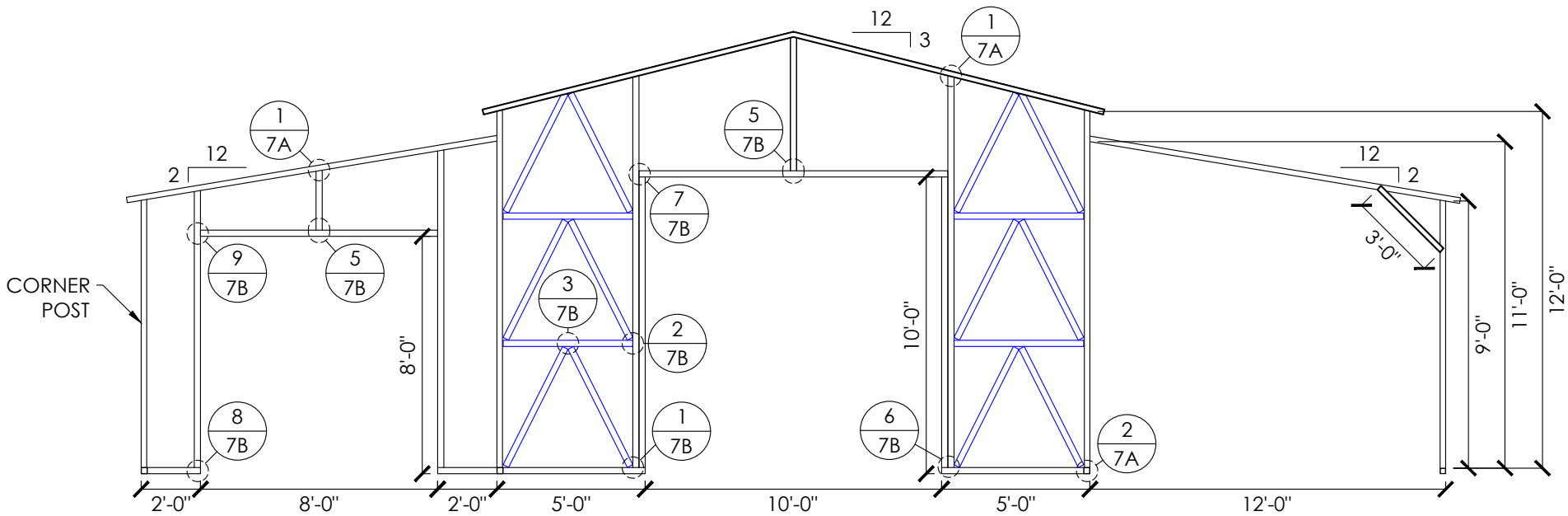


8 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

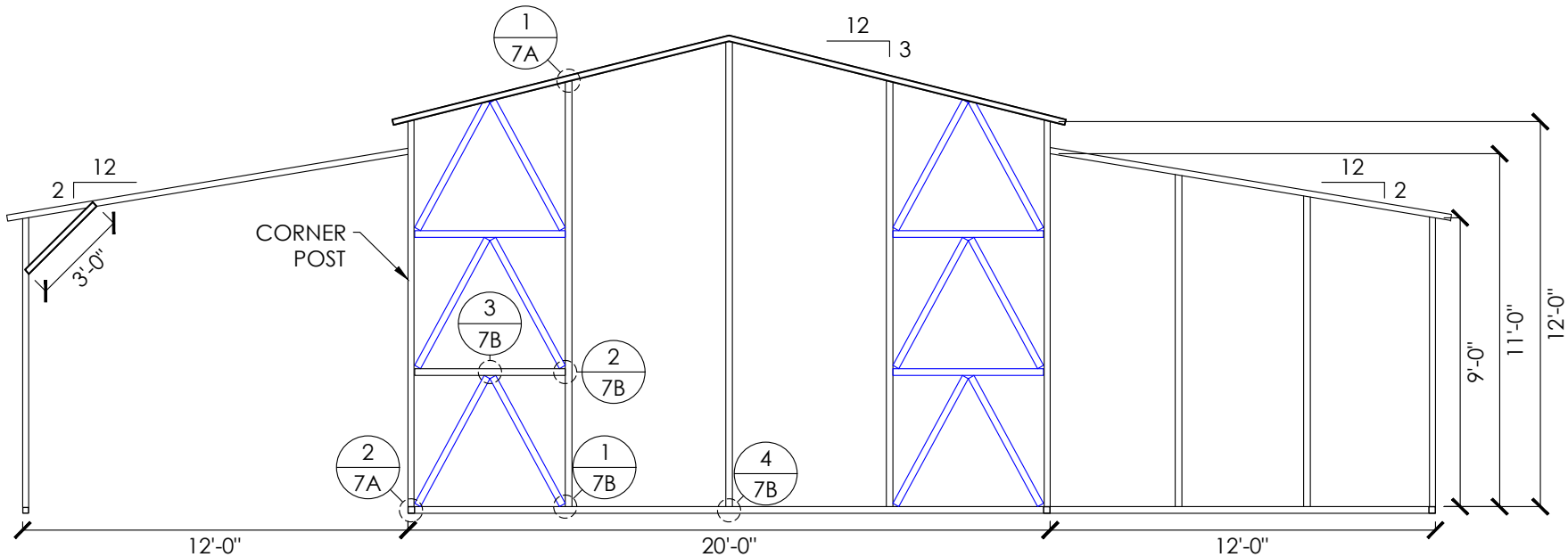
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
REGISTERED PROFESSIONAL ENGINEER
CIVIL
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
C95761
STATE OF CALIFORNIA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



FRONT END WALL FRAMING

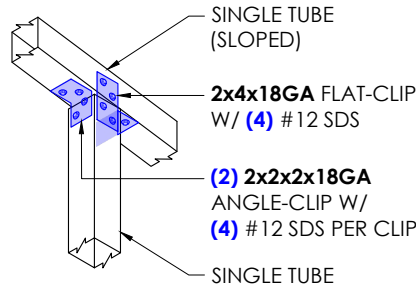
SCALE: 3/16" : 1'



REAR END WALL FRAMING

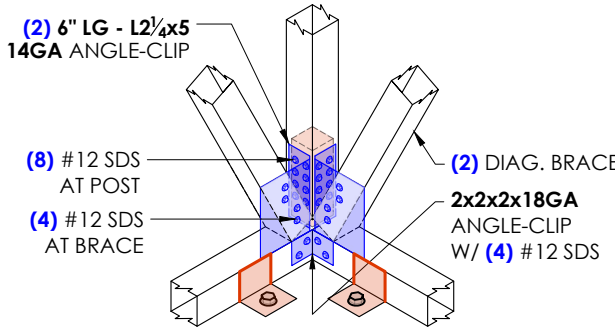
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
CORNER POST	2 1/4" SQ. X 12GA TUBE
ROOF MEMBER	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
HEADER	2 1/4" SQ. X 12GA TUBE
DOOR POST	2 1/4" SQ. X 12GA TUBE
END WALL POSTS	2 1/4" SQ. X 12GA TUBE
DIAGONAL BRACES	2" SQ. X 12GA TUBE
HORZ. BRACE	2 1/4" SQ. X 14GA TUBE
KNEE BRACE	(2) 4" X 1" X 14GA HAT CHANNEL



1 ROOF MEMBER DETAIL

SCALE: 3/4" : 1'



2 CORNER DETAIL

SCALE: 3/4" : 1'

SHEET NO:
7A OF 7

PROJECT NO:
232-25-2554

DRAWN BY:
A.F

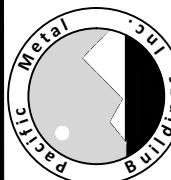
DATE:
9/11/2025

END WALL FRAMING & DETAILS

LOCATION:
5421 E LEVEE RD, SACRAMENTO,
CA 95835

PROJECT TITLE:
JOE PRIORIELLO

METAL BUILDING
MANUFACTURER



270 Old Highway 99
Maxwell, CA 95955
1-877-604-2777

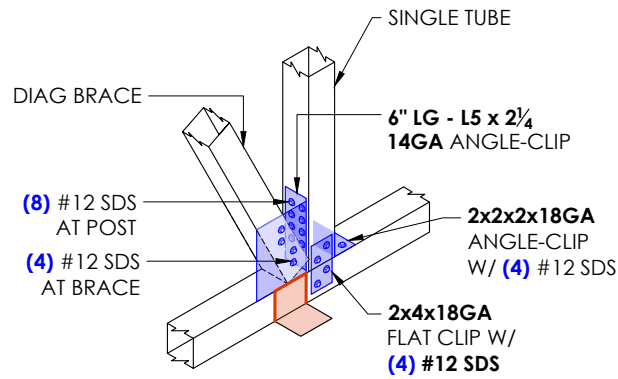
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

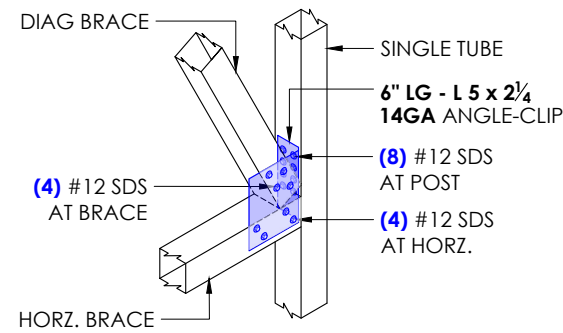
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

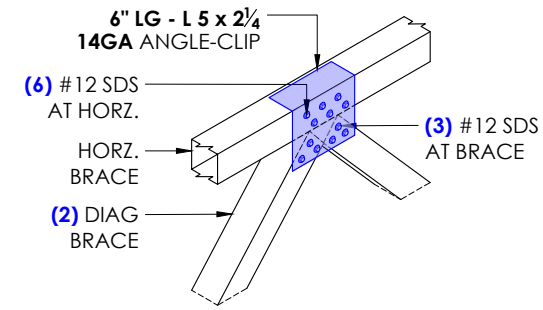
EXPIRES: 3/31/2026
SIGNED : SEP 11 2025



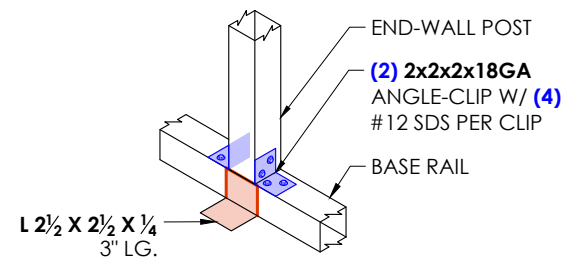
1 LATTICE BRACE DETAIL
SCALE: 3/4" : 1'



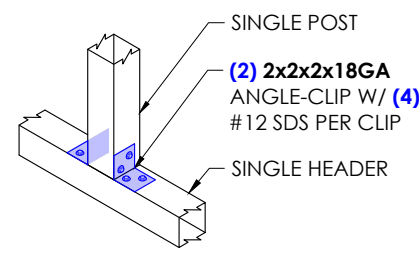
2 LATTICE BRACE DETAIL
SCALE: 3/4" : 1'



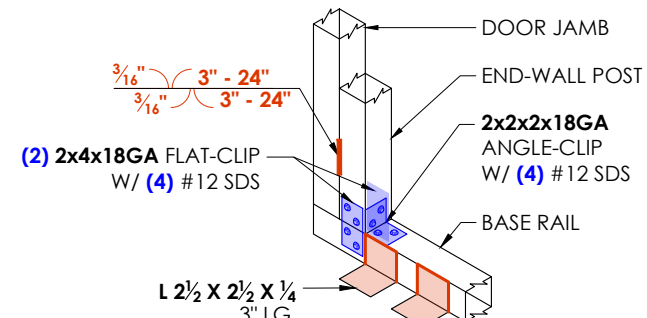
3 LATTICE BRACE DETAIL
SCALE: 3/4" : 1'



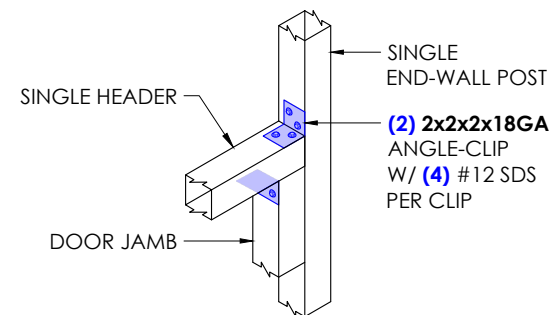
4 COLUMN-BASE DETAIL
SCALE: 3/4" : 1'



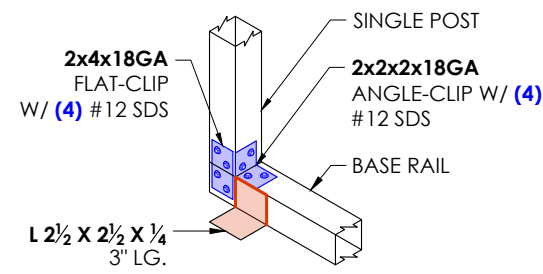
5 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



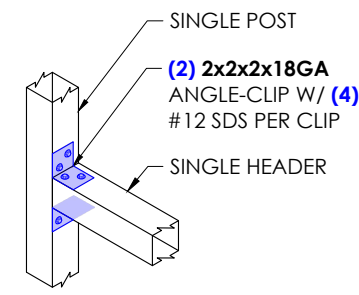
6 DOOR BASE DETAIL
SCALE: 3/4" : 1'



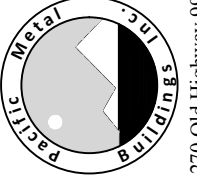
7 DOOR HEADER DETAIL
SCALE: 3/4" : 1'



8 DOOR BASE DETAIL
SCALE: 3/4" : 1'



9 DOOR HEADER DETAIL
SCALE: 3/4" : 1'

SHEET NO: 7B OF 7	
PROJECT NO: 232-25-2554	
DRAWN BY: A.F	DATE: 9/11/2025
SHEET TITLE: END WALL FRAMING DETAILS	
LOCATION: 5421 E LEVEE RD, SACRAMENTO, CA 95835	PROJECT TITLE: JOE PRIORIELLO
METAL BUILDING MANUFACTURER	
 270 Old Highway 99 Maxwell, CA 95955 1-877-604-2777	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA
STATE OF CALIFORNIA
C95761
JOE PRIORIELLO
5421 E LEVEE RD,
SACRAMENTO, CA 95835
Sacramento City, CA

EXPIRES: 3/31/2026
SIGNED : SEP 11 2025

Prioriello Residence

5421 E Levee Rd Sacramento Ca. 95835



View #1



View #2



View #3



View #4



View #5



View #6



View#7



View #8



View #9



View #10



View #11



View #12



View #13



#14



Main Body Color

Trim Color

AVAILABLE IN 29 GAUGE



AVAILABLE IN 26 GAUGE

