

**CITY OF SACRAMENTO  
COMMUNITY DEVELOPMENT DEPARTMENT  
DIRECTOR HEARING  
300 Richards Blvd, 3rd Floor, Sacramento, CA 95811**

**STAFF RECOMMENDATION**

Staff recommends the Design Director approve with conditions the Site Plan and Design Review for the construction of a 1,405-square-foot single-unit dwelling with a 277-square-foot attached garage and the removal of one Private Protected Tree for a project known as file **DR25-217**. Draft Findings of Fact and Conditions of Approval for the project are included below.

**Requested Entitlements:**

1. **Environmental Determination:** Categorically Exempt per CEQA Guidelines Section 15303 – Construction of Small Facilities or Structures.
2. **Site Plan and Design Review** to construct a 1,405-square-foot single-unit dwelling with a 277-square-foot attached garage.
3. **Tree Permit** to remove one Private Protected tree.

Location: 3813 15th Avenue, Sacramento, CA 95820 (District 5)

Assessor's Parcel Number: 020-0062-020-0000

Applicant/Property Owner: Zak Lisetsky, Skyline Design Build Inc  
6330 Fountain Square Drive, #3984, Citrus Heights CA 95621

Project Planner: Kevin Valente, Contract Planner, (916) 372-6100

General Plan Designation: Neighborhood  
Community Plan Area: Fruitridge/Broadway  
Zoning: Single-Unit Dwelling Zone (R-1)  
Design Review Area: Oak Park SPDR  
Existing Land Use of Site: Single-Unit Dwelling with Detached Garage/Shed

**Surrounding Zoning and Land Use:**

|        |       |  |
|--------|-------|--|
| North: | (R-1) | Single-Unit Dwelling   |
| South: | (R-1) | Single-Unit Dwelling   |
| East:  | (R-1) | Vacant, with Proposed Single-Unit Dwelling Currently Under Review (DR25-221) |
| West:  | (R-1) | Single-Unit Dwelling   |

Site Information:

|                      |           |
|----------------------|-----------|
| Property Size:       | 0.12 acre |
| Topography:          | Flat      |
| Street Improvements: | Existing  |
| Utilities:           | Existing  |

Setback Information:

| Parcel:         | Required: | Proposed: |
|-----------------|-----------|-----------|
| South (Front)   | 25 ft     | 25 ft     |
| West (Interior) | 5 ft      | 5 ft      |
| East (Interior) | 5 ft      | 5 ft      |
| North (Rear)    | 5 ft      | 40 ft     |

Development Standards:

| Parcel:                  | Required:       | Proposed: |
|--------------------------|-----------------|-----------|
| Density (min 3 du/acre)  | 0.36 du         | 1 du      |
| Height (Per 17.600.145A) | 35 ft           | 17 ft     |
| Lot Coverage             | 40% or 2,500 sf | 38%       |

Background/Analysis:

The project site consists of a 0.12-acre parcel located at 3813 15<sup>th</sup> Avenue in the Fruitridge/Broadway Community Plan Area. The project is surrounded by single-unit dwellings to the north, south, east, and west.

The project proposes developing the parcel with a 1,405-square-foot single-unit dwelling and a 277-square-foot attached garage. The single-unit dwelling would have a maximum height of 17 feet, consistent with the 35-foot maximum of the R-1 zone. Additionally, the proposed project also includes the demolition of the existing 768-square-foot residence.

All existing structures on the project site are proposed to be demolished under a Preservation Review Request (PRR) application. The Preservation Director has made a preliminary determination that the structure is not eligible as a historical resource for CEQA purposes, nor for listing in the Sacramento Register; therefore, the Preservation Director will not oppose demolition.

This application includes the construction of a detached ADU. References to the ADU within this staff report are for informational purposes only. The review authority for this application shall exclude consideration of the ADU pursuant to Government Code Section 66317(a). The ADU will, instead, be evaluated ministerially and subsequently through the City's building permit review process. A certificate of occupancy for ADUs is not issued until the accompanying primary dwelling(s) has been constructed.

The proposed residence incorporates a variety of materials, planar changes, and roof heights to satisfy the Oak Park Design Guidelines. The proposed building will have dimensional composition roofing and a stucco exterior.

Overall, staff finds the proposed building and site improvements consistent with the Fruitridge/Broadway Community Plan.

The project was routed to all applicable city agencies, county departments, and utility agencies on February 13, 2026. Comments received have been incorporated into conditions of approval or advisory notes below.

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on June 4, 2026. The Oak Park neighborhood Association, Preservation Sacramento, South Oak Park Community Association neighborhood advisory groups were also notified of the project. As of the drafting of this report, staff have not received any comments.

### *Tree Permit*

Pursuant to Sacramento City Code (SCC) chapter 12.56, the removal of private protected trees requires a tree permit. According to the Arborist Report prepared by Acorn Arboricultural Services Inc., dated February 6, 2026, and related exhibits, this project proposes to remove one private protected tree:

Tree #51 – Hackberry – 39 in DSH

The tree is proposed for removal because it conflicts with the most reasonable placement of the proposed residence. The applicant has requested a replacement waiver per Sacramento City Code 12.56.060. The reason for the requested waiver is that the tree has basal decay and uncorrectable structural defects in the canopy. Urban Forestry supports the replacement waiver for the reasons provided.

### **Environmental Considerations:**

The project is determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 3, Section number 15303A (New Construction or Conversion of Small Structures), in which one single-family residence, or a second dwelling unit in a residential zone are exempt. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

### **200-Year Flood Protection:**

The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Reports accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

### **Recommended Determination:**

As designed, the project meets all applicable development standards for the R-1 zone and the architectural design standards for single-unit dwelling design guidelines. This project has no deviations to Title 17 or the Design Guidelines and would have been approved at staff level if not for the tree removal. The planning staff supports the project and recommends approval of demolishing the existing dwelling, constructing a new single-unit dwelling and removal of one Private Protected tree.

### **Draft Findings of Fact:**

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan designation of Neighborhood and any applicable specific plan or transit village plan; and

2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards; and
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards; and
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood; and
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged; and
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance.
7. **The Tree Permit** for the removal of one private protected tree **is approved** based on the following Findings of Fact:
  - a. The location of the one private protected tree conflicts with the most feasible placement of the proposed residence.
  - b. Urban Forestry approves the requested replacement waiver on the basis that the tree meets the criteria for removal per Sacramento City Code 12.56.050.B.1.b.
8. The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Reports accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

### **Draft Conditions of Approvals:**

#### **Planning / Design Review**

1. The proposed development shall be constructed per the approved plans.
2. Provide the following building materials for the single-family residence as indicated by the approved plan:
  - a. Minimum 30-year dimensional composition roofing
  - b. Smooth finished stucco exterior (at all elevations)
  - c. Decorative raised panel fiberglass entry door with integrated windows (at north elevation)
  - d. Decorative raised panel garage door with integrated windows (at north elevation)
  - e. Vinyl horizontal sliding door with glazing (at south elevation)
  - f. Vinyl single/double hung and horizontal sliding windows (at all elevations)

- g. All trim, sills, fascia boards shall be stucco or fiber cement and painted in a contrasting color (basis of color – Sherwin Williams SW 7032 Warm Stone) (at all elevations)
  - h. Gutters and downspouts (at all elevations)
3. All residential mechanical equipment must be ground-mounted and cannot be placed within the front or street-side yards. The equipment shall be screened from street view using fencing, landscaping, or an architecturally integrated screen wall.
  4. Any new or relocated electrical service panels shall not be placed on any street facing elevation and must be screened from street view when located on the interior side yard of the structure.
  5. There shall be a minimum of one tree planted in the front yard. Tree shall be a new 15 gallon minimum large canopy tree species. See Free Shade Tree Program ([Free Shade Tree Program](#)).
  6. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
  7. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).
  8. The applicant shall obtain all necessary building permits prior to commencing construction.
  9. This approval shall expire in three years from the approval date.

*General conditions*

10. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.
11. A photometric plan shall be provided in building permit submittal. Any new building mounted lighting shall occur subject to final review and approval by Planning staff.
12. All HVAC units shall be screened from view either behind a parapet wall or behind a fence or screened by landscaping treatments subject to final review and approval by Planning staff during building permit plan check.
13. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 10-day appeal period. The 10-day appeal period will commence on June 4, 2026.
14. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
15. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).
16. This approval shall expire in three (3) years from the approval date.

## Urban Forestry – Tree Permit Conditions

17. **General Tree Protection** – The applicant shall include the following Tree Preservation Measures in the General Notes, Grading Plans, Utility Plans, Demolition Plan, Landscape Plan and the offsite plans if the trees will be impacted by work proposed on each sheet.

### Required Tree Preservation Measures for City and Private Protected Trees

1. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Qualified Arborist. Submit a tree permit application and a tree protection plan created by a Qualified Arborist to [UrbanForestry@cityofsacramento.org](mailto:UrbanForestry@cityofsacramento.org) and refer to the planning project number or off-site project number.
2. All excavation, grading or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excitation, pneumatic excavation or hand digging and shall be directly supervised by a qualified arborist.
3. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids and any other activities that may have negative impacts on the trees and soil.
4. The applicant shall be financially responsible for any damage to the city trees associated with the project. Accidental or negligent actions that damage city trees may result in a penalty. The monetary value of any such damages will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.

### Advisory Notes:

1. DOU: All stormwater and surface runoff drainage impacts resulting from new impervious areas (such as but not limited to roof areas, driveway, paving, etc.) shall be subject to drainage mitigation as specified in the current Onsite Design Manual and/or the Design and Procedures Manual. Drainage mitigation shall be accomplished by: (1) conforming to a City approved Drainage Study or Master Plan, (2) providing onsite drainage detention, or (3) payment of in-lieu fees (applies only in the CSS). Applicant is advised to contact the City of Sacramento Department of Utilities Development Review Section (916-808-7890) or [DOUDevelopmentReview@cityofsacramento.org](mailto:DOUDevelopmentReview@cityofsacramento.org) at the early planning stages to address any onsite drainage related requirements.

**ATTACHMENTS:**

Exhibit A: Site Plan, Floor Plan, Elevations

Exhibit B: Existing Photos

Exhibit C: Preservation Review Request (PRR)

Exhibit D: Arborist Report

*Kevin Valente*

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Kevin Valente, AICP  
Contract Planner

  
Matthew Sites (May 29, 2026 13:15:52 PDT)

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Matthew Sites, AIA, LEED AP  
Senior Architect

**PROJECT INFORMATION**

**HOME OWNER:**  
**#Client Full Name**  
**#Client E-mail**  
**#Client Phone Number**

**DESIGNER:**  
 Skyline Design and Consulting Inc.  
 Oleg Lisetsky  
 (916) 584-0978  
 oleg@skylinebuildinc.com

**CONTRACTOR:**  
 Skyline Design Build Inc.

**ENGINEERING:**  
 Fred Mueller  
 (916) 813-5877  
 fcm1234@aol.com

**Title 24:**  
 Same as Designer

**1. SITE ADDRESS**

3813 15th Ave  
 Sacramento, CA 95820

**2. PARCEL #: 020-0062-020-0000**

**3. BUILDING AREA:**  
**EXISTING TO BE DEMOED: 768 SF**  
 — 1 — 1ST FLOOR: 1,405 SF  
 — 2 — GARAGE: 578 SF  
 — 3 — ADU: 418 SF

**TOTAL LIVING AREA w/o ADU:**  
 1,823 SF  
**TOTAL FOOTPRINT w/ ADU:**  
 2,401 SF

**4. SITE AREA: 5227 sq ft / 0.12 acres**

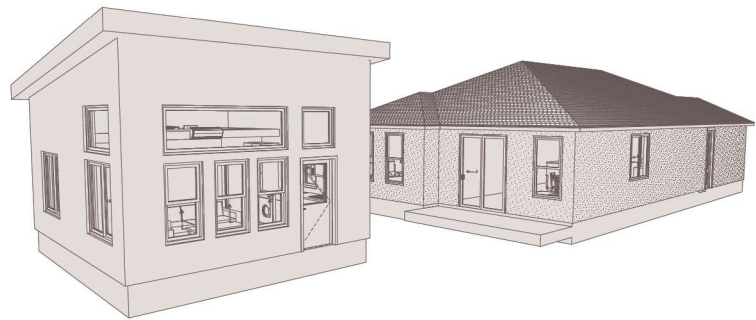
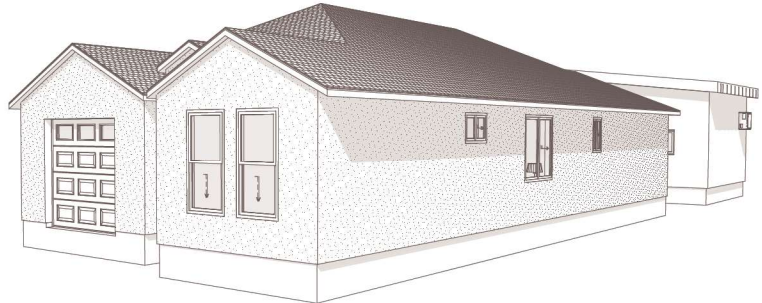
**5. LOT COVERAGE: 45.93%**

**6. ZONING: R1**

**7. CONSTRUCTION TYPE: V-B**  
**OCCUPANCY: R3/U**  
**FIRE SPRINKLER: YES**  
**WUI: N/A**  
**SOLAR: YES**

**8. JOB SCOPE:**  
 New Construction SFD with 3 bed and 2 bath and a single car garage. An ADU with 1 bedroom in rear of property.

| SHEET INDEX                     |                             |
|---------------------------------|-----------------------------|
| <b>General Drawings</b>         |                             |
| G-001                           | Cover Sheet                 |
| G-002                           | 2022 Residential Plan Notes |
| G-003                           | Site Pictures               |
| <b>Architectural Site Plans</b> |                             |
| AS-001                          | Architectural Site Plan     |
| <b>Floor Plans</b>              |                             |
| A-101                           | First Floor Plans           |
| A-102                           | ADU Plan                    |
| <b>Elevations</b>               |                             |
| A-201                           | Exterior Elevations         |
| A-202                           | ADU Exterior Elevations     |
| <b>Structural Drawings</b>      |                             |
| S-001                           | Foundation Plan             |
| S-002                           | Roof Plan                   |
| SN-1                            | Structural Notes            |
| SN-2                            | Structural Notes            |
| SD-1                            | Structural Details          |
| <b>MEP Drawings</b>             |                             |
| A-801                           | Electrical Plan             |
| A-802                           | T-04                        |
| A-803                           | T-24                        |
| A-804                           | Green Building Code         |
| A-805                           | Green Building Code         |



ENTIRE RESIDENCE/GARAGE IS REQUIRED TO HAVE A FIRE SPRINKLER SYSTEM INSTALLED, WILL BE A DEFERRED SUBMITTAL AND ISSUED BY LOCAL FIRE JURISDICTION.

SOLAR DESIGN AND CALCULATIONS WILL BE A DEFERRED SUBMITTAL TO LOCAL POWER COMPANY AS REQUIRED.

REFERENCE PUBLICATIONS FOR THIS PROJECT ARE:  
 2022 California Building Code  
 2022 California Residential Code  
 2022 California Mechanical Code  
 2022 California Electrical Code  
 2022 California Plumbing Code  
 BASED ON THE 2022 International Building Code.  
 2022 CALIFORNIA GREEN STANDARDS CODE.  
 2022 ENERGY STANDARDS  
 2022 California Fire Code

AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.

| STRUCTURAL DESIGN CRITERIA            |                             |
|---------------------------------------|-----------------------------|
| <b>A. FLOOR AND ROOF LOADS</b>        |                             |
| 1. ROOF LL.....                       | 20 PSF                      |
| 2. ROOF DL.....                       | 15 PSF                      |
| 3. FLOOR LL.....                      | 40PSF                       |
| 4. FLOOR DL.....                      | 10PSF                       |
| <b>B. SNOW LOAD</b>                   |                             |
| 1. GROUND SNOW LOAD.....              | 0 PSF                       |
| <b>C. WIND LOAD</b>                   |                             |
| 1. DESIGN WIND SPEED.....             | 93.6 MPH                    |
| 2. ASD DESIGN WIND SPEED.....         | 73.6 MPH                    |
| 3. WIND EXPOSURE.....                 | CATEGORY B                  |
| 4. INTERNAL PRESSURE COEFFICIENT..... | 0.18                        |
| <b>D. SEISMIC LOAD</b>                |                             |
| 1. SEISMIC DESIGN CATEGORY.....       | CATEGORY D                  |
| S <sub>s</sub> =0.65                  | S <sub>1</sub> =0.24        |
| S <sub>0.5</sub> =0.505               | S <sub>w</sub> =0.832       |
| V=6092#                               | R=5.5                       |
| 2. SITE SOIL CLASS.....               | CLASS D                     |
| 3. IMPORTANCE.....                    | 1                           |
| 4. RISK CATEGORY.....                 | 1                           |
| 5. ANALYSIS.....                      | EQUIVALENT LATERAL ANALYSIS |
| 6. RESISTING SYSTEM(S)                | WOOD DIAPHRAGM & SHEARWALLS |
| <b>E. FOUNDATION</b>                  |                             |
| 1. NO FOUNDATION REPORT               |                             |
| 2. LOAD BEARING CAPACITY: 1,500 PSF   |                             |



2025 Liability  
 EMAIL: info@skylinebuildinc.com  
 PHONE: 415-480-4807  
 6330 Fountain Square Dr, Unit 3864  
 Citrus Heights, CA 95621

*[Signature]*  
 DATE: 4/13/2026

STAMPS AND SIGNATURES

3813 15th Ave SFD

3813 15th Ave  
 Sacramento CA 95820

Cover Sheet

PROJECT NO: 89  
 DRAWN BY: Oleg Lisetsky  
 COPYRIGHT:  
 Skyline Build & Design Inc

SHEET TITLE

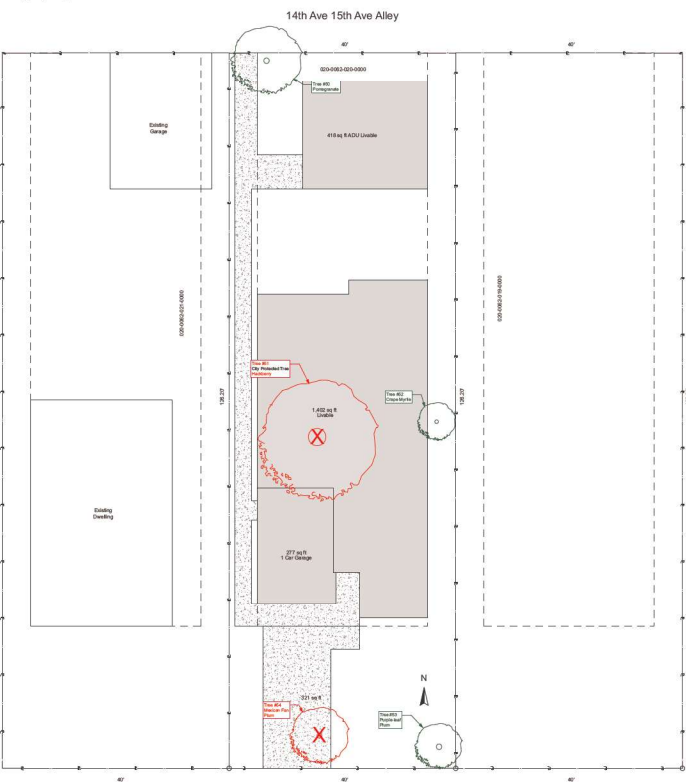
Cover Sheet

G-001

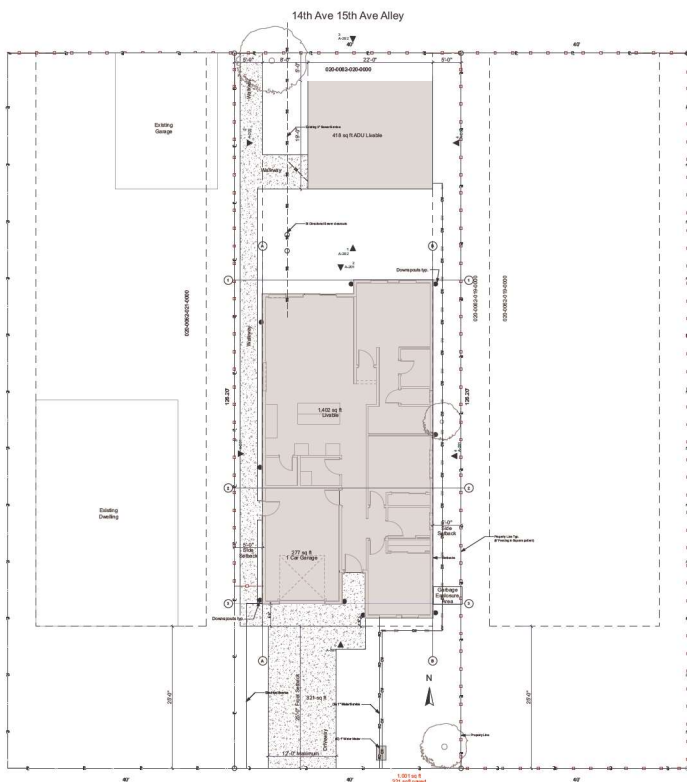
SHEET 1 OF 18

**Required Tree Preservation Measures for City and Private Protected Trees**

1. Any regulated work within the sphere of tree protection zone of a protected tree shall be regulated prior to the start of construction and supervised by a Certified Arborist. Survival is the primary objective and is to be protected and supported by a Certified Arborist.
2. An excavation, grading, or trenching within the sphere of a protected tree for the purpose of utility installation, construction, foundation, building, sidewalk, walkway, driveway, or any other means shall require care of the following methods: (a) excavation, construction, foundation, building, sidewalk, walkway, driveway, or any other means shall be supervised by a Certified Arborist.
3. There shall be no excavation, grading, or trenching within the sphere of a protected tree.
4. There shall be no grading, paving, or any other means within the sphere of a protected tree.
5. There shall be no grading, paving, or any other means within the sphere of a protected tree.
6. There shall be no grading, paving, or any other means within the sphere of a protected tree.
7. There shall be no grading, paving, or any other means within the sphere of a protected tree.
8. There shall be no grading, paving, or any other means within the sphere of a protected tree.
9. There shall be no grading, paving, or any other means within the sphere of a protected tree.
10. There shall be no grading, paving, or any other means within the sphere of a protected tree.



Site (2) 1/8" = 1'-0"



Site 1/8" = 1'-0"



3813 15th Ave SFD  
 3813 15th Ave  
 Sacramento CA 95820

DATE: 4/13/2026

STAMPS AND SIGNATURES

PROJECT NO: 89

DRAWN BY: Oleg Lisetsky

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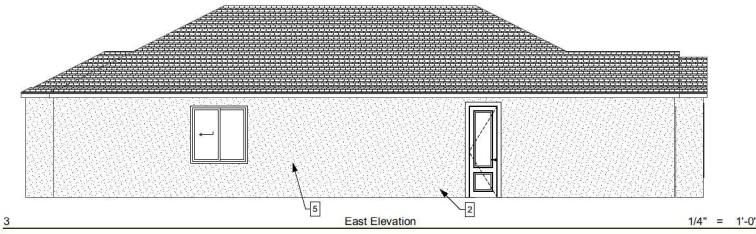
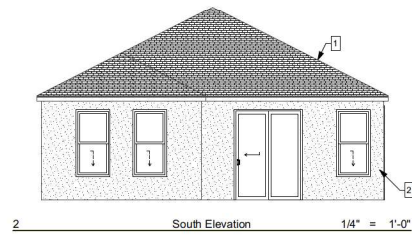
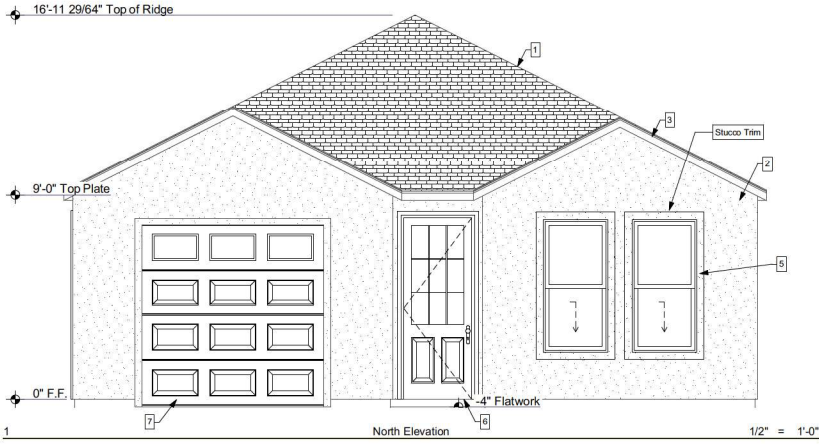
SHEET TITLE

Architectural Site Plan

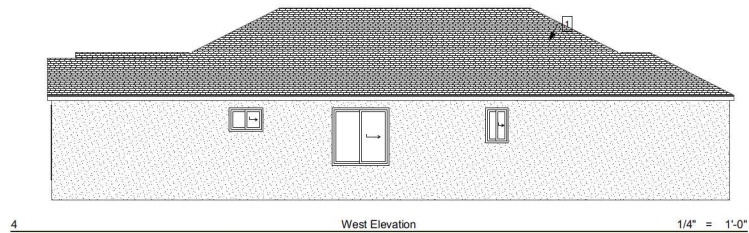
AS-001

SHEET 4 OF 18

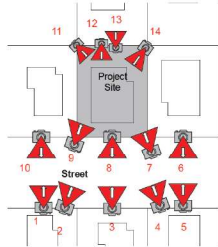




- EXTERIOR FINISHES**
1. ROOFING: GAF Timberline HDZ RS - Sagewood
  2. Stucco Body Color: Omega Smooth Stucco - Mist
  3. Trim Colors: Sherwin Willaims - Warm Stone SW 7032
  4. Gutters: K-Style, bronze gutters and square downspouts
  5. Windows: White Vinyl Windows
  6. Front Door: Medium Oak - Fiberglass Door
  7. Garage Door: White Garage Door







3813 15th Ave SFD  
 3813 15th Ave  
 Sacramento CA 95820

DATE: 4/13/2026

STAMPS AND SIGNATURES

3813 15th Ave SFD

3813 15th Ave  
 Sacramento CA 95820

Site Pictures

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 SHEET TITLE

Site Pictures

G-003

SHEET 3 OF 18

## Preservation Review Request (PRR)

This form is used pursuant to the City of Sacramento's Planning & Development Code, section 17.604.600, to review all structures that are 50-years old or older for historic eligibility prior to approving demolition, relocation, or alteration of the structure.

### PAGE 1 TO BE COMPLETED BY PLANNING STAFF

#### Section 1: Age Determination

| Yes   | No                    |   |
|---|-----------------------|---|
| <input type="radio"/>   | <input type="radio"/> | 1. The project proposes demolition or alteration of a building 50 years old or older. |
| <i>If you answered YES to question 1, a Preservation Review Request (PRR) form is required.</i> |                       |   |

#### Section 2: Project Information

|                             |                  |
|-----------------------------|------------------|
| Application Number:         | DR25-217         |
| Address:                    | 3813 15th Avenue |
| Date Application Submitted: | 11.13.25         |
| Assigned Planner:           | Kevin Valente    |

#### Section 3: Project Scope

| Type of Structure:  | Scope of Work:   |
|---|--|
| <input type="checkbox"/> Accessory  | <input checked="" type="checkbox"/> Demolition and New Construction                  |
| <input checked="" type="checkbox"/> Residential (1 or 2 units)              | <input type="checkbox"/> Demolition of ACCESSORY STRUCTURE ONLY and New Construction |
| <input type="checkbox"/> Commercial (3+ units, other commercial/industrial) | <input type="checkbox"/> Residential Addition/Alteration                             |
| <input type="checkbox"/> Other – Description: _____                         | <input type="checkbox"/> Commercial Addition/Alteration                              |
|   | <input type="checkbox"/> Other – Description: _____                                  |

#### Section 4: Historic Eligibility Information

When a project involves the demolition or significant alteration of a building over 50 years old, the City is required to consider whether that building (or the area around it) might qualify as a historic resource. This determination is based on criteria in Sacramento City Code Section 17.604.210, the California Register, and by the National Register. Staff must determine if the property:

- Is associated with **significant events** that contribute to the broad patterns of local, regional, state, or national history.
- Is connected to **significant individuals** whose lives or work had an important impact on the community or beyond.
- Represents **distinctive architecture or construction**, embodies the characteristics of a type, period, or method of construction, or is the work of a recognized master or artisan.
- Has the **potential to provide important information** about Sacramento's history, architecture, or prehistory.

These criteria help ensure that decisions about demolition or alteration are informed by an understanding of what makes a place significant. Staff use this initial review to identify whether further study or preservation measures may be appropriate.

**PAGE 2 TO BE COMPLETED BY THE PRESERVATION DIRECTOR  
HISTORIC RESOURCE PRELIMINARY EVALUATION**

**Section 5: Project Type**

|                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <p><b>Project is part of a discretionary development proposal (e.g. SPDR entitlement).</b><br/><i>Attach completed DRPR to Record of Decision. Refer to Section 6 below.</i></p>  |
| <input type="checkbox"/>            | <p><b>Project is part of a ministerial review (e.g. ADU applications).</b><br/><i>Route to Preservation Director prior to completing Record of Decision. Attach completed DRPR to Record of Decision. Refer to Section 5 below.</i></p> |

**Section 6: Preservation Director's Determination**

|                                     |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | <p><b>PROPOSED WORK COMPLIES WITH HISTORIC STANDARDS:</b><br/><i>Therefore, regardless of whether the property includes a historical resource, there would not be a significant impact on any historical resources for CEQA purposes.</i></p>   |
| <input checked="" type="checkbox"/> | <p><b>NOT ELIGIBLE:</b><br/><i>The Preservation Director has made a preliminary determination that the structure is NOT ELIGIBLE as a historical resource for CEQA purposes, nor for listing in the Sacramento Register (preliminary determination expires in 3 years).</i></p>   |
| <input type="checkbox"/>            | <p><b>ELIGIBLE:</b><br/><i>The Preservation Director has made a preliminary determination that the structure IS ELIGIBLE as a historical resource for CEQA purposes and may be eligible as a historic resource for listing in the Sacramento Register. <u>Project requires evaluation for compliance with historic standards or for possible impacts to historical resources and additional environmental review.</u></i></p>                         |
| <input type="checkbox"/>            | <p><b>EVALUATION OR REVISIONS NEEDED:</b></p> <ul style="list-style-type: none"> <li><i>The Preservation Director has determined that additional research on the history and potential significance of the structure is required in order to make a preliminary determination.</i></li> <li><i>Alternatively, the project shall be revised to meet the Secretary of the Interior's Standards for the Treatment of Historic Properties.</i></li> </ul> |
| <input type="checkbox"/>            | <p><b>THE 45-DAY REVIEW PERIOD HAS EXPIRED:</b><br/><i>The property is deemed not eligible for listing in the Sacramento Register.</i></p>  |

Notes:

Preservation Director's Signature:

*Lu de C...*

Date:

**12/08/2025**



## ARBORIST REPORT

February 6, 2026

Skyline Design Build, Inc.  
6330 Fountian Square Dr. Unit 3984  
Citrus Heights, CA 95611

**Re: 3813 15<sup>th</sup> Avenue, Sacramento CA, APN 020-0062-020**

This report covers the inventory of the trees on or overhanging the above referenced site. All trees that have at least one stem 4-inches in diameter or greater have been included and were identified with round stamped aluminum tags. The numbers correspond to the report and are listed near the locations rough plotted on the site plan (see page 3).

The data was collected on February 2, 2026, and included species, diameter standard height (DSH), dripline radius (DLR), tree condition, protected status and notable characteristics for all trees (see inventory summary page 2). The tree's overall structural condition and vigor were separately assessed ranging from poor to good based upon the observed characteristics noted within the tree. Ratings are subjective and are dependent upon both the structure and vigor of the tree. The vigor rating considers factors such as the size, color and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency and insect infestation. The structural rating reflects the root crown /collar, trunk and branch configurations; canopy balance; the presence of included bark, weak crotches and other structural defects and decay. In the City of Sacramento native oaks 12-inches in diameter of greater are protected and any species 24-inches or greater on an undeveloped lot or 32-inches or greater on private property that includes any single unit or duplex dwelling. Five trees were found on or overhanging the site with 69 aggregate diameter inches. One of the trees meets the criteria for Private Protected Tree but is recommended for removal due to the extent of the defects.

The Inventory Summary is intended to provide Skyline Design Build, Inc., the City of Sacramento, and other members of the development team with a detailed pre-development review of the species, size, current structure and vigor of the trees found on or overhanging the site. The City of Sacramento regulates both the removal of protected trees and the encroachment of construction activities within the Tree Protection Zones. A tree permit and/or additional development authorization should be obtained from the City of Sacramento prior to proceeding with the proposed project. All terms and conditions of the tree permit and/or other Conditions of Approval are the sole and exclusive responsibility of the project applicant.

If you have any questions or require clarification, please feel free to contact me.

A handwritten signature in black ink that reads "Wayne McKee".

Wayne McKee  
ISA Certified Arborist WE 0959A, 1992  
ISA Tree Risk Assessment Qualified, 2022  
B S Forestry, Humboldt State University, 1983

**Skyline Design Build, Inc.**  
**3813 15th Avenue**  
**City of Sacramento, CA**  
**APN 020-0062-020-000**  
**TREE INVENTORY SUMMARY**

| Tree # | COMMON NAME      | SPECIES                     | MULTI-STEMS (inches) | TOTAL DSH (inches) | DLR (feet) | CONDITION    |              | CITY PROTECTED TREE | NOTABLE CHARACTERISTICS   |
|--------|------------------|-----------------------------|----------------------|--------------------|------------|--------------|--------------|---------------------|---|
|        |                  |                             |                      |                    |            | STRUCTURE    | VIGOR        |                     |   |
| 50     | pomegranate      | <i>Punica granatum</i>      | 4,6                  | 8                  | 5          | poor to fair | poor to fair | no                  | Severely pruned in the past with heading cuts and resulting sprout growth, above average deadwood.  |
| 51     | hackberry        | <i>Celtis sinensis</i>      | 16,20,21             | 39                 | 26         | poor         | poor to fair | yes                 | Large basal cavity with significant decay and hollowing between the southerly and central stems, severely pruned in the past with heading cuts at 15 feet above grade with resulting sprout growth and decay in the exposed wood of the cuts, callusing trunk wounds various locations, above average amount of deadwood. - <b>Removal recommended.</b> |
| 52     | crape myrtle     | <i>Lagerstroemia indica</i> |                      | 4                  | 4          | poor to fair | fair         | no                  | Callusing basal wounds with exposed wood.   |
| 53     | mexican fan palm | <i>Washingtonia robusta</i> |                      | 12                 | 8          | fair         | fair         | no                  | None.   |
| 54     | purple-leaf plum | <i>Prunus cerasifera</i>    |                      | 6                  | 8          | fair         | fair         | no                  | Measured at 3 feet above grade forks above.   |

|   |
|---|
| <b>Total Inventoried Trees = 5 (69 aggregate diameter inches)</b><br><b>City Protected Trees = 1 (39 aggregate diameter inches)</b> |
|---|



**SKYLINE**  
DESIGN BUILDING

DATE: 10/27/2025

DATE: 10/27/2025

STAMPS AND SIGNATURES

3813 15th Ave SFD

3813 15th Ave  
Sacramento CA 95820

# Architectural Site Plan

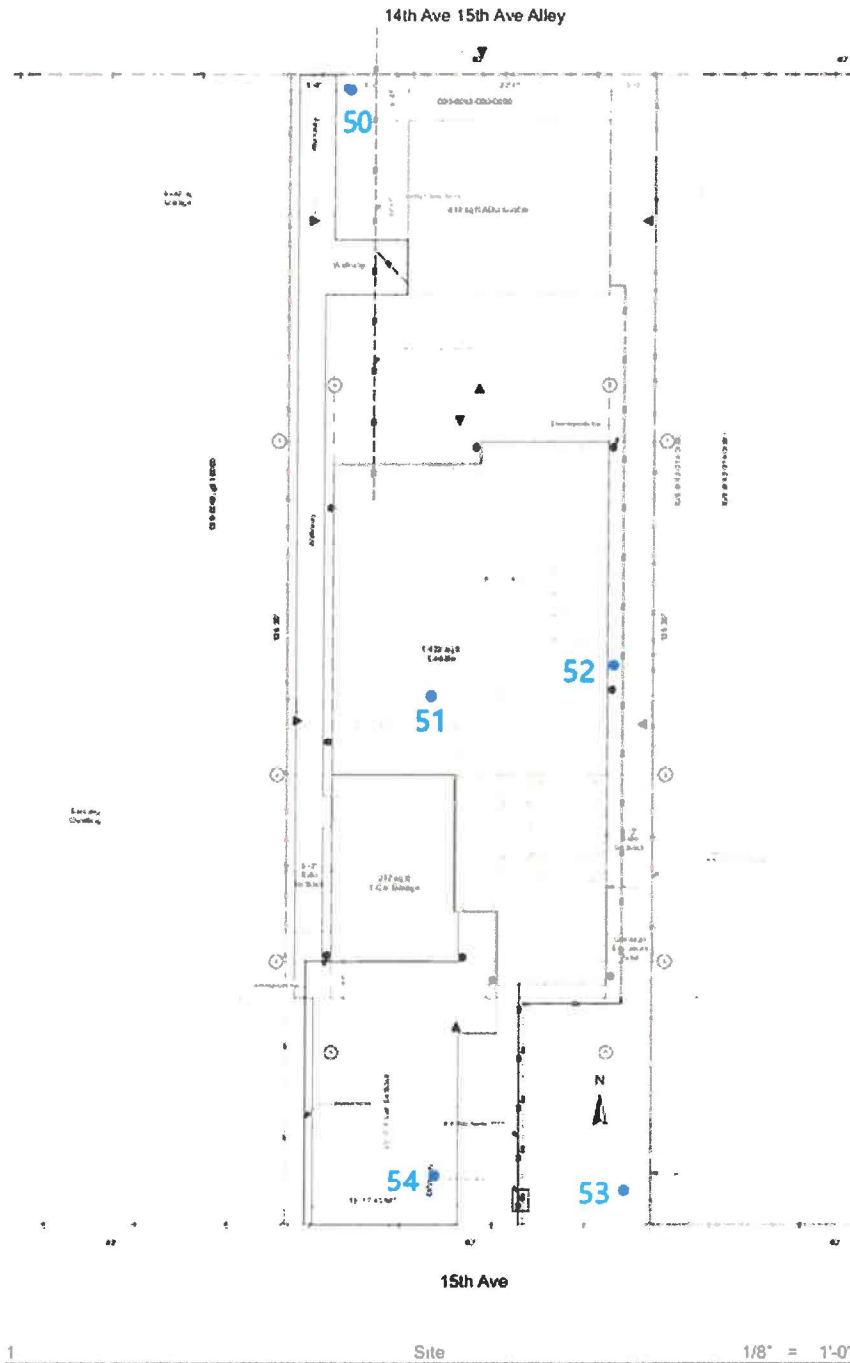
PROJECT NO. BY  
DRAWN BY: [Signature]  
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Skyline East & Outer LLC

SHEET TITLE

Architectural Site Plan

## AS-001

SHEET 4 OF 18



## DEFINITIONS

|                          |   |
|--------------------------|---|
| Tree Number:             | Corresponds to aluminum tag attached to the tree.   |
| Species Identification:  | Scientific and common species name.   |
| Diameter (DSH):          | Diameter at standard height means the diameter of a tree measured at 4.5 feet above natural grade, except: for a tree that branches at or below 4.5 feet, DSH means the diameter at the narrowest point between the grade and the branching point. Or, for a tree with a common root system that branches at the ground, DSH means the sum of the diameter of the largest trunk and one-half the cumulative diameter of the remaining trunks at 4.5 feet above natural grade. |
| Dripline radius (DLR):   | A radius equal to the horizontal distance from the trunk of the tree to the end of the farthest most branch tip prior to any cutting.   |
| Protected Area:          | Generally, a circle equal to the largest radius of a protected tree's dripline.   |
| Root Crown:              | Assessment of the root crown/collar area located at the base of the trunk of the tree at soil level.  |
| Trunk:                   | Assessment of the tree's main trunk from ground level generally to the point of the primary crotch structure.   |
| Limbs:                   | Assessment of both smaller and larger branching, generally from primary crotch structure to branch tips.  |
| Foliage:                 | Tree's leaves.  |
| Overall Condition:       | Describes overall condition of the tree in terms of structure and vigor.  |
| City Tree                | means any tree the trunk of which, when measured 4.5 feet above ground, is partially or completely located in a city park, on real property the city owns in fee, or on a public right-of-way, including any street, road, sidewalk, park strip, mow strip, or alley.   |
| Private Protected Tree:  | Native oaks 12-inches in diameter of greater are protected and any species 24-inches or greater on an undeveloped lot or 32-inches or greater on private property that includes any single unit or duplex dwelling.   |
| Tree Permit              | Means a permit to conduct regulated work on or around a city tree or private protected tree.  |
| Notable Characteristics: | Observed characteristics such as leaning or bending trunks, instability, defects, deadwood accumulation, foliage density, or canopy distribution.   |

## **ASSUMPTIONS AND LIMITING CONDITIONS**

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
2. The consultant shall not be required to give a deposition and/or attend court by reason of this report unless subsequent contractual arrangements are made in advance, including payment of an additional fee for such services according to our standard fee schedule, adjusted yearly, and terms of the subsequent contract of engagement.
3. Loss or alteration of any part of this report invalidates the entire report. Ownership of documents produced passes to the Client only when all fees have been paid. Possession of this report or a copy thereof does not imply the right of publication or use for any purpose other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant.
4. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written or verbal consent of the consultant.
5. This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
6. Sketches, diagrams, graphs, drawings and photographs within this report are intended as visual aids and are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
7. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, or probing unless otherwise stated.
8. This report is based on the observations and opinions of Wayne McKee, and does not provide guarantees regarding the future performance, health, vigor, structural stability or safety of the plants described herein. Neither this author nor Acorn Arboricultural Services, Inc. assume any responsibility for liability associated with the trees on or adjacent to this property, their future demise and/or any damage which may result therefrom.