

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommend the Zoning Administrator and Design Director approve, with conditions, a Conditional Use Permit Major Modification and Site Plan and Design Review, for the project known as **Z25-022, 6301 Elder Creek Road**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Conditional Use Permit Major Modification** to expand a previously approved Assembly—cultural, social, religious use for a 3,457 square foot new sanctuary building on a 1.59-acre parcel within the Single-Unit Dwelling (R-1) zone.
2. **Site Plan and Design Review** to review the construction of an approximately 3,457 square foot sanctuary building facility and associate site improvements with a deviation to waive the wall requirements in the Single-Unit Dwelling (R-1) zone.

PROJECT INFORMATION

Location: 6301 Elder Creek Road
Parcel Number: 038-0202-012-0000
Council District: 6
Applicant: Tuan Phan, Vietnamese Hope Baptist Church
6301 Elder Creek Road
Sacramento, CA 95819
Property Owner: Hoang Dang
6301 Elder Creek Road
Sacramento, CA 95824
Project Planner: Michael Crampton, Assistant Planner, (916) 808-8951
Hearing Date: Month Day, 2025

Land Use Information

General Plan Designation: Neighborhood (N)
Community Plan Area: Fruitridge/Broadway
Specific Plan: N/A
Special Planning District: N/A
Planned Unit Development: N/A
Design Review Area: Citywide
Parking District: Traditional

Historic District:	N/A
Existing Land Use of Site:	Religious Facility (Church)
Zoning:	R-1 (Single-Unit Dwelling Zone)

Surrounding Zoning and Land Uses:

North:	R-1	Vacant
South:	R-1	Mobilehome Park
East:	R-1	Vacant
West:	R-1	Religious Facility

Site Characteristics:

Parcel Area:	±1.59-acres (“L” shaped)
Building Size (Existing):	2,800 square feet (Phase 1) and 2,880 square feet (portable)
Building Size (Proposed):	3,547 square feet (Phase 2)
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Other Information

Previous Files:	P09-040, Z13-064, and Z17-003
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ATTACHMENTS

Attachment 1: Plans

PROJECT INFORMATION

BACKGROUND

The project site is located at the northeast corner of Elder Creek Road and 63rd Street and is currently developed with an approximate 2,800 square foot church and 2,880 square foot portable building. The applicant proposes to expand the Assembly—Cultural, Religious, Social use with the construction of a 3,457 square foot sanctuary facility. The project site received a Conditional Use Permit to establish an Assembly use under P09-040 and a special permit was obtained to temporarily expand the use with a portable building under Z13-064. Entitlements for a Conditional Use Permit Major Modification for a 3,457 square foot sanctuary facility were originally approved under Z17-003 but expired in 2022.

The applicant is again seeking an entitlement for a major modification of the Conditional Use Permit to expand the assembly use with the construction of a 3,4547 square foot sanctuary building. In addition, Site Plan and Design Review is required to review the proposed sanctuary building and associated site improvements in adherence to all applicable development standards and design guidelines. The applicant is requesting a deviation to the rear yard setback requirement, and waiver of a nonresidential wall.

PROPOSED PROJECT AND ANALYSIS

The proposed project requires the following entitlements:

Conditional Use Permit (CUP) Major Modification

The applicant seeks to modify the Conditional Use Permit for a religious assembly use to include the addition of a new sanctuary facility. This request requires a public hearing before the Zoning Administrator and Design Director.

Site Plan and Design Review

Site Plan and Design Review is required to evaluate the project against all applicable development standards of the R-1 zone and Sacramento City Code Title 17. The site is currently developed with a sanctuary building and a temporary portable building. The project is proposing the construction of a 3,457 square foot religious sanctuary building and associated site improvements. The site improvements include parking lot paving, landscaping, and fencing.

The property is an L-shaped parcel located at the corner of Elder Creek Road and 63rd Street. The front property line for corner lots is defined as the lot line abutting the narrowest street frontage—defining the property line abutting 63rd Street as the front lot line and Elder Creek Road as the street side setback. With the parcel's orientation defined, the project's setbacks—and other applicable development standards—are listed below in Table 1.

Table 1: Applicable Development Standards			
Standard	Required	Provided	Deviation
Height	Max. 35'	29'-6"	No
Front Setback	20'	237'-3"	No
Rear-Yard Setback	15'	10'-6"*	Yes
		9'-3"***	
Interior Setback***	5'	170'	No
Street-side Setback	12.5'	170'-1.5"	No
Lot Coverage	Greater of 40% or 2,500 square feet	18.5%	No
Floor Area Ratio	0-2.0	0.13	No

* Proposed rear-yard setback of proposed sanctuary building.

** Existing rear-yard setback of temporary portable building on site.

*** Pursuant to SCC 17.204.340(B) if the interior side yard of a lot is adjacent to an R-1 or R-1B-zoned lot or abuts a lot containing a detached single-unit dwelling, the required minimum interior side-yard setback is five feet. The properties to the North are zoned R-1, therefore a five-foot interior side yard setback is required.

There are two deviations proposed—deviations to rear-yard setback standards and deviations from residential wall requirements. Deviations are discussed further in the Rear-yard setback and Fencing section.

The proposed building complements the existing church with the proposal of single-story building with moderately sloped gable roof, tan stucco coat, and vinyl windows.

Pursuant to 2040 General Plan LUP-4.14 and SCC 17.608.030(B), the City shall not require new or existing developments to provide off-street vehicle parking spaces. The project proposes an addition of 23 parking spaces and the southern end of the parcel, adjacent to the proposed sanctuary building, bringing the total number of parking spaces to 52, inclusive of the 29 parking spaces in the northern portion of the site. Projects are not exempt however from minimum bicycle parking standards. A 7-bike bike rack by the new sanctuary building, increasing the total available bicycle parking spaces to 14 bikes.

Pursuant to SCC 17.612.040(B), trees shall be planted and maintained throughout the surface parking facility to ensure that, within 15 years after establishment of the parking facility, at least 50% of the parking facility will be shaded. As shown on plan sheet L-1, five existing trees are proposed to be removed but will be replaced with the planting of 12 new trees. As a result, both the existing and proposed parking facilities will satisfy the 50% tree shading requirement.

Rear-yard setback

The new sanctuary building is proposing a rear-yard setback of 10'-6", where the minimum required rear-yard setback is 15 feet. A deviation to rear-yard setback was granted under Z13-064 when the existing 2,880 square foot portable building was approved with a proposed rear-yard setback of 9'-3". Planning supports the proposed deviation to rear setback requirements as the proposed structure encroaches less into the rear yard setback area than the existing structure on the site. The parcel adjacent to the project (6333 Elder Creek Road) contains a single-unit dwelling, located more than 30 feet from the adjoining property line, providing ample open space between the proposed sanctuary facility and the existing residence. Additionally, the adjacent parcel is also owned by the church.

The existing buildings on the site are oriented towards 63rd Street, aligning with the residences north of the project site (6323-6345 63rd Street), however the proposed sanctuary building will be oriented towards Elder Creek Road, aligning with the residences east of the project site (6333-6407 Elder Creek Road). With the building oriented towards Elder Creek Road, the rear lot line acts more like an interior side lot line. The proposed setback of 10'-6" is compliant with 5'-minimum setback normally applied to interior lot lines.

Fencing

Pursuant to Sacramento City Code 17.620.120, a non-residential parcel abutting a residential zone or use shall provide a minimum 6-foot-high solid wall of masonry, brick, or similar material along all property lines which abut a residential zone or use. There is existing residential development abutting the residential development adjacent to the project's western boundary, which the project will construct a 6-foot high CMU wall until the northern edge of the proposed development.

A deviation for the solid wall requirement is requested along the northern and eastern property lines. There are no residential developments on the northern and eastern property lines, but the adjoining parcels are zoned R-1 and therefore require a solid wall. A deviation to the solid wall requirement for the eastern property line is justifiable because the property to the east is

owned by the church. Regarding the northern property line, a deviation to the solid wall requirement is justifiable because the parcel to the north is large in size and will likely be subdivided into smaller parcels for the construction of new development. Assuming the new development will be residential, privacy fencing will likely be provided. Additionally, the new sanctuary building is approximately 170 feet from the northern property lines, creating a large separation from future development.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders.

The site was posted with project information at the time of application submittal. All property owners and occupants within 500 feet of the project site were mailed a public hearing notice. A hearing notice was also posted at the project site at least 10 days prior to the hearing. At the time of writing this report, staff did not receive any comments related to the proposed project.

Agency Comments: The proposed tentative map has been reviewed by the City of Sacramento's Utilities, Parks, Fire, and Police Departments, the Building Division, and the Department of Engineering Division of the City's Public Works department, as well as Sacramento Municipal Utility District (SMUD). Conditions of approval from the Department of Utilities, Public Works, Police, Fire, and SMUD are included within the project's draft conditions of approval within this report.

Environmental Determination: The project is determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15303 (New Construction or Conversion of Small Structures). The project qualifies for this CEQA exemption because the project is in an urbanized setting and the building does not exceed 10,000 square feet in floor area. Furthermore, the site is in an area with a previously approved conditional use permit to operate a church and does not involve the use of hazardous substances. Lastly, the necessary public and private infrastructure is available to serve the project, and the site is not environmentally sensitive because it is in an existing urban area.

Findings of Fact – Conditional Use Permit

- 1) The proposed use and its operating characteristics are consistent with the general plan and any applicable specific plan or transit village plan in that:
 - a. The religious facility use was previously approved; and
 - b. The new sanctuary building will meet all development standards.
- 2) The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning district in which it is located, and of all other provisions of this title and this code in that:
 - a. The use has been in existence since 2011 in which it has continuously maintained a Special Permit to operate a religious facility at this site; and
 - b. Future expansion of the site was considered under the original Special Permit application.

- 3) The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public services and utilities in that the site is currently served by existing public and private utilities and infrastructure in which it will be able to continue its operation.
- 4) The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the proposed expansion to the religious facility will not significantly impact the surrounding community.

Findings of Fact – Site Plan and Design Review

- 1) The design, layout, and physical characteristics of the proposed development are consistent with the General Plan and any applicable specific plan or transit village plan.
- 2) The design, layout, and physical characteristics of the project are consistent with the purpose and intent of the applicable design guidelines and development standards. The deviation to waive the wall requirements is consistent with the purpose and intent of the Planning and Development Code in that it intends to provide separation between residential and nonresidential uses; however, there are no existing residential uses in the area, and therefore a wall is not needed.
- 3) All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards in that the use will continue to have street access and public and private utility infrastructure.
- 4) The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood, in that the site is designed to provide visual separation through landscaping and setbacks from adjoining residential development and the design of the building is consistent with the surrounding area.
- 5) The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged.
- 6) The design, layout, and physical characteristics of the proposed subdivision are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that:
 - a. The building incorporates a compatible architectural design with the existing buildings on the site; and
 - b. The building complies with the development standards of the Single-Unit Dwelling (R-1) zone.

Draft Conditions of Approval – Conditional Use Permit Major Modification

Fire

1. Upon submitting improvement plans for review, provide the required fire hydrants in accordance with CFC 507.5.1 as amended by the Sacramento City Code.

One additional on-site fire hydrant is required as the proposed building location exceeds 150' from existing fire hydrant located on a public road.

2. Upon submitting improvement plans for review, clarify the occupant load for the proposed Sanctuary Building. The planned sheets provided identify varying information regarding the size and occupant load calculations for the fire area of the proposed Sanctuary structure. Group A-3 Occupancies with a fire area that has an occupant load of 300 or more persons require that an automatic fire sprinkler system shall be installed. CFC 903.2.1.3
3. If the A-3 Occupancy fire area exceeds an occupant load of 300 or more persons, upon submitting improvement plans for review, identify that Fire Department Connections (FDCs) have been provided on address side of building no farther than 50 feet and no closer than 15 feet from a fire hydrant and not more than 30 feet from a paved roadway.
4. If the A-3 Occupancy fire area exceeds an occupant load of 300 or more persons, upon submitting improvement plans for review, identify that an approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. The room shall contain all system control valves, fire alarm control panels and other fire equipment required by the Fire Code Official. Fire Control rooms shall be located within the building at a location approved by the Fire Code Official, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. Fire Control rooms shall not be less than 50 square feet for rooms without a fire pump and 200 square feet when a fire pump is present. California Fire Code as Amended by the Sacramento City Code Section 901.4.7

Planning

5. Comply with all previous conditions of approval of the Special Permit (P09-040 and Z13-064).
6. Any modifications to the attached approved plans or operations may be subject to additional planning review.

Draft Conditions of Approval – Site Plan and Design Review

Fire

7. Upon submitting improvement plans for review, provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 507.4
8. Upon submitting improvement plans for review, provide appropriate Knox access for the site. CFC Section 506
9. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
10. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. CFC 501.4

Planning

11. The portable building shall be removed from the site prior to issuance of Certificate of Occupancy for the sanctuary building.
12. Provide the following building materials on the apartment buildings as indicated per approved plans:
 - a. Minimum 30-year dimensional composition roofing
 - b. Vinyl/glass door/windows
 - c. 3-coat acrylic stucco sand finish
 - d. 3-coat acrylic stucco smooth finish
 - e. Wall scone
 - f. Frosted glass
13. Trash receptacles and irrigation controls shall be screened from street view.
14. A photometric plan shall be provided for all outdoor lighting in and around the site at the time of plan check. Any new building mounted lighting shall be subject to final review and approval by Planning staff.
15. Provide the required short-term and long-term bicycle storage spaces as shown on the approved plans in accordance with Municipal Code section 17.608.040N.1 and 17.608.040N.2. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
16. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.
17. The type and location of the outdoor and exterior lighting (buildings, parking areas, etc.) shall be approved by Planning and Design Review staff during building plan check. Lighting shall be provided at the ground-level on all sides of the building and at each building entry.

18. Per Section 17.612.030(B), exterior lighting shall reflect away from public streets. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
19. The design of the light fixtures within the surface parking area shall be reviewed and approved by Planning and Design Staff. A lighting and photometric plan shall be provided for review and approval as part of Building Permit documents.
20. The project shall comply with the fifty percent shading requirements for parking lots as prescribed by the Planning and Development Code.
21. The project shall provide the required short- and long-term bicycle parking spaces as prescribed by the Planning and Development Code.
22. The applicant shall obtain all necessary building permits and encroachment permits prior construction commencement.
23. Any signage shall comply with the City's Sign Code requirements and is subject to a separate review and approval process.
24. This approval is valid for three years from approval date, subject to SCC 17.828.160.

Police

Lighting

25. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
26. Light poles, if applicable, shall be no higher than 16'.
27. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
28. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.

29. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
30. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
31. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping

32. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
33. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security

34. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of 6' in height.
35. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
36. Person with access to VASS storage shall be able to respond to any activation within two hours.
37. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
38. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
39. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
40. VASS shall be capable of storing no less than 30 days' worth of activity.
41. VASS shall provide comprehensive coverage of:
 - a. areas of ingress and egress

- b. parking lot
- c. coverage of all exterior sides of the property(s)
- d. adjacent public rights of way
- e. main lobby entrance
- f. hallways
- g. elevators (if applicable)

- 42. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.
- 43. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.
- 44. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
- 45. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).
- 46. Property management shall be responsible for the daily removal of all litter from the site.
- 47. Applicant shall install a law enforcement "Knox Box" for police access to common areas on the premises, including, but not limited to the main lobby entrance. If elevators can only be operated via electronic access card, management shall ensure a card is placed in the exterior knox box.

During Construction

- 48. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
- 49. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
- 50. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Public Works

- 51. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or

replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.

52. All new and existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.

Note: This property has an approved driveway variance permit application to allow a gate to be located within 20-ft of the right-of-way line (DRV17-0011).

53. The gate shall remain open during operating hours of business.
54. The site plan shall conform to the parking requirements set forth in City Code 17.608.040 (Development standards for off-street parking facilities, Zoning Ordinance).
55. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

SMUD

56. SMUD has existing overhead 12kV facilities ON SOUTH ALONG ELDER CREEK RD AND WEST OF THE PROJECT SITE ALONG 63RD ST that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
57. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
58. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. Applicant shall be responsible for confirming with SMUD appropriate/acceptable landscaping including placement within the easement area.

SMUD reserves the right to prune & remove trees that encroach into the easement area. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval. New landscaping improvements shall be restricted to a maximum height of fifteen feet tall at full maturity.

59. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The

Applicant shall be responsible for the cost of relocation or removal. Applicant is further made aware that the proposed location of any relocated facilities will be subject to SMUD's vegetation management practices including restrictions of 15 feet high at full maturity and placement of trees within SMUD easements. Applicant shall bear cost to remove vegetation or trees located within proposed new facilities area and SMUD retains the right to engage in customary vegetation management practices at proposed new location after facility relocation. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.

60. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs, including but not limited to vegetation management, tree pruning or removal, weed abatement and application of weed abatement material, and a height restriction of fifteen feet tall at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
61. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
62. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
63. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
64. The Applicant shall dedicate any private drive, ingress and egress easement, and 10-foot adjacent to each side thereof as a public utility easement for overhead and/or underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.

The private drive and 10-foot adjacent PUE shall be subject to SMUD's landscaping and tree placement guidelines within the easement area and such landscaping shall be subject to SMUD's landscaping and tree placement guidelines including but not limited to tree pruning, removal, and weed abatement and a maximum allowable height of fifteen feet at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.

65. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be

20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.

SacSewer

- 66. Prior to the APPROVAL OF IMPROVEMENT PLANS: Installation of a public cleanout is required at the right-of-way. These improvements must be shown on the plans.
- 67. Prior to the APPROVAL OF IMPROVEMENT PLANS: SacSewer requires each building on each lot with a sewage source to have a separate connection to SacSewer's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line upstream of any connection to the SacSewer sewer. These improvements must be shown on the plans.
- 68. Prior to the APPROVAL OF IMPROVEMENT PLANS: Lower Laterals must not directly connect to main lines more than 19 feet deep / directly to trunk lines (lines with flow greater than 1 MGD). Connection to the line on Elder Creek Road will not be allowed except at the manhole.
- 69. Prior to the APPROVAL OF IMPROVEMENT PLANS: All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.
- 70. Prior to the APPROVAL OF IMPROVEMENT PLANS. If any proposed garbage enclosure will contain a drain to the sewer, the enclosure must have a roof.
- 71. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees are to be paid prior to the issuance of building permits.

Solid Waste

- 72. Project must meet the requirements outlined in City Code Chapter 13.24 and 17.616.
- 73. The trash enclosure must have sufficient space to store bins for trash, recycling, and organics. Containers may be used with an increase in collection frequency as an alternative to bins. Service level minimums for recycling and organics can be found in Chapter 13.24.600. Trash and organics must be collected at least weekly. Recycling must be collected at least monthly.
- 74. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the containers safely.
- 75. This project may be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's web site at

<http://www.cityofsacramento.org/public-works/RSW/Collection-Services/Recycling/Construction-and-Demolition>. Please contact the Solid Waste C&D team if you have any questions:

Phone: (916) 808-0965

Email: C&D@cityofsacramento.org

DOU

76. Common landscaping areas greater than 5,000 square feet shall have a separate street tap for a metered irrigation service.
77. Prior to or concurrent with the submittal of the building permit application, the applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,000 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to an estimated 0.20 cfs/acre. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
78. This project is in Drainage Basin G258 which is subject to the new Drainage Gravity Impact Fee per City Council Resolution 2023-0368.
79. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
80. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
81. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site drainage systems shall be designed to the standard specified in the DOU onsite manual. (Note: A point of service manhole or similar drainage structure is required to be installed at the back of walk for any onsite drainage systems.)
82. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing

surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.

83. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
84. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project is proposing less than one-acre of new or modified impervious area, only certified full capture trash control devices and source control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
85. A maintenance agreement may be required for full capture control devices. Contact DOU for a list of accepted proprietary devices considered for full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

Urban Forestry

86. **General Tree Protection** – The applicant shall include the following Tree Preservation Measures in the General Notes, Grading Plans, Utility Plans, Demolition Plan, Landscape Plan and the offsite plans if the trees will be impacted by work proposed on each sheet.

Required Tree Preservation Measures for City and Private Protected Trees

87. This project shall contract with a project arborist experienced with tree protection and construction that is required to:
 - a. Attend the preconstruction meetings to approve of and inform contractors of all tree protection measures.
 - b. Visit the site before and after demolition, grading and landscaping as well as at least twice each month during construction to ensure that tree protection measures are implemented and maintained.
 - c. Be responsible for correcting any site conditions that may negatively impact the trees and revisit the site to ensure that corrective action was properly implemented.
 - d. The project arborist shall report in writing to Urban Forestry all violations and tree protection failures along with corrective action taken and expected outcomes.
88. All concrete sidewalks and driveways shall be retained throughout construction to protect the roots and soil from the impacts of construction activities.

- a. Existing driveways shall be used as the sole access to the site. Where there are no existing driveways, access shall be limited to a one or two locations outside the dripline of protected trees that have protection from soil compaction with the use of one or more of the following: A 6-inch layer of hardwood chips covered by ¾-inch plywood or trench plates, geotextile fabric covered by a 6-inch layer of hardwood chips or an alternative that is approved by the City Arborist.
89. Right-of-way planters and City trees shall be separated from the construction site with a six- foot high chain link fence that shall remain throughout the duration of the project to protect trees and to prevent construction traffic from compacting the soil in the planters.
90. Construction trailers and port-a-potties shall be placed on existing hardscape or bridged over the tree protection zone or planter so as not to compact soil.
91. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Qualified Arborist. Submit a tree permit application and a tree protection plan created by a Qualified Arborist to UrbanForestry@cityofsacramento.org and refer to the planning project number or off-site project number.
92. All excavation, grading or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excitation, pneumatic excavation or hand digging and shall be directly supervised by a qualified arborist.
93. There shall be no excavation deeper than the existing excavation for sidewalks within the dripline of protected trees.
94. There shall be no grade changes within the dripline of protected trees. All grade changes shall be accommodated onsite.
95. There shall be no soil compaction within the dripline of protected trees.
96. There shall be no non-native soil, non-organic matter or structural soil added to the right-of-way planter.
97. The following is a list of activities that require a tree permit if they are to occur or be used within the right-of-way planter and/or within the tree protection zone of protected trees: any regulated work as defined in SCC 12.56, excavation, grade changes, trenches, root or canopy pruning or boring.
98. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or

port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids and any other activities that may have negative impacts on the trees and soil.

99. All trees shall be watered regularly according to the recommendation of the project arborist.

100. The applicant shall be financially responsible for any damage to the city trees associated with the project. Accidental or negligent actions that damage city trees may result in a penalty. The monetary value of any such damages will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.

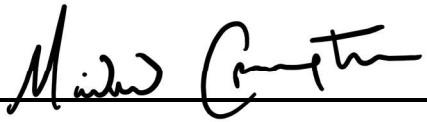
Advisory Notes

The following advisory notes are informational in nature and are not a requirement.

- ADV.1. Projects must be submitted prior to December 12, 2025 to be reviewed under the 2022 CBC, otherwise they will be subject to the 2025 CBC. See <https://www.cityofsacramento.gov/content/dam/portal/cdd/Images/CodeAdoptionTimeline2025.jpg> for more important dates regarding 2025 CBC adoption.
- ADV.2. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
 - a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$700. The Park Development Impact Fee due for this project is based on the Housing Incentive Zone Rate of \$0.20 per square foot for retail and commercial services projects (3,500 square foot phase 2 ancillary structure to existing religious facility). The applicant would likely receive credit for the demolition of the existing structures. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
- ADV.3. City of Sacramento permits must be obtained for private patrol, alarms, and camera systems.
- ADV.4. ONGOING: Public lower laterals must not be smaller than the upper laterals, sized according to the California Plumbing Code requirements.
- ADV.5. ONGOING: The existing building is currently connected to the public sewer. Any required construction and/or modification to the public sewer system must be to the satisfaction of SacSewer prior to the approval of improvement plans.

SacSewer Design Standards and Specifications apply to any onsite and offsite public sewer construction.

- ADV.6. ONGOING: SacSewer Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings. Demolishing the building may require replacing the existing 4-inch lower lateral with a 6-inch lower lateral.
- ADV.7. ONGOING: Lateral repair or replacement is required if the current lateral is damaged or deemed unmaintainable.
- ADV.8. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU. (Note: Tap connections to the 30" transmission water main in Elder Creek Road are not permitted.)
- ADV.9. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the applicant's engineers in the design of the on-site domestic, irrigation and fire suppression systems.
- ADV.10. If this project disturbs more than one acre of land, the project will be required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's [Storm Water Multiple Application and Report Tracking System \(SMARTS\)](#). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- ADV.11. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- ADV.12. The proposed development is located within the Sacramento Area Sewer District (SacSewer). Satisfy all SacSewer requirements.
- ADV.13. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

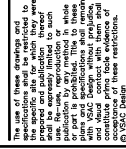
Respectfully Submitted: 
Michael Crampton
Assistant Planner

Reviewed By: 
Marcus Adams (Oct 11, 2025 10:52:39 PDT)
Marcus Adams
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map.

6301 ELDER CREEK Rd SACRAMENTO, CA



REVISIONS	By

HOPE BAPTIST CHURCH - PHASE 1
6301 ELDER CREEK RD
SACRAMENTO CA

Drawing

TITLE SHEET



Proj. No.	
Drawn	HDV
Date	6/16/25
Scale	

CAD File

1

Sheet No. 1 of 25 Total Sheets

[illegible]

PROJECT INFORMATION

JURISDICTION:

CITY OF SACRAMENTO

ASSESSOR'S PARCEL NUMBER:

038-0202-012-0000

STREET ADDRESS:

6307 ELDER CREEK RD

OCCUPANCY TYPE:

A-3

CONSTRUCTION TYPE:

V-B

SPRINKLERED:

NO

NUMBER OF STORIES:

1 STORY

ALLOWABLE AREA:

6,000 SF

TOTAL SITE AREA:

1,59 ADRES NET

BUILDING FLOOR AREA:

EXISTING PHASE 1 BUILDING 2,800 SF
EXISTING PORTABLE BUILDING 2,800 SF
PROPOSED PHASE 2 BUILDING 3,500 SF

(SIC 2022 TABLE 50S)

BUILDING ANALYSIS:

EXIT ANALYSIS (SBC TABLE 100A.1.1):

ZONE	AREA	FACTOR	LOAD
SANCTUARY	960 SQ. FT.	7	137
CHANNEL STORAGE	244 SQ. FT.	15	16
	67 SQ. FT.	100	1
1,843 SQ. FT.		TOTAL OCCUPANT LOAD 181	

EXIT REQUIRED PER CBC:

2 FOR SANCTUARY

EXIT PROVIDED:

4

PLUMBING FIXTURE

OCCUPANT LOAD FOR PLUMBING FIXTURE REQUIREMENT (SBC TABLE A)

WORKSHOP PLACE PRINCIPLE ASSEMBLY AREAS (50 OCCUPANTS/50) = 1843/50 = 61

PLUMBING FIXTURE REQUIRED (TABLE 4-1):

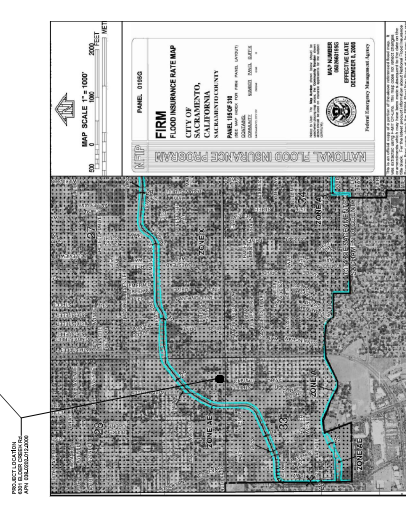
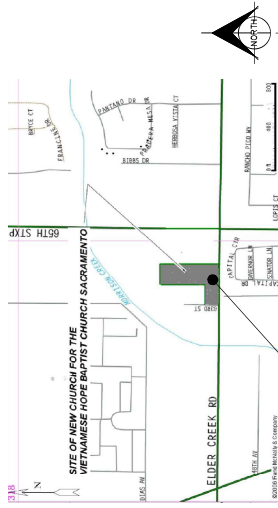
MALES CLOSET:	1 REQUIRED / 2 PROVIDED
MALES:	1 PER 1-50
FEMALE:	1 REQUIRED / 3 PROVIDED
SINK:	
MALE:	1 PER 200
FEMALE:	1 REQUIRED / 1 PROVIDED
URINAL:	1 PER 100
MALE:	1 REQUIRED / 1 PROVIDED
DINKING FOUNTAINS:	
MALE:	1 PER 150
	1 REQUIRED / 1 PROVIDED

PARKING

NO MAXIMUM/MINIMUM ON-SITE PARKING REQUIREMENT

PROVIDED:	30
REGULAR COMPACT:	20
ACCESSIBLE:	4
TOTAL:	54 SPACES PROVIDED

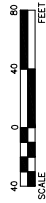
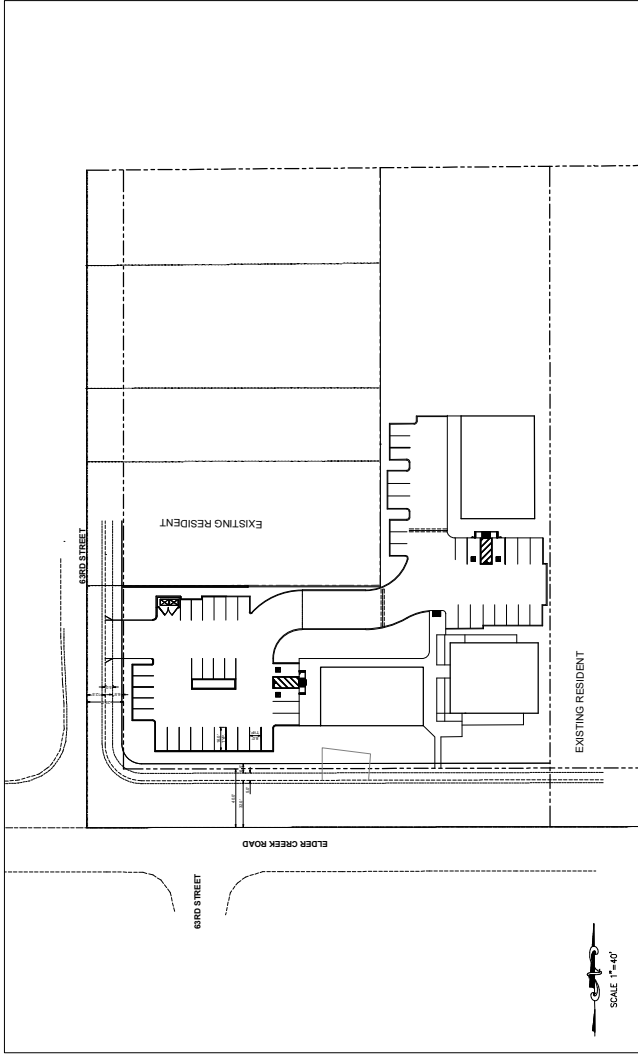
CONTACT	
OWNER:	
VIETNAMESE HOPE BAPTIST CHURCH	
Contact: Pastor TIAN PHAN	
9484 MANDRAKE Ct.	
EL CERRILLO, CA 94530	
PHONE: 916.396.9408	
ENGINEER:	
VSAC DESIGN	
Contact: HUAN VU, P.E.	
PO BOX 163896	
SPRING VALLEY, CA 95916	
PHONE: 916.752-2022	
FAX: 916.313-0729	
LANDSCAPE ARCHITECT:	
TSURUBOKA ASSOCIATES	
Contact: JEFF TSURUBOKA	
7711 ELENA MARE DR.	
SACRAMENTO CA 95831	
PHONE: 916.424-7350	
BUILDING CODES	
2022 CALIFORNIA BUILDING CODES	
2022 CALIFORNIA MECHANICAL CODES	
2022 CALIFORNIA PLUMBING CODES	
2022 CALIFORNIA ELECTRICAL CODES	
2022 CALIFORNIA ENERGY STANDARDS	
2022 CALIFORNIA GREEN BUILDING STANDARDS	
2022 CALIFORNIA FIRE CODES	
HEIGHT:	24'-0"
TOTAL SITE AREA:	1.59 ACRES NET
BUILDING FLOOR AREA:	EXISTING PHASE 1 BUILDING 2,800 SF
	EXISTING PORTABLE BUILDING 2,890 SF
	PROPOSED PHASE 2 BUILDING 3,547 SF



CITY OF SACRAMENTO GENERAL NOTES

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS DATED JUNE 2007. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND PRESERVATION OF ALL EXISTING UTILITIES. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY (2422 ARDEN WAY, SUITE 105, SACRAMENTO, PHONE 264-2900) PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND FURNISH, INSTALL, AND MAINTAIN TEMPORARY SIGNS, BARRICADES, FLAGMEN, AND OTHER FACILITIES TO ADEQUATELY SAFEGUARD THE GENERAL PUBLIC AND WORK, AND TO PROVIDE FOR THE PROPER ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC. CONSTRUCTION OPERATIONS SHALL COMPLY WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- IF UNUSUAL AMOUNTS OF BONE, STONE OR ARTIFACTS ARE UNCOVERED, WORK WITHIN 50 METERS OF THE AREA SHALL CEASE IMMEDIATELY AND A QUALIFIED ARCHEOLOGIST AND A REPRESENTATIVE OF THE NATIVE AMERICAN HERITAGE COMMISSION SHALL BE CONSULTED TO DEVELOP AN APPROPRIATE ACTION PLAN. MEASURES TO REDUCE ANY ARCHEOLOGICAL IMPACT TO AVOID ANY SIGNIFICANT EFFECT BEFORE CONSTRUCTION RESUMES IN THE AREA.
- COST TO REMOVE AND REPLACE EXISTING PAVEMENT OVER THE WATER, STORM AND SANITARY LINE TRENCHES SHALL BE INCLUDED IN THE PRICE BID FOR PIPE IN PLACE. REPLACEMENT SHALL BE 4" AC AND 12" AB, MINIMUM, OR INDICATED ON THE PLANS.
- PIPE AND MANHOLE DIMENSIONS ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED.
- ALL TAPS FIFTEEN (15) INCHES & SMALLER INTO SEWER & DRAIN MANHOLES SHALL BE CORE BORED WITH KOP-SEAL TAPS OR APPROVED EQUIVALENTS. TAPS SHALL BE INSTALLED IN EXISTING MANHOLES AS NOTED ON THE PLANS. PLUGS MUST NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES AS NECESSARY TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICES TO EXISTING CONNECTIONS. MORTAR OR BRICK PLUGS MUST BE USED, INFLATABLE DEVICES ARE NOT SATISFACTORY.
- DRAIN PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE C-76 CL III, NON-REINFORCED CONCRETE PIPE C-4 CL III, PVC SDR 35, OR AS SPECIFIED ON PLANS. IN ALL CASES, JOINTS FOR CONCRETE PIPE SHALL BE RUBBER GASKETED JOINTS.
- DRAIN INLET LEADS SHALL BE PVC C-900 CL 150, RCP C-76 CL III, OR NON-REINFORCED CONCRETE C-4 CL III.
- SANITARY SEWER PIPE MAINS SHALL BE CONSTRUCTED OF V.C.P.-A.B.S. OR P.V.C. UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- AGGREGATE SUBBASE SHALL CONFORM TO CALTRANS SPECIFICATIONS DATED JULY, 1992 A.B.S. SECTION 25.
- A STORMWATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE OF ONE (1) OR MORE ACRES. THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, STORMWATER PERMIT, P.O. BOX 1977, SACRAMENTO, CA 95812-1977, SHALL BE CONSULTED TO OBTAIN THE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
- IF WORK SHOWN ON THESE PLANS HAS NOT COMMENCED WITHIN TWO YEARS FROM THE DATE OF THE CITY'S ACCEPTANCE OF THE PLANS, A SUBSEQUENT PLAN REVIEW AT THE CITY'S DISCRETION AND THE DEVELOPER'S EXPENSE MAY BE NECESSARY.
- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF SACRAMENTO ADMINISTRATIVE AND TECHNICAL MANUAL FOR GRADING, EROSION AND SEDIMENT CONTROL. CONTRACTOR SHALL HAVE ALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1 AND MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.

Precise Grading Plans For
VIETNAMESE HOPE BAPTIST CHURCH
6301 Elder Creek Road
City of Sacramento, California 95824



SHEET INDEX

- COVER SHEET
- GRADING PLAN
- UTILITY PLAN
- EROSION CONTROL PLAN

FEWA MAP
NO. 0602660195G



BENCH MARK NO. 316-ABA ELEV. 22.817 ± (NAD 29)	DESIGNED	COMPLETED
3RD CORNER 47TH AVE & STOCKTON BLVD.	DRAWN	
	PROJ. ENGR.	

NO.	DESCRIPTION	APPD.	DATE	VERT.

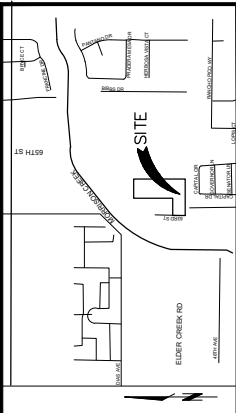
VSAC DESIGN
PO Box 10386
Sacramento, CA 95818
Tel: 916.441.0000
Fax: 916.441.0728



VIETNAMESE HOPE BAPTIST CHURCH
COVER SHEET
PHASE 2

DATE
SHEET C1
OF 4

JOB NO.



VICINITY MAP

NO SCALE

ABBREVIATIONS

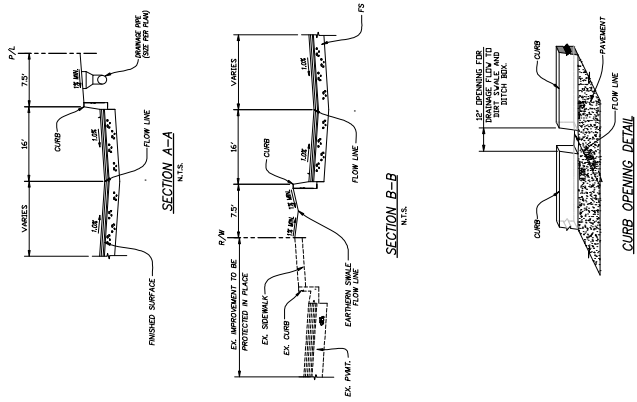
OF	CURB FACE
EXIST	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT ELEVATION
LP	LOW POINT
PL	PROPOSED
PROP	PROPOSED
R/W	RIGHT OF WAY
S =	SLOPE EQUALS
TD	TOP OF DRAIN
TO	TOP OF GRADE

LEGEND

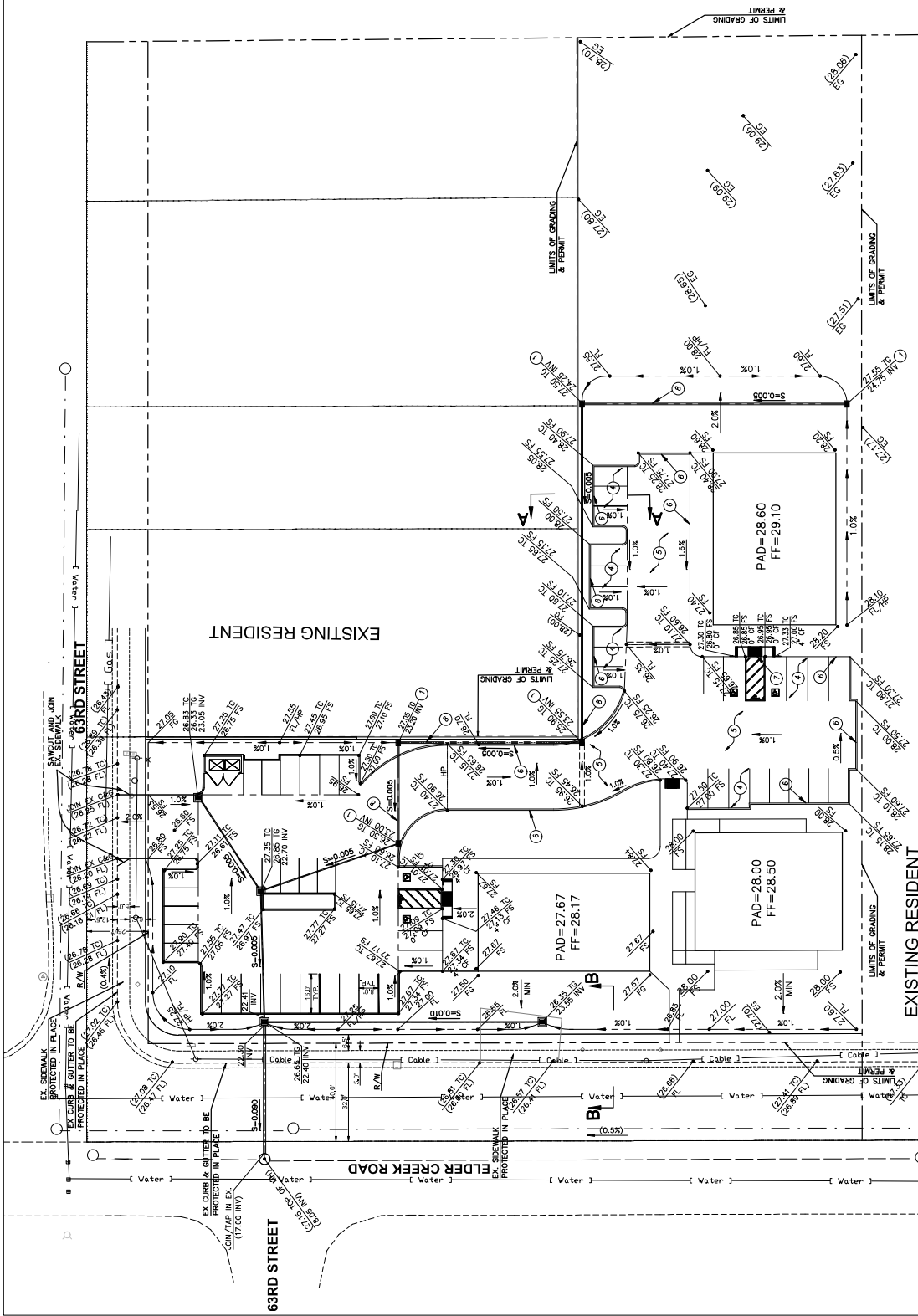
EXISTING	PROPOSED	DESCRIPTION
●	●	DRAIN MANHOLE
○	○	SEWER MANHOLE
□	□	CATCH BASIN
—	—	CLEAN OUT
—	—	SEWER LINE AND SIZE
—	—	DRAIN LINE AND SIZE
—	—	WATER METER
—	—	WATER VALVE
—	—	FIRE HYDRANT
—	—	DETECTOR CHECK VALVE
—	—	AIR RELEASE VALVE
—	—	BLOW-OFF
—	—	60% (UNDERGROUND)
—	—	60% (TILL OR DRAIN IV)
—	—	PROPERTY LINE
—	—	MONUMENT
—	—	STREET LIGHT
—	—	STREET SIGN
—	—	HANDICAP RAMP
—	—	FENCE
—	—	SPOT ELEVATION
—	—	CONTOUR LINE
—	—	TREE TO BE REMOVED
—	—	TREE TO REMAIN
—	—	SLOPE BANK
—	—	FLOW LINE
—	—	EDGE OF PAVEMENT
—	—	CURB & GUTTER
—	—	SIDEWALK
—	—	RIGHT OF WAY
—	—	CENTER LINE

CONSTRUCTION NOTES:

1. ALL NEW CONCRETE SHALL BE TYPE 1 WITH TRAFFIC GRADE AND FRAME PER CITY OF SACRAMENTO IN MANUAL.
2. CONST. 4" F.C.C. SIDEWALK.
3. CONST. 6" C.C. SIDEWALK.
4. CONST. 6" C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.
5. CONST. C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.
6. CONST. C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.
7. CONST. C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.
8. CONST. C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.
9. CONST. C.C. RAMP PER CITY DMS NO. T-11, TYPE 1A.



SCALE 1"=20'



SEE OFFSITE IMPROVEMENT PLANS
FOR ALL WORK WITHIN CITY-RIGHT-OF-WAY



VSAC DESIGN
PO BOX 16996
SACRAMENTO, CA 95816
Tel: 916.444.1079
Fax: 916.444.1079

VIETNAMESE HOPE BAPTIST CHURCH
PRECISE GRADING
PHASE 2

DATE
SHEET C2
OF 4

NO.	DESCRIPTION	APPROVED	DATE
1	REVISIONS		
2			
3			
4			
5			
6			
7			
8			
9			
10			

SCALE: 1"=20'

BENCH MARK ELEV. 27.217 ft
DESCRIPTION (NAD 29)
S.W. CORNER 4TH AVE & STOCKTON BLVD.

COMPUTED
DESIGNED
DRAWN
PROJ. ENGR.

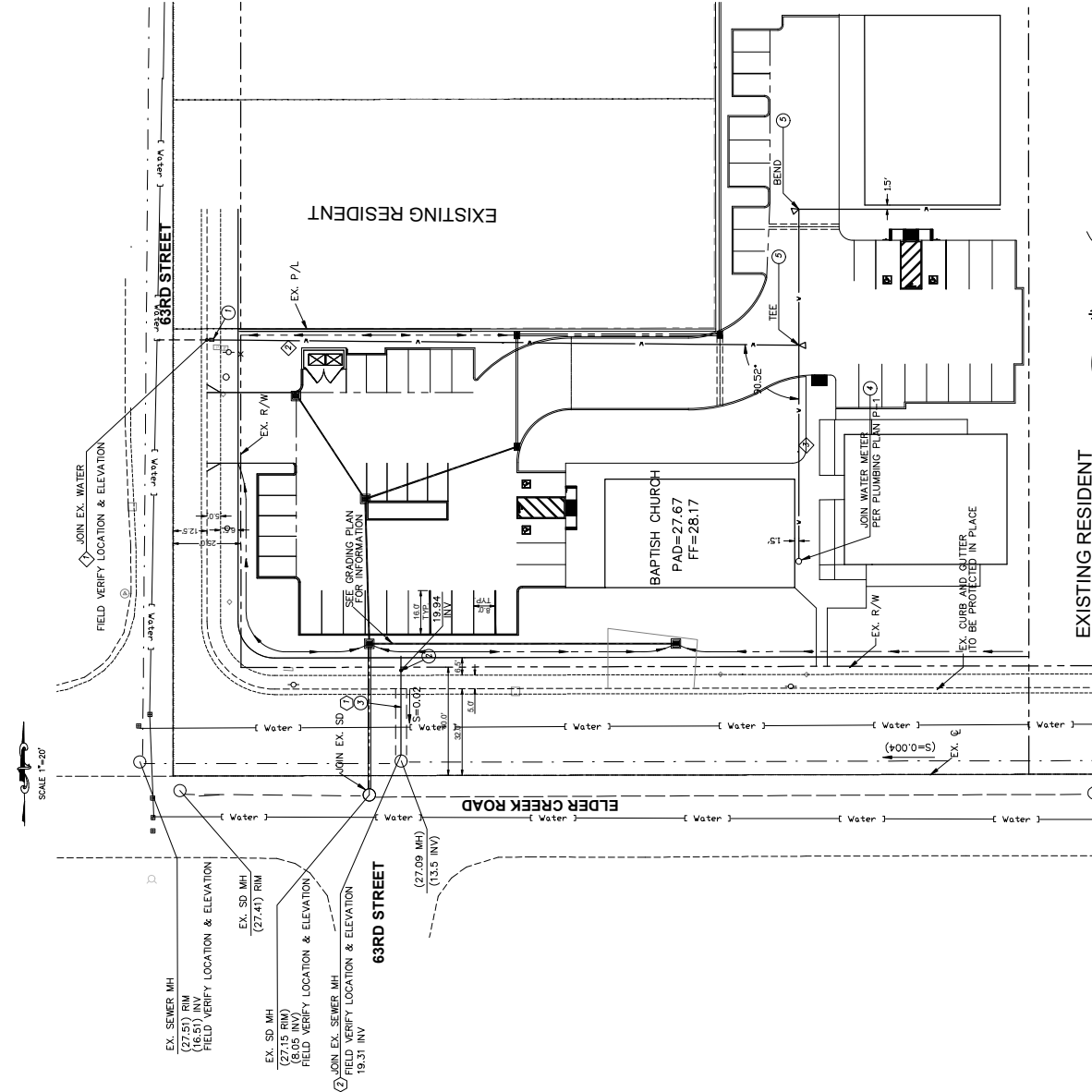
JOB NO.

- ① CONST. WATER METER W/ 6" BOROSS PIPING PER CITY OF SACRAMENTO STD PLAN W-505
- ② CLEAN-OUT PER CITY OF SACRAMENTO STD PLAN W-505
- ③ CONSID. 37 FT OF 6" VCS 2% MIN. SLOPE PER SASD DETAIL LL-01A.
- ④ INSIDE DROP PER SASD DETAIL WH-09
- ⑤ CITY CREWS WILL INSTALL 1"-1.5" WATER MAIN ON AN EXISTING 1.25" WATER SERVICE CONNECTION FOR 1 FEE IN THE AMOUNT OF \$871.00. THE METER AND RP ASSEMBLY SHALL BE INSTALLED PER W-505.
- ⑥ INSTALL THURST BURST PER CITY OF SACRAMENTO STD PLAN W-103

1. CONTRACTOR TO VERIFY EXISTING UTILITY CONNECTIONS PRIOR TO CONSTRUCT TO ENSURE 1' CLEARANCE.
2. EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED IN PLACE UNLESS NOTED ON THE PLAN.
3. REMOVE AND REMOVE OF EXISTING PIPE AND REPLACE IN KIND AFTER CONSTRUCTION OF SEWER.
4. SAWCUT, REMOVE, AND DISPOSE OF OFFSITE, REPLACE IN KIND AFTER CONSTRUCTION OF SEWER AND WATER FACILITIES.

◆	BEARING/Delta	LENGTH	NORTHING	EASTING
1			10153.48	19353.60
2	N 89°28'31"W	218.40		
3	NORTH	78.58		

	BEARING/Delta	LENGTH	NORTHING	EASTING
①	N 0°08'08" W	64.15		
②			9007.91	19551.43

[illegible]

EXISTING RESIDENT



VSAC DESIGN
PO Box 152486
Sacramento, CA 95816
TEL 916.262.0022

The use of these drawings and specifications shall be subject to the provisions of the International Building Code and the International Fire Code. The use of these drawings and specifications shall be subject to the provisions of the International Building Code and the International Fire Code. The use of these drawings and specifications shall be subject to the provisions of the International Building Code and the International Fire Code.

REVISIONS	By

HOPE BAPTIST CHURCH - PHASE 2
6301 ELDER CREEK RD
SACRAMENTO CA

Drawn by

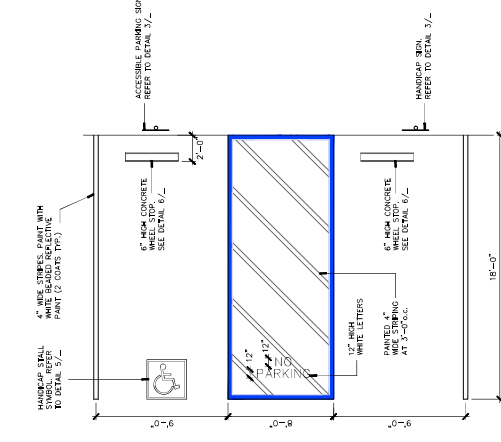
SITE DETAILS



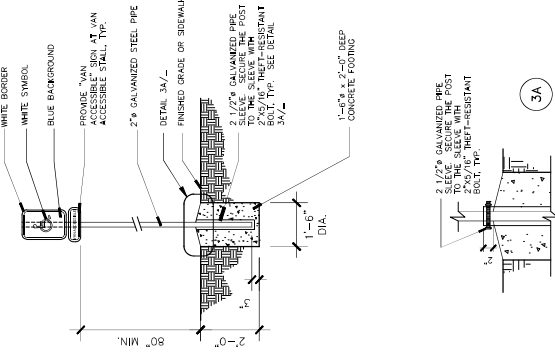
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Drawn	HDV
Date	
Scale	

Sheet
A-0.1

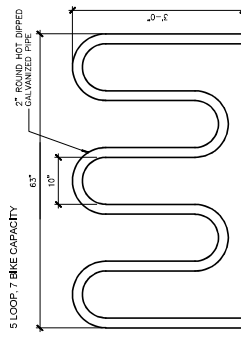
Sheet No. of Total Sheets



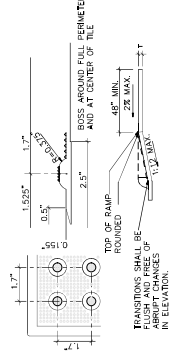
1 ENLARGED HANDICAP PARKING
SCALE: 1/4" = 1'-0"



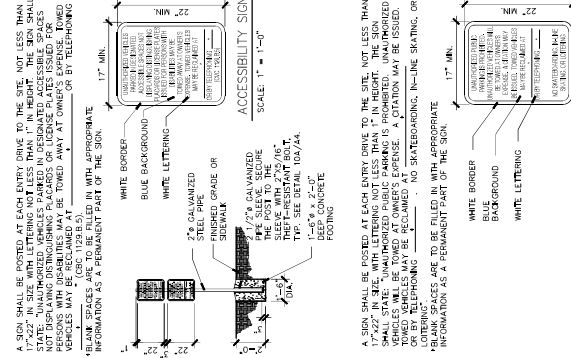
3 ACCESSIBILITY SIGN
SCALE: 1/2" = 1'-0"



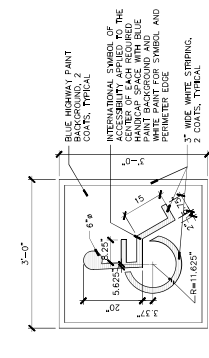
2 BIKE RACK (RIBBON)
SCALE: N.T.S.



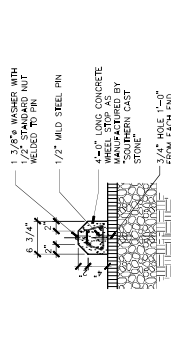
4 TRUNCATED DOMES
SCALE: 1" = 1'-0"



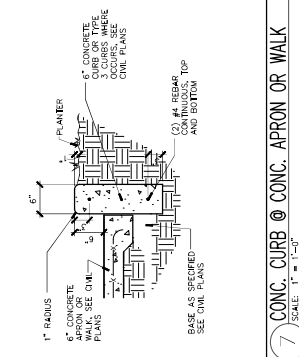
6 SITE ACCESSIBILITY SIGN
SCALE: 1/4" = 1'-0"



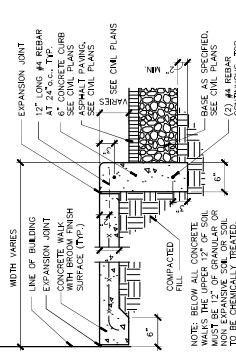
5 ACCESSIBILITY STALL SYMBOL
SCALE: 1" = 1'-0"



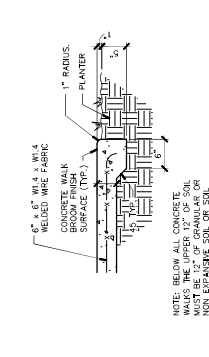
11 WHEEL STOP
SCALE: 1" = 1'-0"



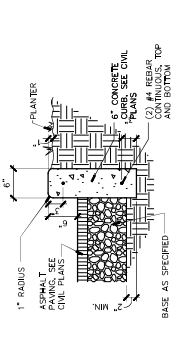
7 CONC. CURB @ CONC. APRON OR WALK
SCALE: 1" = 1'-0"



8 CURB AT SIDEWALK
SCALE: 1" = 1'-0"



9 SIDEWALK AT PLANTER
SCALE: 1" = 1'-0"



10 CURB AT PLANTER
SCALE: 1" = 1'-0"



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Date	
Scale	
Sheet	

A17.1

ALL DIMENSIONS ARE TO FACE OF GYP. BD. FINISH UNLESS OTHERWISE NOTED. "CLEAR" DENOTES FINISH TO FINISH DIMENSIONS. "HOLD" DENOTES CRITICAL FRAMING DIMENSIONS.

2x6 @ 16" OC STUD WALL W/ R-19 BAT INSULATION

2x4 @ 16" OC STUD WALL W/ 1/2" G.W.B. & S.



1 TACTILE EXIT SIGNAGE
SIGNAGE VERBAGE:

1A EXIT
1B EXIT ROUTE
1C TO EXIT

AT SINGLE DOOR LOCATION, ATTACH SIGNAGE AT STRIKE
SIDE OF DOOR, AT DOUBLE DOOR SITUATIONS MOUNT AT
HINGE SIDE OF RIGHT LEAF.



TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST PARALLEL CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS PER CBC SEC.11B-703.41.

BASE (B1) WOOD BASE (B2) 4" - 3/8" RADIUS INTEGRAL PORCELAIN TILE ONE BASE	CEILING (C1) PAINTED GYPSUM BOARD (C2) SATIN FINISH
FLOOR (F1) PORCELAIN TILE (F2) PORCELAIN TILE	WALL (W1) PAINTED GYP. BD. - SATIN (W2) 4-1/2" HIGH PORCELAIN TILE

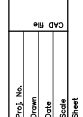
ROOM NAME	DOOR #	SIZE		DOOR		FRAME	REMARKS
		HEIGHT	WIDTH	THK.	MATERIAL		
SANITARY	1.2	8'-0"	3'-0"	1-1/4"	STAINLESS STEEL	STAINLESS STEEL	SEE-CLOSING W/ PUMP-PANORAMA
SANITARY	3.4	8'-0"	3'-0"	1-1/4"	STAINLESS STEEL	STAINLESS STEEL	SEE-CLOSING W/ PUMP-PANORAMA
STORAGE / SOUND CONTROL RM	5.6	7'-0"	3'-0"	1-1/4"	1M	STL	EXISTING DOOR TO BE LOCKED OFF W/ TOWER SLOTTED HINGE
MEN, WOMEN	7.8	7'-0"	3'-0"	1-1/4"	S.C. WOOD	STL	OUTSIDE OF DOOR W/ 2-PLATE 1/2" BRASS

[illegible]



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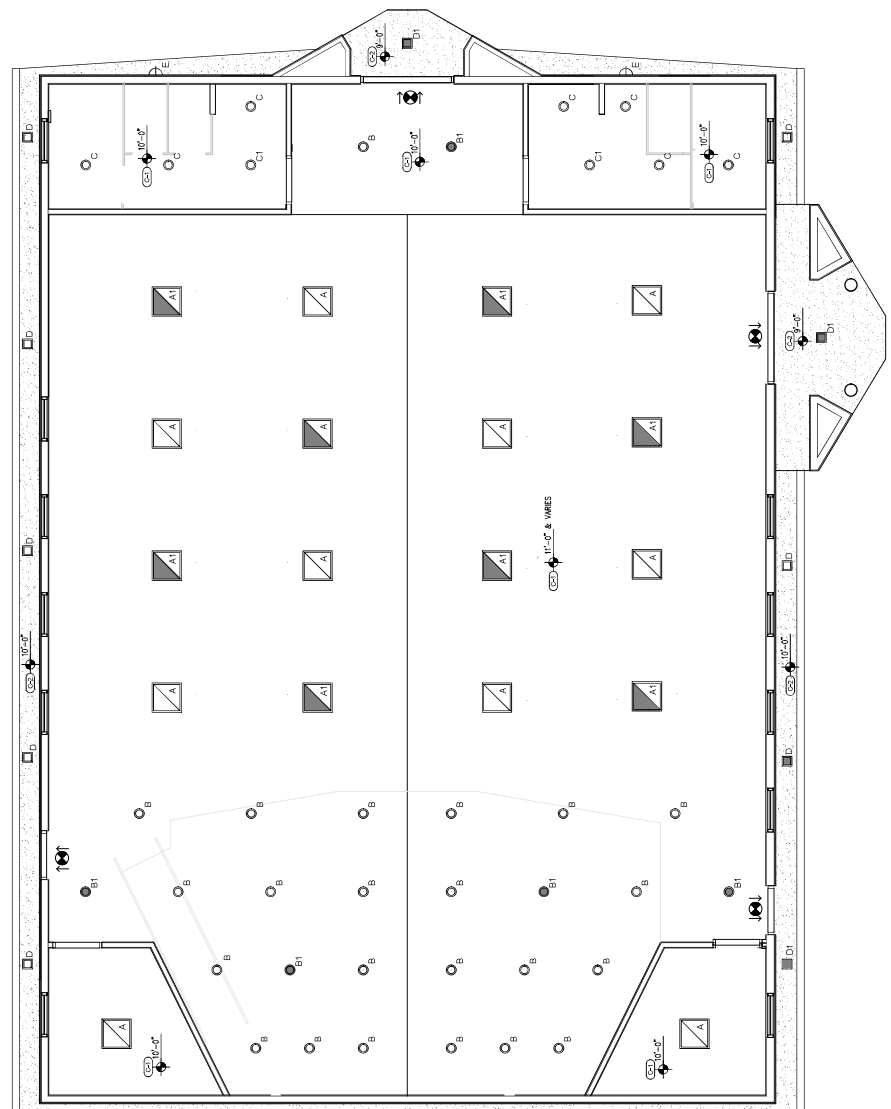
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A-1.2

PAINTED GYP. BO. - SATIN
HARDIE SOFFIT
CEILING ELEVATION A.F.F.

	ZIG-ZAG FLAT PANEL, DIMMABLE		ZIG-ZAG FLAT PANEL, DIMMABLE WITH 90 MIN BACKUP BATTERY		LED RECESSED DIMMABLE DOWNLIGHT - 10W		LED RECESSED DIMMABLE DOWNLIGHT WITH 90 MIN BACKUP BATTERY
	FLAT PANEL, DIMMABLE		FLAT PANEL, DIMMABLE WITH 90 MIN BACKUP BATTERY		LED RECESSED DIMMABLE DOWNLIGHT - 15W		LED FLAT AMBER DOWNLIGHT - 13.5W
	FLAT PANEL, DIMMABLE		FLAT PANEL, DIMMABLE WITH 90 MIN BACKUP BATTERY		LED FLAT AMBER DOWNLIGHT - 13.5W		LED FLAT AMBER DOWNLIGHT WITH 90 MIN BACKUP BATTERY
	FLAT PANEL, DIMMABLE		FLAT PANEL, DIMMABLE WITH 90 MIN BACKUP BATTERY		SQUARE SURFACE MOUNTED WATER LED - 10W		SQUARE SURFACE MOUNTED WATER LED WITH 90 MIN BACKUP BATTERY
	WALL MOUNTED EXTERIOR LIGHT		WALL MOUNTED EXTERIOR LIGHT WITH 90 MIN BACKUP BATTERY		ILLUMINATED EXIT SIGN WITH 90 MIN BACKUP BATTERY		ILLUMINATED EXIT SIGN WITH 90 MIN BACKUP BATTERY
	EMERGENCY LIGHT COMBO		EMERGENCY LIGHT COMBO WITH 90 MIN BACKUP BATTERY		EMERGENCY LIGHTS - WALL MOUNTED		EMERGENCY LIGHTS - WALL MOUNTED WITH 90 MIN BACKUP BATTERY
	EMERGENCY LIGHT		EMERGENCY LIGHT WITH 90 MIN BACKUP BATTERY		EMERGENCY LIGHT - 3.3W MOUNTED		EMERGENCY LIGHT - 3.3W MOUNTED WITH 90 MIN BACKUP BATTERY
	EXTERIOR EMERGENCY LIGHT		EXTERIOR EMERGENCY LIGHT WITH 90 MIN BACKUP BATTERY		EXTERIOR EMERGENCY LIGHT WITH 90 MIN BACKUP BATTERY		EXTERIOR EMERGENCY LIGHT WITH 90 MIN BACKUP BATTERY



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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FAX: 916.752.0222

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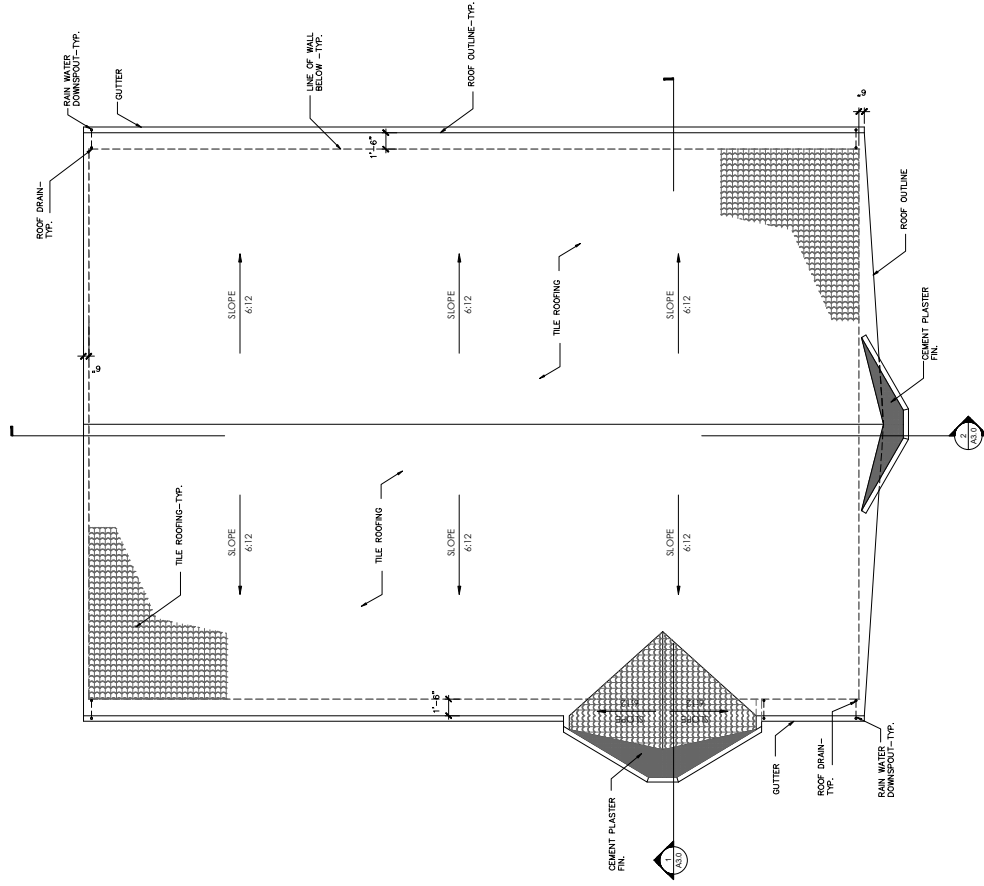
Drawing

ROOF PLAN



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A-1.3

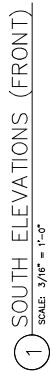
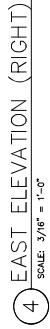


1 ROOF PLAN
SCALE: 3/16" = 1'-0"



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A2.0



1	OPEN CORNING, DAKOTA GLASS, CASTAL	5	FROSTED GLASS
2	VINYL GLASS DOWN WINDOW	6	METAL TUBE CROSS, PAINT & PRIME
3	3-COAT ACRYLIC STUCCO SAND FINISH KELLY MOORE WHITE KMW44	7	KELLY MOORE MORNING WHEAT KM 5250
4	3-COAT ACRYLIC STUCCO SMOOTH FINISH KELLY MOORE MORNING WHEAT KM 5250	8	1/4" REGLET
		9	RAU WHEAT DOWN SPOUT
		10	WALL SCORE



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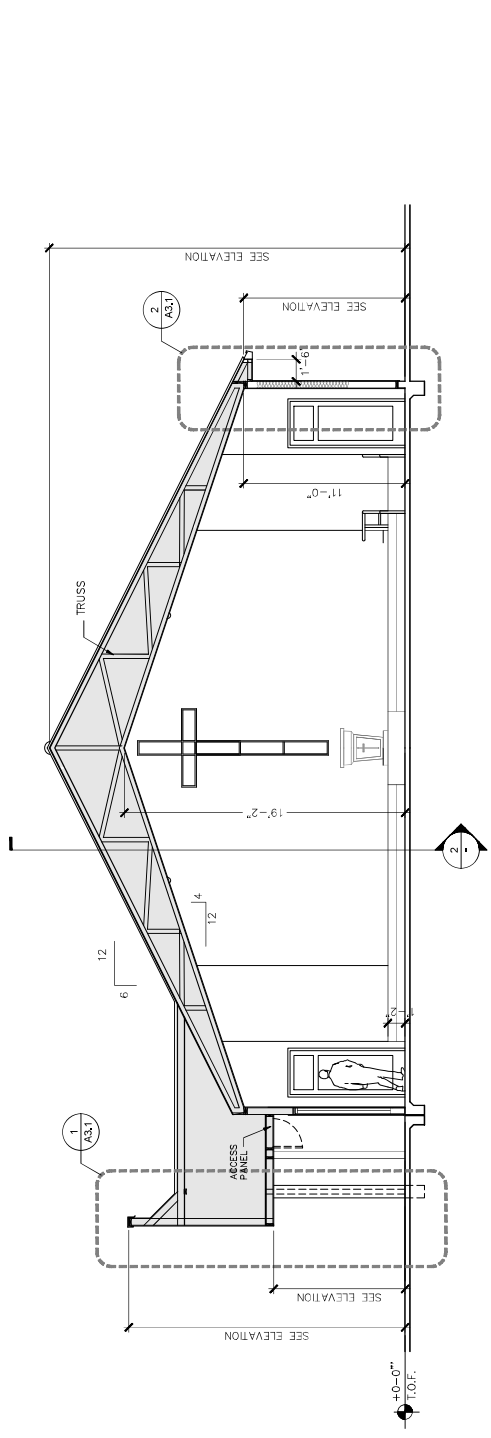
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Drawing
BUILDING SECTIONS

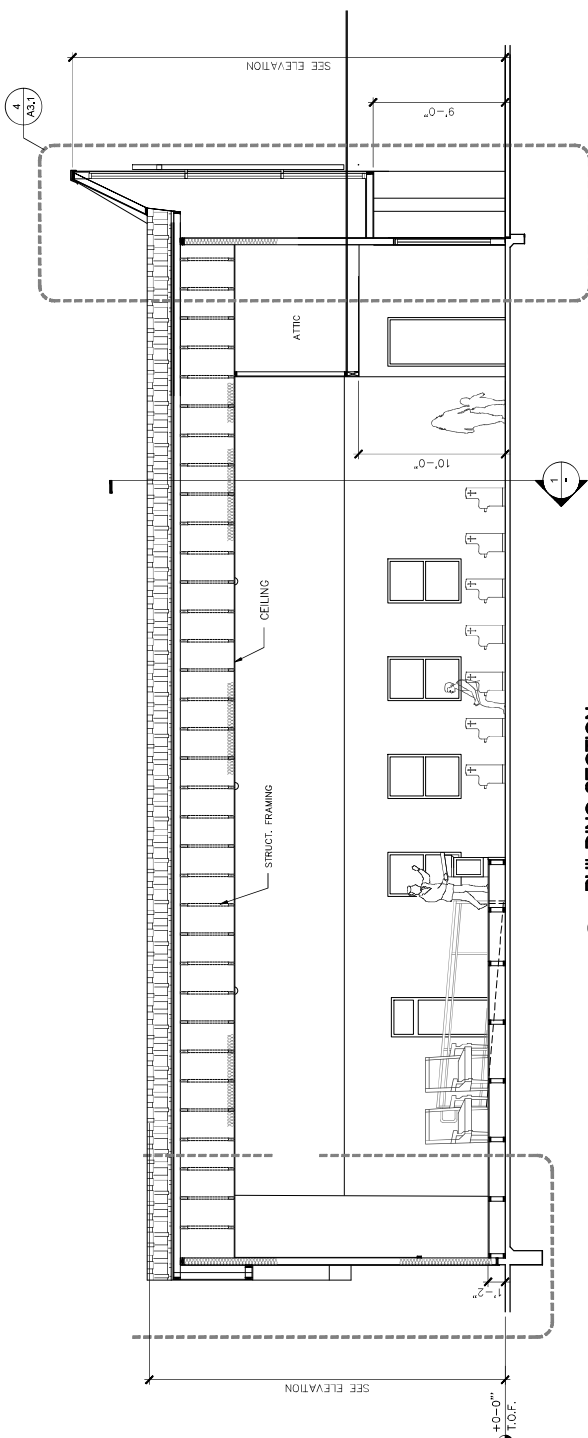


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A-3.0



1 BUILDING SECTION
SCALE 1/4" = 1'-0"



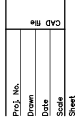
2 BUILDING SECTION
SCALE 1/4" = 1'-0"



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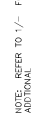
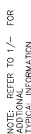
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WALL SECTIONS



A-3.1

- 1 EXTERIOR PLASTER.
- 2 SEE STRUCTURAL DRAWINGS FOR FRAMING.
- 3 TITLE ROOFING.
- 4 FINISH FLOOR.
- 5 ALUMINUM DOOR/ WINDOW
- 6 METAL CLADDING COLUMN, COLOR XXXX
- 7
- 8 DECORATIVE LIGHTING
- 9 VENT SOFFIT, SEE DETAIL
- 10 INSULATION.
- 11 GYP. BOARD OVER PLYWOOD
- 12 FLOOR FINISH OVER 3/4\"/>
- 13 ACCESS PANEL, SEE DETAIL
- 14 CEILING LINE.
- 15 GYP. BOARD, TAPE, SEAL & PAINT.
- 16 RAIN WATER DOWNSPOUT CONNECT TO STORM DRAIN OR DAYLIGHT TO OUTSIDE
- 17 STRUCTURAL PLYWOOD
- 18 STRUCTURAL COLUMN
- 19 TEMPERED GLASS PANEL
- 20 WOOD SING



WALL SECTION	SCALE	1
	1" = 4'-0"	



SCALE: 1/2" = 1'-0"



TOILET SEAT COVER DISPENSER

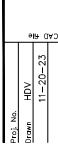
- TOILET TISSUE DISPENSED DISPOSED SHALL BE LOCATED

ING HEIGHT: (110 N)

- 40th TO 6th A.F.F.
OUR WORK IS FINISHED BY ALL A GOOD DAY



Drawing

[illegible]

SCALE: NTS



STAFF: NTS



SCALE: NTS



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RESTROOM

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A-4

Abstract

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Drawing

DETAILS



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A5.0

	1 1'-1'-0" GUTTER & EAVE	2 1'-1'-0" HIP / RIDGE CAP	4 1'-1'-0" PARAPET DETAIL
	5 3/4'-1'-0" ACCESSIBLE RAMP DETAIL	6 3/4'-1'-0" RAIL @ ACCESSIBLE RAMP	8 1'-1'-0" METAL ROOF FLASHING @ VALLEY
	9 3'-1'-0" EXTERIOR DOOR / WINDOW HEAD - JAMB SM.	10 3'-1'-0" WINDOW SILL	12 1'-1'-0" CONCRETE BASE @ EXTERIOR WALL (CEMENT PLASTER)
	13 3'-1'-0" CROSS AND GLAZING PANEL CONNECTION	14 3'-1'-0" CROSS TO WALL CONNECTION	15 3'-1'-0" EXTERIOR CEMENT PLASTER EXPANSION JOINT
	17 1'-1'-0" DETAIL @ SOFFIT	18 1'-1'-0" DETAIL @ SOFFIT	16 3'-1'-0" ACCESS PANEL

