

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING**
300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommend the Design Director approve with conditions the Site Plan and Design Review minor modifications to the 22 Lake Vista Addition for project known as file **DR26-074**. Draft Findings of Fact and Conditions of Approval for the project are included below.

Project Information:

1. **Environmental Determination** project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301 (Existing Facilities).
2. **Site Plan and Design Review** for a minor modification to previously approved DR25-128 for a front residential addition to an existing single family residence with setback deviations on a 0.22 acre parcel in the Single-Unit Dwelling (R-1) Zone within the Citywide Design Review Area.

Location: 22 Lake Vista Court, Sacramento, 95831 (District 7)

Assessor's Parcel Numbers: 030-0660-035-0000

Applicant: Mike Bouchard
MJB Homes Inc dba MJB Construction

Property Owner: Angie Wei

Project Planner: Matthew Sites, Senior Architect

General Plan Designation: Neighborhood
Community Plan Area: Pocket
Design Review Area: Citywide SPDR
Existing Land Use of Site: Residential
Existing Zoning: Single-Unit Dwelling Zone (R-1)

Surrounding Zoning and Land Use:

North (front):	(R-1)	Residential
South (rear):	(A)	Open Space (Lake)
East (interior):	(R-1)	Residential
West (interior):	(R-1)	Residential

Site Information:

Existing Property Size:	Approx. 0.22 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Project Analysis:

The subject parcel is located within the well-established Greenhaven Community. The project is proposing an in-law quarters addition at the front of the home which was previously approved under entitlement DR25-128. This entitlement does not modify the previously approved addition and exterior renovation which features vertical wood siding, new windows, and the reintroduction of a period-appropriate mansard roof to match the existing structure. Designed to maintain a consistent aesthetic, the addition will complement the architectural character of the home and serve as a welcome enhancement to this lake-centric community.

The proposal does not meet Sacramento City Code (SCC) 17.204.240(A)1:

If there are at least two other buildings with front-yard setbacks on the same side of the street on the same block as the lot for which the setback is being determined, the front-yard setback must be equal to either of the two nearest buildings' setbacks or in between the two nearest buildings' setbacks.

After issuing the Building Permit for the proposed addition, field verification measurements identified inconsistencies between the approved plans and existing site conditions. Based on measurements taken from the existing structure, the addition encroaches into the required front yard setback by up to 3 feet 9 inches at its furthest point, whereas the approved plans indicated compliance with a 25-foot front setback.

The 25-foot front yard setback approved under DR25-128 was considered appropriate based on the adjacent property (File No. DR23-274), which established a reduced front setback through a Director-level review. As the parcel to the north remains vacant, the property at 22 Lake Vista is required to adhere to the established 25-foot front yard setback or request a deviation. The addition also extends approximately six inches into the 5-foot interior side yard setback. Noting the discrepancies, the applicant requests a front and interior side yard setback deviation to 17.204.240(A)2 and 17.204.240(B)1 to continue the construction of the addition as is.

Staff supports the deviations and finds that the project is consistent with the purpose and intent of applicable design guidelines and development standards in that:

- 1) The existing front setback's residences located on Lake Vista Court range from approximately 13 to 32 feet. The proposed front setback of 21 feet 3 inches does not further decrease the street façade variation along the established street
- 2) The proposed front and interior side yard encroachment does not significantly impact the privacy of adjacent neighbors

- 3) The encroachment does not significantly impact the established assemblage of homes on the block as the street is curved and variation will not be visually detectable
- 4) The design will remain consistent with the neighborhood design aesthetic as all the residences have been constructed with variations to the front yard setbacks.

Public / Neighborhood Outreach And Comments:

The project was notified to property owners, tenants, and neighborhood groups within 500 feet of the subject site, and the site was posted for the hearing on Thursday, April 9, 2026. Neighborhood associations that were notified for the hearing include Preservation Sacramento, Lake Greenhaven Neighborhood Association (HOA), and Pocket Greenhaven Community Association. Staff received seven letters of support for the deviations as of the drafting of this report.

Environmental Considerations:

Class 15301 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.

Draft Findings of Fact:

1. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Neighborhood.
2. The design, layout, and physical characteristics of the proposed project are consistent with all applicable design guidelines and with all applicable development standards in that the proposal meets all applicable development standards for the R-1 zone and the design standards for single-unit dwellings, with exception of the front and interior side yard setbacks. Furthermore, the project meets the citywide design principles in relation to single-family residences. Justification for the deviations can be found within the Project Analysis section of the staff report.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the adjacent residential dwellings.
5. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.

6. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2025 Adequate Progress Annual Report accepted by the City Council on October 21, 2025 (Resolution No. 2025-0282).
- 8.

DRAFT CONDITIONS OF APPROVALS:

Planning Department / Design Review – Matthew Sites

1. The development shall be constructed by approved plans and conditions of approval.
2. Provide the following building materials on the single unit dwelling addition as indicated by the approved plans.
 - a. Single ply membrane roof with minimum 30-year dimensional composite shingle wrapped mansard roof around perimeter
 - b. Vertical fiber cement panel siding (Hardie Sierra 8 panel basis of design - no grooved plywood) and trim painted to match the existing paint color
 - c. Horizontal sliding and fixed dual pane vinyl windows with wood or fiber cement trim to match existing
 - d. Solid core wood entry door with raised panels
 - e. Double sliding vertical vinyl patio door
 - f. Fascia gutters and downspouts to match existing

General

3. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit. Additional landscaping can be added beyond what was previously approved to facilitate a softer transition to the new front setback.
4. City Tree and Private Protected Tree removal is not permitted as part of this entitlement.

5. Any work involving a city tree, private protected tree, or within the park strip requires a tree permit. If any work involving a city tree, private protected tree, or within the park strip a tree permit shall be obtained from Urban Forestry.
6. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. At a minimum, the screening shall be as high as the mechanical equipment being installed. The equipment shall be screened from any street view using parapet, fencing, landscaping, or an architecturally integrated screen wall.
7. Trash receptacles and irrigation controls shall be screened from street view.
8. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 7-day reconsideration period.
9. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
10. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).
11. This approval shall expire in three (3) years from the approval date.

Sacramento Area Sewer District – Manjot Dhugga, EIT

12. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees are to be paid before the issuance of building permits.

PG&E – Pacific Gas and Electric Company Plan Review Team

13. Before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work.

Park Planning and Development Department – Molivann Phlong

14. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (*Contact Infrastructure Finance, Doreen Chia, (916)808-5447, dchia@cityofsacramento.org*).

Advisory:

- ADV.1. DOU - All stormwater and surface runoff drainage impacts resulting from new impervious areas (such as but not limited to roof areas, driveway, paving, etc.) shall be subject to drainage mitigation as specified in the current Onsite Design

Manual and/or the Design and Procedures Manual. Drainage mitigation shall be accomplished by: (1) conforming to a City approved Drainage Study or Master Plan, (2) providing onsite drainage detention, or (3) payment of combined sewer system drainage impact fees (applies only in the CSS). Applicant is advised to contact the City of Sacramento Department of Utilities Development Review Section (916-808-7890) or DOUDevelopmentReview@cityofsacramento.org at the early planning stages to address any onsite drainage related requirements.

- ADV.2. DOU - If the aggregate landscape area of this project is equal to or greater than 500 sq. ft., it is subject to Water Efficient Landscape Requirements, Chapter 15.92 of the Sacramento City Code, consistent with Chapter 2.7 of the California Code of Regulations, the Model Water Efficient Landscape Ordinance.
- ADV.3. PARKS - Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$3,452. This project proposes a total of one (1) single family dwelling unit, with 1,569 square feet of residential development. The Park Development Impact Fee due for this project is based on the Central City Incentive Zone Rate of \$2.20 per square foot for residential projects, with a minimum rate of \$1,634 for units under 750 square feet and a maximum of \$4,360 for units over 2,000 square feet. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

ATTACHMENTS:

Exhibit A: Site Plan, Floor Plan, Elevations

Exhibit B: Letters of Support

Recommendation Approved:



Matthew Sites (Apr 16, 2026 14:32:45 PDT)

Matthew Sites
Senior Architect, AIA

The decision of the Design Director may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the Design Director's hearing. If an appeal is not filed, the action of the Design Director is final.

REVISIONS:	DATE	BY

DRAWING BY: JM

RESIDENTIAL ADDITION TO EXISTING SINGLE-FAMILY HOME
 22 LAKE VISTA CT,
 SACRAMENTO, CA 95831

**OVERALL
 SITE PLAN**

SCALE: AS NOTED
 DATE: 06/04/2025
 PROJECT NO.: 2025-03
 DRAWING NO.

A0.1



OVERALL SITE PLAN
 SCALE: 3/32" = 1'-0"
 1
 A0.1

REVISIONS:

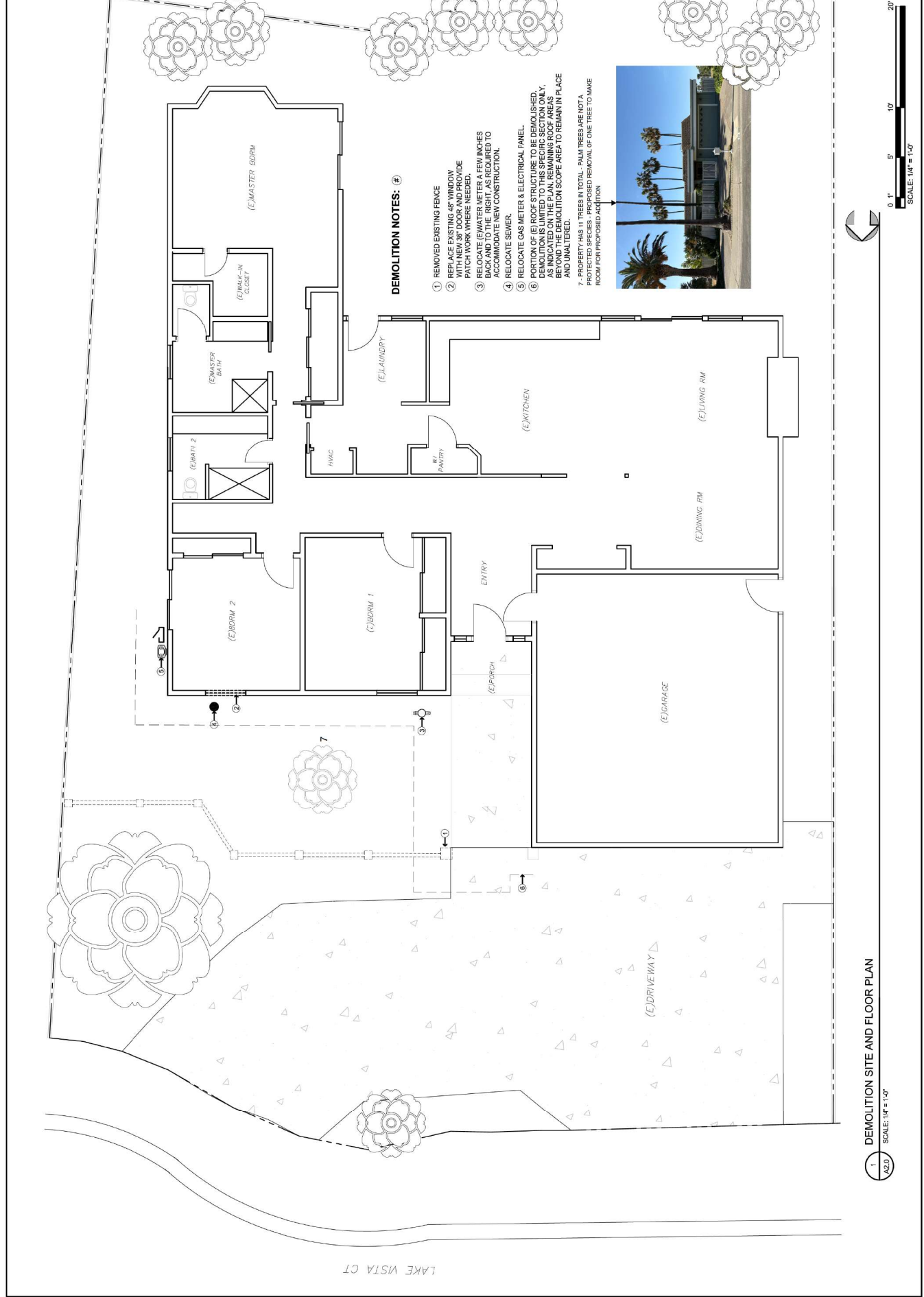
DRAWING BY:
JN

RESIDENTIAL ADDITION TO EXISTING SINGLE-FAMILY HOME
22 LAKE VISTA CT.
SACRAMENTO, CA 95831

DEMO SITE
AND FLOOR
PLAN

SCALE: AS NOTED
DATE: 08/14/25
PROJECT NO.: 2025-03
DRAWING NO.:

A2.0



DEMOLITION NOTES: #

- 1) REMOVED EXISTING FENCE
- 2) REPLACE EXISTING 48" WINDOW WITH NEW 36" DOOR AND PROVIDE PATCH WORK WHERE NEEDED.
- 3) RELOCATE (E) WATER METER A FEW INCHES FROM EXISTING LOCATION TO ACCOMMODATE NEW CONSTRUCTION.
- 4) RELOCATE SEWER.
- 5) RELOCATE GAS METER & ELECTRICAL PANEL.
- 6) PORTION OF (E) ROOF STRUCTURE TO BE DEMOLISHED. REMAINING ROOF STRUCTURE SHALL BE AS INDICATED ON THE PLAN. REMAINING ROOF AREAS BEYOND THE DEMOLITION SCOPE AREA TO REMAIN IN PLACE AND UNALTERED.
- 7 - PROPERTY HAS 11 TREES IN TOTAL. PALM TREES ARE NOT A PROTECTED SPECIES - PROPOSED REMOVAL OF ONE TREE TO MAKE ROOM FOR PROPOSED ADDITION



1 DEMOLITION SITE AND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LAKE VISTA CT

REVISIONS:

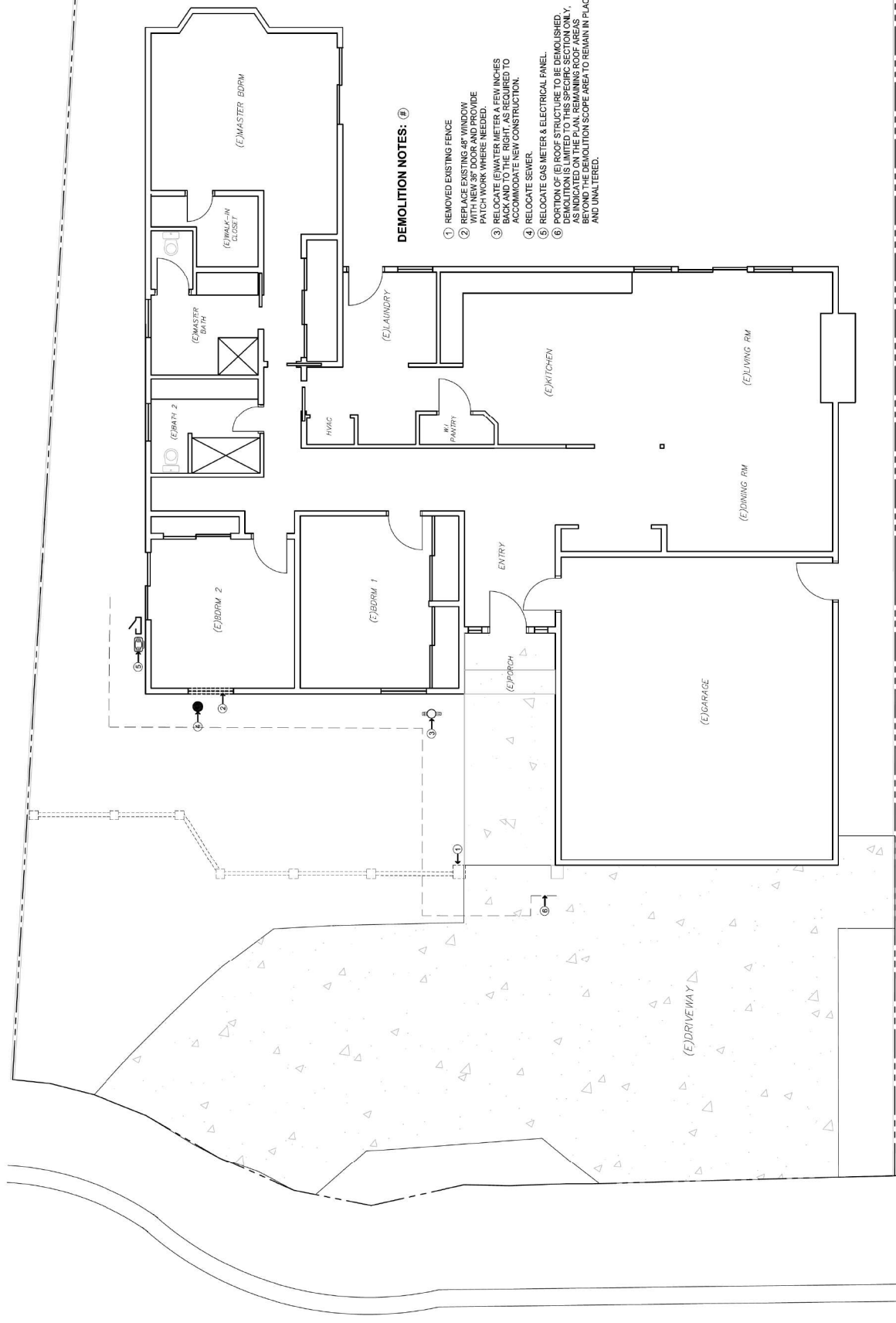
DRAWING BY: JM

RESIDENTIAL ADDITION TO EXISTING SINGLE-FAMILY HOME
 22 LAKE VISTA CT.
 SACRAMENTO, CA 95831

DEMO SITE AND FLOOR PLAN

SCALE: AS NOTED
 DATE: 06/05/2025
 PROJECT NO: 2025-03

DRAWING NO: A2.0



LAKE VISTA CT

1 DEMOLITION SITE AND FLOOR PLAN
 A2.0 SCALE: 1/4" = 1'-0"

REVISIONS:

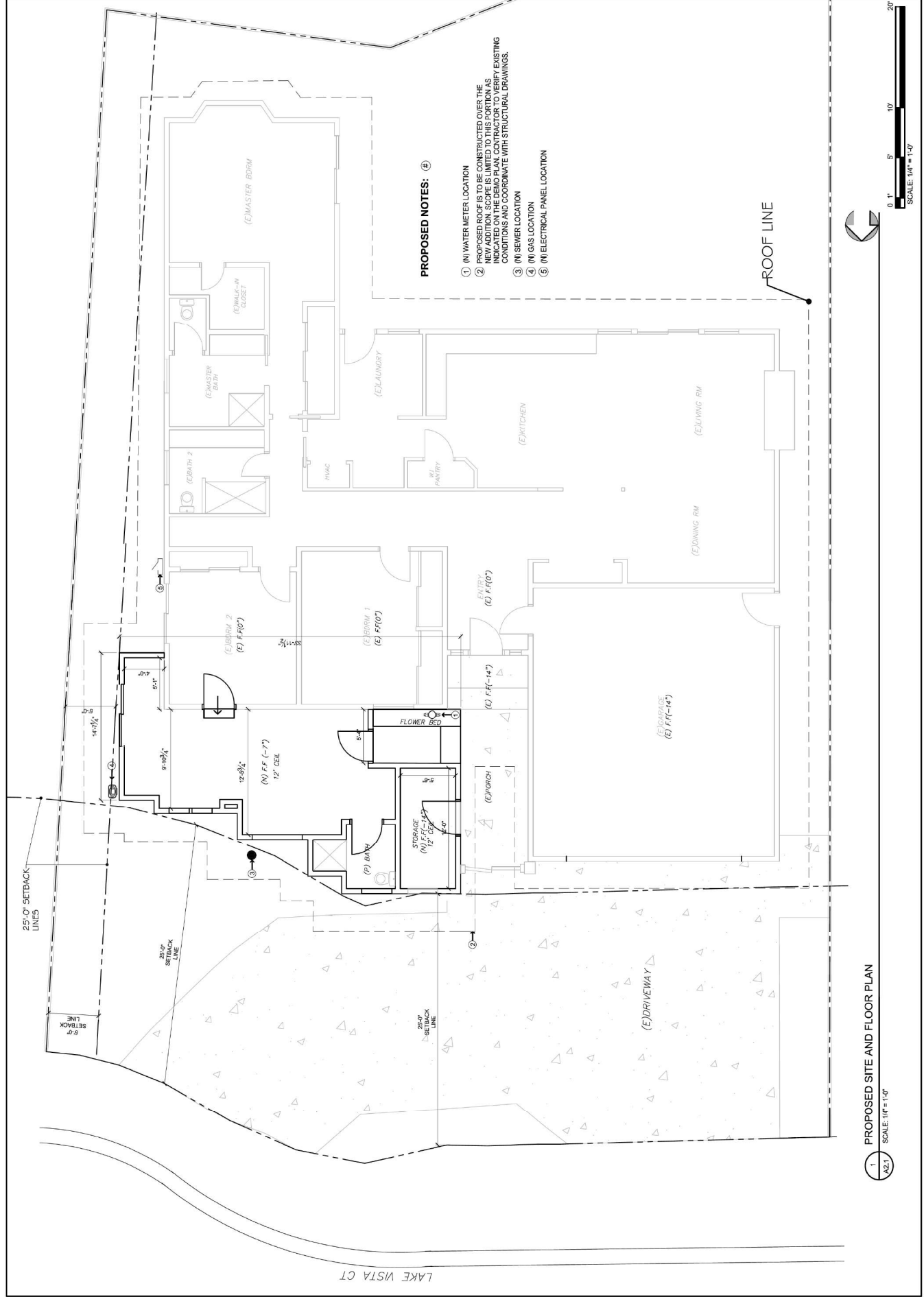
DRAWING BY:
JM

RESIDENTIAL ADDITION TO EXISTING SINGLE-FAMILY HOME
22 LAKE VISTA CT.
SACRAMENTO, CA 95831

PROPOSED
SITE & FLOOR
PLAN

SCALE: AS NOTED
DATE: 06/05/2025
PROJECT NO.: 2025-03
DRAWING NO.

A2.1



PROPOSED SITE AND FLOOR PLAN
SCALE: 1/4" = 1'-0"

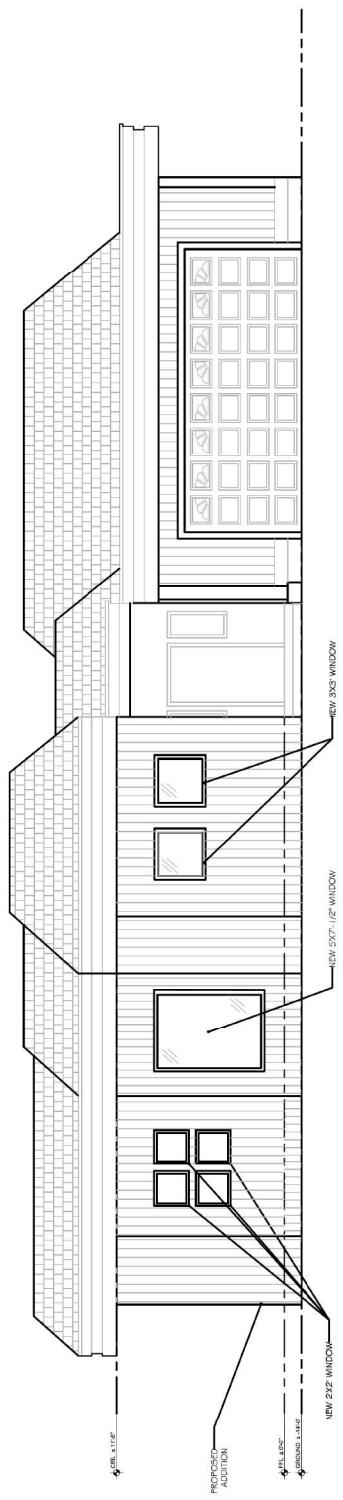
REVISIONS:	DATE:	BY:

DRAWING BY:
JM

RESIDENTIAL ABSENTEE CARE CENTER - FAMILY HOME
22 LAKE VISTA CT.
SACRAMENTO, CA 95831

PROPOSED ELEVATIONS
SCALE: AS NOTED
DATE: 06/05/2025
PROJECT NO: 2025-03
DRAWING NO:

A3.1



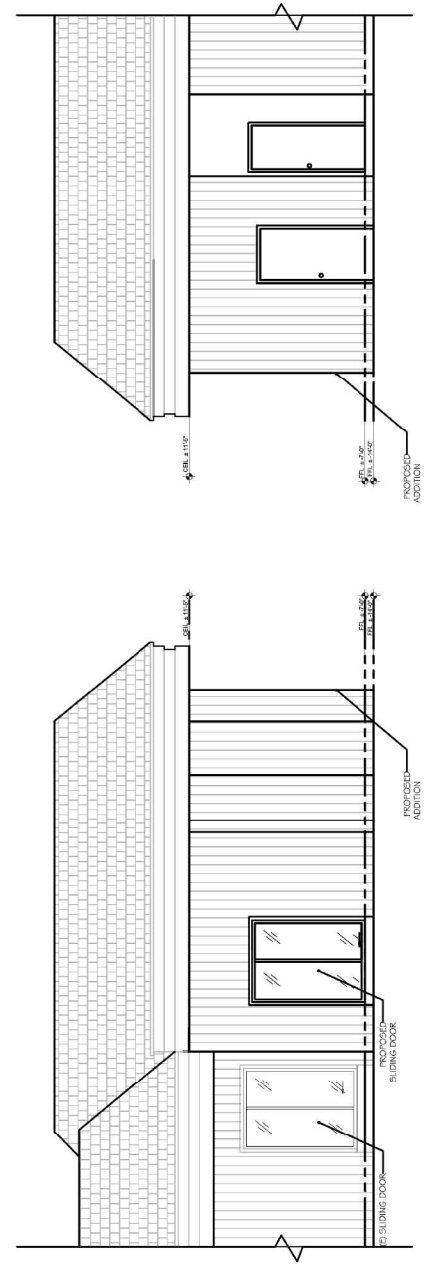
3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"
A3.1

OPERABLE WINDOW IN ALL BEDROOMS PER CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE 2022
PROVIDE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE FOR EACH ROOM. THE REQUIRED OPENING MUST BE SHOWN TO COMPLY WITH ALL OF THE WINDOW WILL MEET THE FOLLOWINGS

- MAXIMUM FINISHED FLOOR HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.
- SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 20".
- THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20".

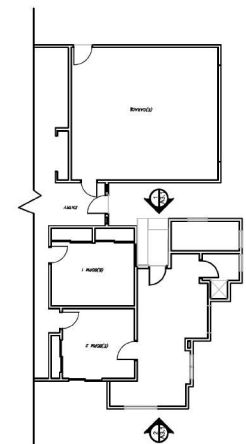
TEMPERED GLASS LOCATIONS
PROVIDE TEMPERED GLASS AT ALL HAZARDOUS LOCATION.

- GLASS IN ENCLOSING SHOWER DOORS, SLIDING GLASS DOORS, SHOWER DOORS.
- GLASS ENCLOSING SHOWER, BATH, HOT TUB OR SAUNA WHERE WINDOW IS LESS THAN 60" ABOVE FLOOR.
- GLASS WITH 20% ARC OF EITHER DOOR EDGE IN A CLOSED POSITION WHERE WINDOW IS LESS THAN 60" ABOVE FLOOR.
- ANY GLASS PANEL - 8 SF AND < 8' BUT > 36" ABOVE THE FLOOR.



2 EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"
A3.1

1 WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"
A3.1



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"
A3.1



REVISIONS:

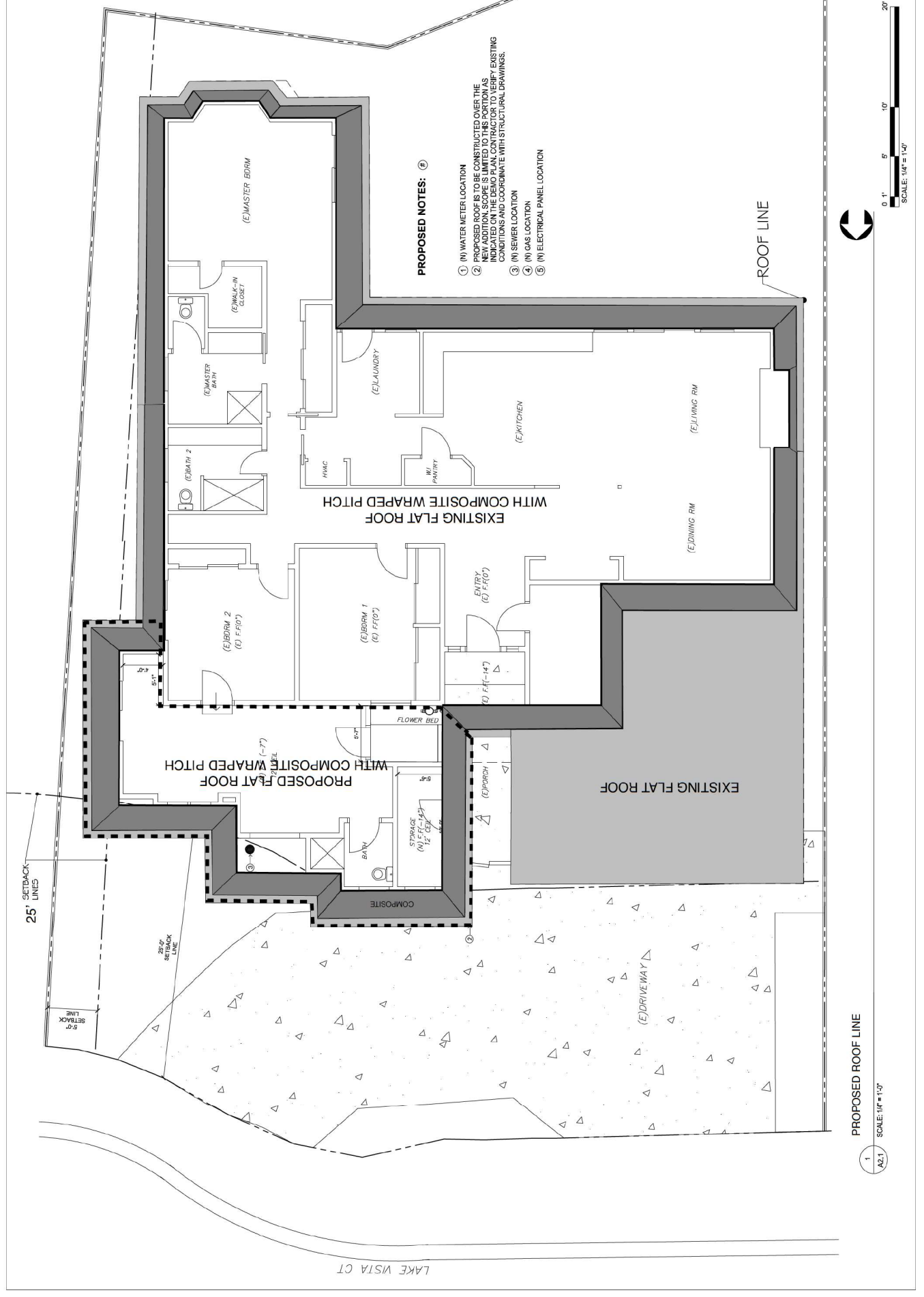
DRAWING BY: JM

RESIDENTIAL ADDITION TO EXISTING SINGLE-FAMILY HOME
 22 LAKE VISTA CT.
 SACRAMENTO, CA 95831

PROPOSED ROOF LINE

SCALE: AS NOTED
 DATE: 08/08/2023
 PROJECT NO: 230204

A4.1



- PROPOSED NOTES:**
- ① (M) WATER METER LOCATION
 - ② PROPOSED ROOF IS TO BE CONSTRUCTED OVER THE EXISTING ROOF. SEE STRUCTURAL DRAWINGS INDICATED ON THE PERMITS PLAN CONTRACTOR TO VERIFY EXISTING CONDITIONS AND COORDINATE WITH STRUCTURAL DRAWINGS.
 - ③ (M) SEWER LOCATION
 - ④ (M) GAS LOCATION
 - ⑤ (M) ELECTRICAL PANEL LOCATION



0 1' 5' 10' 20'

SCALE: 1/4" = 1'-0"

PROPOSED ROOF LINE

1
 A2.1 SCALE: 1/4" = 1'-0"

April, 2026

The City of Sacramento
Community Development Department

Dear Design Reviewer:

We write in support of Angie and Jerry's permit application to add a guest suite to the front of their home at 22 Lake Vista Court. We appreciate them as neighbors, we support their long term planning for Mama Wei's care, and their own plans to stay and age in our community.

We have seen the proposed design of their home addition, including the minor modification they are seeking. We believe that it still maintains the current look and feel of their home and our street. We support their request for a deviation at the Director's hearing on April 23rd.

We urge you to support their permit application and thank you for the work you do.

Sincerely,

A solid black rectangular redaction box covering the signature area.

Martha Diaz

1 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department


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Sincerely,

A large black rectangular redaction box covering the signature of the sender.

Roger Willms and Ron Robinett

6 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department

Dear Design Reviewer:

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Sincerely,



Rafiq and Sojeila Sheikh

10 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department

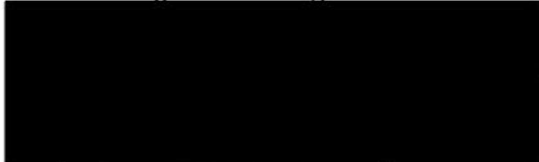
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We urge you to support their permit application and thank you for the work you do.

Sincerely,



Dede and Atif Wardany)

30 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department

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We urge you to support their permit application and thank you for the work you do.

Sincerely,

A large black rectangular redaction box covering the signature of Chaundra Bailey.

Chaundra Bailey

29 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department

Dear Design Reviewer:

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Sincerely,

A large black rectangular redaction box covering the signature of Roz Yee.

Roz Yee

26 Lake Vista Court

Sacramento, CA 95831

April, 2026

The City of Sacramento
Community Development Department

Dear Design Reviewer:

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We urge you to support their permit application and thank you for the work you do.

Sincerely,



Phyllis Mills and Sharon Leonard

21 Lake Vista Court

Sacramento, CA 95831

I have lived across the street from this beautiful home for 46 years and I appreciate these changes !!

