

## DIRECTOR REPORT

### STAFF RECOMMENDATION

Staff recommends the Preservation Director approve, with conditions, Site Plan and Design Review for the project known as **CSAC Building Addition (PB25-028)**. Draft Conditions of Approval and Findings of Fact for the project are included below.

### REQUESTED ENTITLEMENTS

1. **Site Plan and Design Review** to rehabilitate an existing historic structure – including interior tenant improvements, alterations to non-contributing elements of the façade, and the construction of a 6th floor addition. The 23,580-square-foot building on a 0.09-acre site at 1100 K Street is located within the Central Business District (C-3-SPD) zone, Central City Special Planning District (SPD), and is a landmark and contributing resource (Cathedral Square Historic District) listed on the Sacramento Register of Historic and Cultural Resources. The project requests a deviation from Capitol View Protection setback requirements.

### PROJECT INFORMATION

Location: 1100 K Street  
Parcel Number: 006-0106-002-0000  
Council District: 4  
Applicant: Tiffany Coyne, HGA  
1200 R Street, Suite 199, Sacramento, CA 95811  
Property Owner: Graham Knaus, California State Association of Counties  
1100 K Street, Sacramento, CA 95814  
Project Planner: Henry Feuss, Associate Planner  
Hearing Date: December 18, 2025

#### Land Use Information

General Plan: Residential Mixed Use (RMU)  
Community Plan Area: Central City  
Specific Plan: Central City  
Zoning: Central Business District (C-3-SPD)  
Special Planning District: Central City  
Planned Unit Development: n/a  
Design Review Area: Central Core  
Parking District: Central Business District  
Historic Landmark: Yes



Historic District: Cathedral Square (Contributing Resource)

Surrounding Land Use and Zoning

North:	C-3-SPD	Religious
South:	C-3-SPD	Office
East:	C-3-SPD	Office
West:	C-3-SPD	Office

Site Characteristics

Existing Property Area:	4,000 square feet / 0.09 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Land Use:	Office

Other Information

Previous Files: PB17-014, PB99-010

## ATTACHMENTS

Attachment 1: Project Plans

## PROPOSED PROJECT AND ANALYSIS

### Background

The project site is located at the southeast corner of 11<sup>th</sup> Street and K Street and is developed with a five-story, 23,580-square-foot office. The building is listed as a landmark on the Sacramento Register of Historic and Cultural Resources and is a contributing resource to the Cathedral Square Historic District.

### Project Details

The applicant is proposing to modify existing storefront windows/doors, reconstruct altered windows on the upper stories, and to construct a single-story rooftop addition. The 2,857 square-foot rooftop addition is designed to be compatible with the existing building by incorporating similar design elements such as smooth stucco, fenestration pattern, and simple cornice detailing. The new building height will be approximately 80.5 feet.

This request requires Preservation Director approval of Site Plan and Design Review of the proposed improvements with deviations to Capitol view protection standards established in Sacramento City Code (SCC) section 17.216.860.

### Site Plan and Design Review

The purpose and intent of Site Plan and Design Review is to ensure the project proposal complies with the relevant development standards and applicable design guidelines.



The proposed rooftop addition is an appropriate alteration with compatible design elements to the contributing building. With a flat roof with a slightly flared cornice, smooth stucco, and window openings that align with the pattern of openings on the original building, the addition will be visually similar, while still being easily distinguished from the original building. The walls of the addition will be set back from the back of the cornice by a minimum of five feet, and from the outer edge of the cornice by a minimum of 10 feet, which will limit visibility of much of the structure when viewed from street level.

The original building is clad in yellow face brick and utilizes terra cotta detailing on floors one, two, and five. The tripartite division of the materials is typical of the period. The new addition will be easily distinguished from the original building by its use of smooth stucco cladding and simply detailing, which will be similar to the smooth terra cotta finish of the top story. Further, stucco is a material commonly found in the historic district. The fenestration pattern of the addition will align with the openings found on the original building. Further, the addition will be capped with a parapet wall that includes a slight outward flare, mimicking the deep projecting cornice in a simple fashion. The new addition is sited in the most appropriate location for this building, which supports the vertical and symmetrical nature of the design, which are character defining features of the Italian Renaissance revival style of the early 20<sup>th</sup> century. Additionally, building symmetry is character-defining feature found in the Cathedral Square Historic District. The new addition is not excessively large and preserves and continues the proportions of the existing building's massing. While the addition will be partially visible, it will not detract from the character defining features of the building due to its simple design and small stature. There will be no alterations to contributing historic features of the building, and the addition will be easily reversible should it need to be removed in the future.

As designed, the project meets all applicable development standards of the C-3-SPD zone, the Central Core Design Guidelines, and the Cathedral Square Historic District Plan, with the exception of the proposed deviation from the Capitol view protection setback requirements.

The site is subject to Capitol view protection standards. SCC section 17.216.860.C establishes a requirement that buildings in this area shall be stepped back at least 30 feet from the property line above 70 feet in height. The project proposes to increase the building height by 16'-9 1/2", from 63'-8" to 80'-5 1/2", meaning that the upper 10'-5 1/2" of the structure are not in compliance with the standard. Given the size of the building/lot, it would not be possible to construct a vertical addition over 70 feet tall at this site and be in compliance with this standard. However, the purpose of the standard is to provide visual protection to and from the State Capitol and Capitol Park. Staff considers the deviation to be justifiable given the building located to the south at 1127 11<sup>th</sup> Street (006-0106-006) is nearly twice the height of the project site and therefore blocks visibility of the Capitol already. The increase in height of 1100 K Street will not obstruct any critical view corridors of either the Capitol or the Cathedral of the Blessed Sacrament, which is located directly north of the project site.

Staff supports the deviation as:

1. The site is located near several buildings at or greater than the proposed height, therefore the context of the neighborhood will not be altered by the increased height of the building, and the view corridor to and from the Capitol will not be affected.



2. The design of the addition is setback from the existing structure and is designed in a manner that reduces apparent mass and bulk, consistent with the intent of the Capitol view protection requirements.

Additional changes to the building include alterations to three storefront bays on the ground floor. The existing first and second floors were originally a full-height lobby space that was converted into two levels with a mezzanine floor. The original storefront windows have also since been removed, and incompatible windows have been installed in their place. The project proposes to relocate the main entrance of the building back to its original location at the central bay of the northern elevation. The door openings in the easternmost bay on the north elevation will be removed, and a new storefront will be installed that recreates the design of the original storefront. However, the location of the spandrel between the transom and main window will be lowered due to the existence of the mezzanine floor on the interior. The project will also include the installation of decorative terra cotta blocks matching those that were shown at the base of the original storefront windows. Further, the southernmost bay on the west elevation which contains a service entrance will be altered to reflect the original framing pattern of the storefront, including the decorative terra cotta blocks.

Staff is not aware of any publicly accessible historic interior spaces that retain integrity, so therefore there is no review of any interior work. Should any historic features be uncovered during the project, staff has included a condition of approval that they be consulted prior to any alteration of said features.

The project also proposes to restore the picture window openings on the southernmost bay on the western elevation on floors three through five. The openings had been modified to accommodate louvers for a mechanical system. This scope, along with the storefront rehabilitation, are specifically identified as recommendations in the Cathedral Square Historic District Plan under Section 1.1.

The ground-floor is utilized as an office land use. SCC section 17.216.820 establishes a 50% ground-floor retail requirement along 11<sup>th</sup> and K Streets and the existing ground-floor is utilized as office space. Staff notes that the office use is an existing nonconforming condition, and may continue consistent with SCC chapter 17.232.

## **PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS**

The project was noticed to property owners and residents within 500 feet of the subject site, and the site was posted for the hearing. Neighborhood associations that were notified for the hearing include the Downtown Sacramento Partnership (PBID) and Preservation Sacramento. Staff has not received any objections from the above-mentioned groups or any members of the public at the writing of this report.

## **ENVIRONMENTAL CONSIDERATIONS**

The project is determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15301, Existing Facilities (Categorical



Exemption – Class 1) which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The Preservation Director is recommended to make a determination that the work would not have a significant impact on historical resources.

## **FLOOD HAZARD ZONE**

The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Reports accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

## **FINDINGS OF FACT**

### **Environmental**

1. The Preservation Director has determined that:
  - a. The addition will not have a significant impact on a historical resource; and
  - b. The project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15301, Existing Facilities (Categorical Exemption – Class 1) which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

### **Site Plan and Design Review**

2. The project is consistent with the Secretary of Interior's standards and the goals and policies of SCC chapter 17.808. The proposed development is consistent with the General Plan including Policy HCR 2.1.11 for compatibility with the surrounding historic context. The proposed development is consistent with the Secretary of the Interior's Standards for rehabilitation in that the proposal will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. The proposed development is consistent with the purpose and intent of the standards and criteria of the Cathedral Square Historic District in that: 1) the scale, massing, and proportions of the new construction will be compatible with those of contributing buildings on the same block; 2) the design is compatible and easily distinguishable from the original structure; and 3) the proposed deviation meets the purpose and intent of Capitol view protection standards as it has been designed in a manner to reduce apparent mass and bulk, and will not impede any view corridor toward or away from the Capitol or its grounds. The proposed development is not detrimental to the public health, safety, convenience, or welfare of persons residing,



working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the project meets all applicable development standards for the C-3-SPD zone with exception to the deviation from the Capitol view protection requirement.

## **200-Year Flood Protection**

3. The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Reports accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

## **CONDITIONS OF APPROVAL**

### **Planning**

1. Any changes, additions, or modifications to the approved plans with respect to layout, setback, materials, etc. shall require additional review and approval from Planning Division staff (and may require additional entitlements).
2. The proposed project shall provide the following design elements:
  - a. Rooftop addition
    - i. Smooth stucco finish on all exterior wall surfaces of the addition
    - ii. Cornice detail shown on attached plans
    - iii. Fenestration pattern aligning with the existing windows bays of the original building
    - iv. Product data for new windows shall be provided to preservation staff by email prior to procurement
  - b. Storefronts
    - i. New storefronts shall match original storefronts based on photographic evidence
    - ii. Mullions shall be installed per plan
    - iii. Decorative terra cotta blocks and knee walls shall be installed to match original
    - iv. Product data for new windows and doors shall be provided to preservation staff by email prior to procurement



- c. Window openings on floors three through five on southernmost bay on western elevation shall be restored to match their original appearance.
    - i. Louvers shall be removed and picture windows shall be reinstalled.
    - ii. Existing double hung windows flanking center opening shall be retained unless it is demonstrated that they are beyond repair to preservation staff in writing.
- 3. Deviations to the following development standards are approved as follows:
  - a. Capitol view protection stepback requirement: the project may extend into the stepback area as shown on the approved plans.
- 4. There shall be no alterations to the existing building outside of the proposed work area.
- 5. Should any decorative historic interior features be uncovered during the course of the project, the applicant shall consult with preservation staff in writing before altering said features.
- 6. The applicant shall obtain all necessary building and encroachment permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
- 7. All newly installed exterior wall-mounted and ground-mounted electrical service equipment, excluding transformers, must be completely concealed from all adjacent and approaching right-of-way views. At a minimum, the screening shall be as high as the mechanical equipment being installed. Construction documents shall clearly illustrate compliance. Placement of all exterior electrical equipment, along with any necessary screening and details, must be shown on site plans, floor plans, and exterior elevations, while maintaining all service clearance requirements. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. All material shall be painted to match elements of building exterior finish.
- 8. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. At a minimum, the screening shall be as high as the mechanical equipment being installed. Construction documents shall clearly illustrate compliance. Placement of all exterior mechanical equipment, along with any necessary screening and details, must be shown on site plans, roof plans, and exterior elevations. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. Louvered material shall be positioned so spacing does not align with line-of-sight views. All material shall be painted to match elements of building exterior finish.
- 9. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the



Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.

10. An in-progress planning inspection shall be conducted at the point of foundation and framing inspections.
11. Final occupancy shall be subject to approval and involve an on-site final inspection by Planning staff.
12. This approval is valid for three years and subject to SCC section 17.808.400.

### **Environmental**

13. In the event that archaeological resources or human remains are encountered during construction, work within 100 feet of the discovery shall cease until a notice to proceed is issued by the City. The applicant shall notify the City of Sacramento Manager of Environmental Planning Services (phone 311 or (916) 808-5842; email [SRJohnson@cityofsacramento.org](mailto:SRJohnson@cityofsacramento.org)) and shall comply with City direction, and federal and State regulations and guidelines regarding the treatment of cultural resources and human remains. The Coroner shall be notified in the event human remains are discovered; the applicant shall be responsible for the employment of a qualified archaeologist to advise regarding treatment of any artifacts.
14. The project applicant shall conduct any tree removal activities required for project construction outside of the migratory bird and raptor breeding season (February 1 through August 31) where feasible. All trees slated for removal during the nesting season shall be surveyed by a qualified biologist no more than 48-hours before removal to ensure that no nesting birds are occupying the tree. (See federal Migratory Bird Treaty Act, California Fish and Game Code (Sections 3503, 3503.5, 3511, and 3800)
15. For any construction activities that will occur between February 1 and August 31, the applicant shall employ a qualified biologist to conduct preconstruction surveys in suitable nesting habitat on or near the construction area for nesting raptors and migratory birds. If the biologist determines that construction may occur without impacting the breeding effort, the nest(s) shall be monitored by the biologist during construction. If the biologist concludes that the project would impact the nest, construction activities will cease until the nest is no longer active. Completion of the nesting cycle shall be determined by the biologist.
16. Sacramento Metropolitan Air Quality Management District Basic Construction Emission Control Practices apply and compliance is required. See [www.airquality.org](http://www.airquality.org). Other air district rules may apply and the air district should be consulted.

### **Public Works**

17. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as



set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.

18. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25-foot sight triangle). Walls shall be set back three feet behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5 feet in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

### **Sacramento Area Sewer District**

19. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact SacSewer Development Services at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees must be paid before the issuance of building permits.

### **SMUD**

20. SMUD has existing underground 12kV and low voltage/secondary facilities along the north and west side of the property that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- 21.
22. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. Applicant shall be responsible for confirming with SMUD appropriate/acceptable landscaping including placement within the easement area. SMUD reserves the right to prune & remove trees that encroach into the easement area. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval. New landscaping improvements shall be restricted to a maximum height of fifteen feet tall at full maturity.
23. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.



24. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
25. SMUD requires a minimum of 30-inch separation between the edge of the manhole or vault lid and any other object.
26. During SMUD's routine maintenance or during emergency repairs at manholes or vault lids, SMUD reserves the right to close off the area/sidewalk directly surrounding the manholes/vault lids to ensure the public's safety and the safety of SMUD's crews.
27. Service to this building is via SMUD's established 12 kV network secondary grid system. Any panel size increase or major change in building usage or occupancy may require service upgrades, including, but not limited to, a new dedicated transformer vault/location. Please contact SMUD Line Design as soon as possible to discuss service requirements.

### **Utilities**

28. The applicant shall participate in the Central City Special Planning District and pay all required fees. Improvement plans shall be consistent with the Central City Infrastructure and Utilities General Plan that will provide for the ultimate development of the Central City General Plan.
29. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The fee will be used for improvements to the CSS.
30. All increases in sewer flow shall be mitigated. The proposed project is contributing increased sewer flows to the CSS and will be required to evaluate the available capacity of existing CSS mains from the project's point of service to the nearest 18-inch main. If any portion of the City mains to the nearest 18-inch main is determined to have insufficient capacity to accommodate the increased sewer flow, the development shall be required to improve the undersized mains to the nearest 18-inch main.
31. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.

### **ADVISORY COMMENTS**

#### **Fire**



- ADV1. Upon submitting improvement plans for review, provide a Site Safety Plan in compliance with Section 3303 of the California Fire Code. The plan shall identify at minimum, the following safety precautions during demolition and construction:
- a. Name and contact information of the Owner's authorized agent (Site Safety Director) responsible for the development, implementation and maintenance of an approved written site safety plan.
  - b. Procedures for reporting emergencies.
  - c. Fire Department Access Routes.
  - d. Location of fire protection equipment, including type and size of fire extinguishers.
  - e. Smoking and cooking policies that include designated safe areas where smoking and cooking may occur with adequate signage in accordance with Section 3305.8
  - f. Location(s) and proper safety considerations for temporary heating and any associated equipment.
  - g. Hot Work Plan when any welding and/or cutting shall occur.
  - h. Means of providing safeguards to minimize the risk of unwanted releases, fires or explosions involving hazardous materials, such as ignitable liquids/vapors or other combustible materials and ignition sources (cutting and welding, etc).
  - i. Designated smoking areas free of ignitable vapors and other combustible materials.

#### **Sacramento Area Sewer District**

- ADV2. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via its local sanitary sewer collection system. SacSewer is responsible for conveying sewage from the City collection system to the EchoWater Resource Recovery Facility for treatment, resource recovery, and disposal.

#### **Sacramento Metro Air District**

- ADV3. Due to the health risks posed by public exposure to asbestos, demolition and renovation of existing buildings is subject to Sac Metro Air District Rule 902, to limit asbestos exposure during these activities. Sac Metro Air District staff is available to review notifications and answer asbestos related questions, either by emailing [asbestos@airquality.org](mailto:asbestos@airquality.org), or calling 279-207-1122.
- ADV4. All projects are subject to Sac Metro Air District rules and regulations in effect at the time of construction. Please visit our website to find a list of the most common rules that apply at the construction phase of projects. Because this project is located in in the Central



City Specific Plan Area, it is subject to mitigation measures for construction-related air quality impacts in the Mitigation Monitoring Plan in the Environmental Impact Report, pursuant to the California Environmental Quality Act, for the Central City Specific Plan. This includes measures from Sac Metro Air District's Basic Construction Emission Control Practices, measures to further ensure equipment efficiency and control fugitive dust, and possible mitigation fees. Please send construction mitigation fee inquiries to [cmplan@airquality.org](mailto:cmplan@airquality.org).

### **Utilities**

- ADV5. Prior to or concurrent with the submittal of improvement plans, the project may be required to prepare a specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test is required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-1400) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval.
- ADV6. Foundation or basement dewatering discharges to the CSS will not be allowed. The CSS does not have adequate capacity to allow for dewatering discharges for foundations or basements. Foundations and basements shall be designed without the need for dewatering.
- ADV7. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- ADV8. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

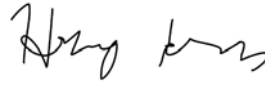
### **Youth, Parks, and Community Enrichment**

- ADV9. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$581. This project proposes a total of 2,907 square feet of new Commercial Retail/Services development. The Park Development Impact Fee due for this project is based on the Central City Incentive Zone Rate of \$0.20 per square foot for retail and commercial services projects. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.



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Respectfully Submitted:



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Henry Feuss  
Assistant Planner

Recommendation Approved:



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Karlo Felix  
Senior Planner

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The decision of the Preservation Director may be appealed to the Preservation Commission. An appeal must be filed within 10 days of the Preservation Director's hearing. If an appeal is not filed, the action of the Preservation Director is final.

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CSAC BUILDING  
RENOVATION

1100 K STREET  
SACRAMENTO, CA 98514



HGA

1200 R STREET, SUITE 100  
SACRAMENTO, CALIFORNIA 95811  
TELEPHONE: 916.787.5100

PLANNING SUBMITTAL

NOTE: RENDERING NOT FOR CONSTRUCTION USE

PROJECT INFORMATION

PROJECT NAME: CSAC BUILDING RENOVATION - PHASE 2

PROJECT DESCRIPTION: RENOVATION OF AN EXISTING MULTI-STORY OFFICE BLDG WITHIN HISTORIC CORE OF DOWNTOWN SACRAMENTO. INTERIOR TENANT IMPROVEMENT WITH AN INCREASE IN EXISTING BLDG HEIGHT WITH THE ADDITION OF AN LEVEL 6 CONFERENCE HALL. PRESERVATION OF EXISTING HISTORIC INTERIOR EXIT STAIRWAY AND EXTERIOR FACADE EXCEPT AT MAIN ENTRANCES AND WINDOW OPENINGS.

UNDER SEPARATE PERMIT, PHASE 1 WORK INCLUDES DEMOLITION INSIDE (E) HISTORIC BUILDING TO PREPARE FOR RENOVATION WORK. PHASE 1 DEMOLITION IS LIMITED TO NON-CONTRIBUTING HISTORICAL ELEMENTS AND INCLUDES INTERIOR NON-LOAD BEARING WALLS AND BUILDING SYSTEMS.

PHASE 2 RENOVATION WORK INCLUDES STRUCTURAL SEISMIC UPGRADES, REMODEL, NEW MEP & SPRINKLER SYSTEMS, THE ADDITION OF A NEW FLOOR, AND SELECT EXTERIOR REPAIR AND RENOVATION.

OCCUPANCY:  
(E) GROUP B  
(N) GROUP A (SEPARATED) AT LEVEL 6

PROPOSED USE:  
(E) OFFICE BUILDING WITH LEVEL 6 ADDITION

SEISMIC ZONE:  
D

PROJECT ADDRESS:  
CALIFORNIA STATE ASSOCIATION OF COUNTIES (CSAC)  
1100 K ST  
SACRAMENTO, CA 95814

REQUIRED FIRE SEPARATION:  
1-HR MIN BETWEEN (E) GROUP B & (N) GROUP A, 1-HR AT PROPERTY LINE

HEIGHT OF BUILDING:  
(E) 68'-3" OVERALL HEIGHT ABV GRADE, + (E) 9'-4" BASEMENT  
(N) 80'-5 1/2" OVERALL HEIGHT ABV GRADE, + (E) 9'-4" BASEMENT

TYPE OF CONSTRUCTION:  
(E) TYPE II-A (ORIGINAL TYPE II-FR)  
(N) TYPE I-B

PARCEL NO:  
0060106020000

PARCEL SIZE  
4,014 SF

ZONING  
C-3 SPD  
CENTRAL BUSINESS DISTRICT  
SPECIAL PLANNING DISTRICT  
CATHEDRAL SQUARE HISTORIC DISTRICT

SETBACKS FROM PROPERTY LINE  
NORTH 0'-0" (K ST)  
WEST 0'-0" (11TH ST)  
EAST 0'-0" (PARTY WALL)  
SOUTH 0'-0" (PARTY WALL)

SETBACKS FROM ASSUMED PROPERTY LINE IN PUBLIC WAY  
NORTH 40'-0" (K ST)  
WEST 40'-0" (11TH ST)

VEHICLE PARKING  
NONE/NO CHANGE

TRANSIT  
(E) LIGHT RAIL CORRIDOR

BIKE PARKING (NEW)  
4 LONG TERM  
2 SHORT TERM  
6 PROVIDED WITHIN BASEMENT LEVEL

PROJECT FLOOR AREA

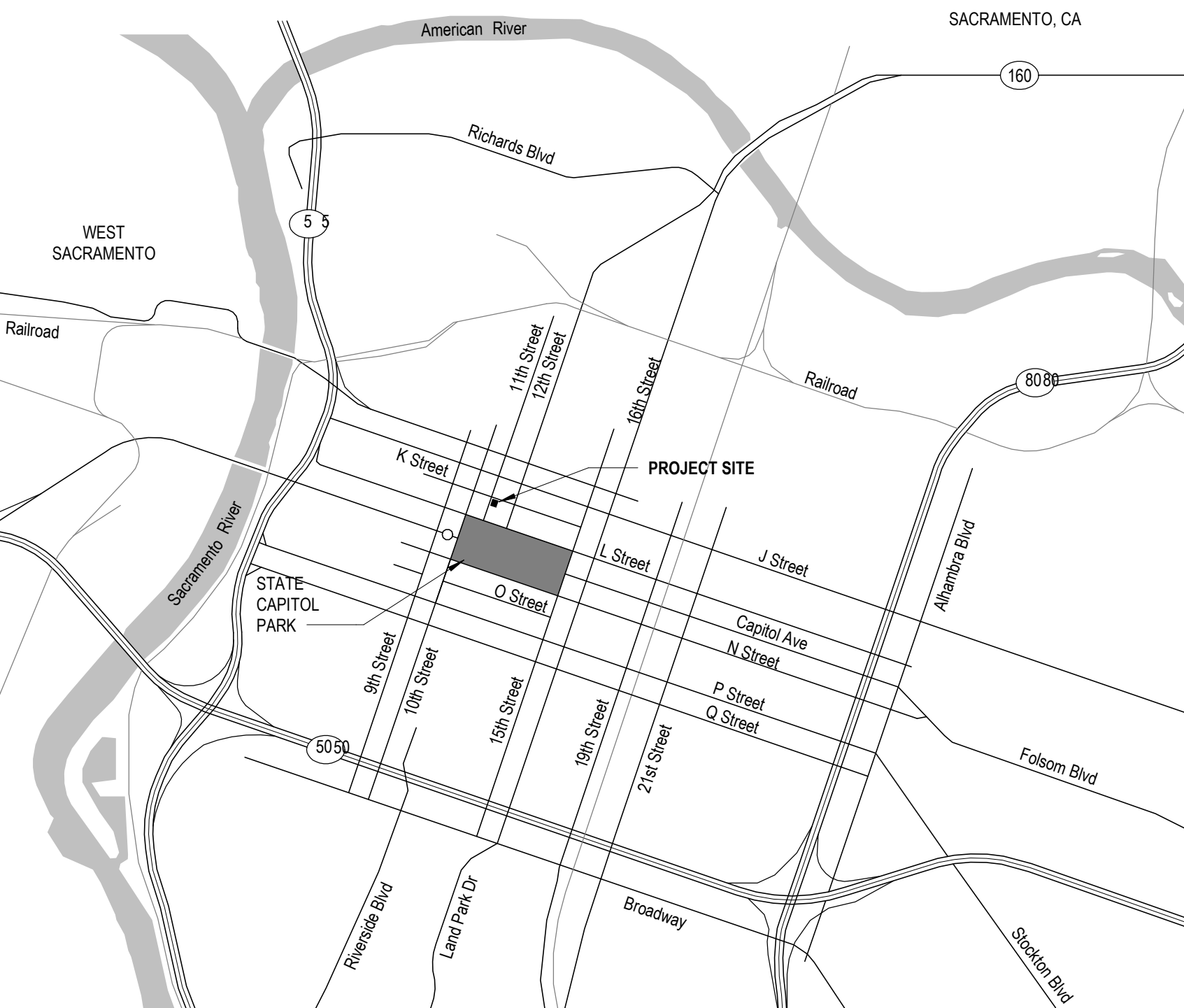
AREA (GSF) NEW

BASEMENT	5,716 SF
LEVEL 01	3,707 SF
LEVEL 02	3,780 SF
LEVEL 03	3,436 SF
LEVEL 04	3,437 SF
LEVEL 05	3,434 SF
LEVEL 06	2,857 SF
TOTAL	26,368 SF

CONTACT INFORMATION		
OWNER:	CALIFORNIA STATE ASSOCIATE OF COUNTIES CONTACT: CHASTITY BENSON	PHONE: (916) 650-8127 EMAIL: CBENSON@COUNTIES.ORG
ARCHITECT:	HGA CONTACT: BETH YOUNG	PHONE: (916) 787-5145 EMAIL: BYOUNG@HGA.COM
ELECTRICAL:	THE ENGINEERING ENTERPRISE CONTACT: SCOTT WHEELER	PHONE: (530) 886-8556 EMAIL: SCOTT@ENGENT.COM
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PRESERVATION	ARCHITECT: PAGE & TURNBULL CONTACT: MELISA GAUDREAU	PHONE: (916) 862-8532 EMAIL: GAUDREAU@PAGE-TURNBULL.COM

CODE INFORMATION	
2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)	PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
2022 CALIFORNIA BUILDING CODE (CBC)	PART 2, TITLE 24, CCR
2022 CALIFORNIA ELECTRICAL CODE (CEC)	PART 3, TITLE 24, CCR
2022 CALIFORNIA MECHANICAL CODE (CMC)	PART 4, TITLE 24, CCR
2022 CALIFORNIA PLUMBING CODE:	PART 5, TITLE 24, CCR
2022 CALIFORNIA ENERGY CODE (CEC)	PART 6, TITLE 24, CCR
2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)	PART 8, TITLE 24, CCR
2022 CALIFORNIA FIRE CODE(CFC)	PART 9, TITLE 24, CCR
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE:	PART 11, TITLE 24, CCR
ELEVATORS	TITLE 8 - DIVISION 1, CHAPTER 4, SUBCHAPTER 6, CCR
AUTHORITY HAVING JURISDICTION:	CITY OF SACRAMENTO
COUNTY OF:	SACRAMENTO

PLANNING SHEET INDEX		
REV #	NUMBER	SHEET NAME
1-GENERAL		
G000 - GENERAL		
	G000	COVERSHEET
	G002	LOCAL ZONING
8-ARCHITECTURAL		
A000 - GENERAL		
	A021	ARCHITECTURAL SITE PLAN
	A022	SITE PHOTO
	A023	HISTORIC COMPARISON K ST ENTRANCE
	A024	HISTORIC COMPARISON 11TH ST ENTRANCE
A100 - DEMOLITION PLANS		
A100		OVERALL DEMOLITION PLAN - BASEMENT LEVEL
A101		OVERALL DEMOLITION PLAN - LEVEL 01
A102		OVERALL DEMOLITION PLAN - LEVEL 02
A103		OVERALL DEMOLITION PLAN - LEVEL 03
A104		OVERALL DEMOLITION PLAN - LEVEL 04
A105		OVERALL DEMOLITION PLAN - LEVEL 05
A106		OVERALL DEMOLITION ROOF PLAN - LEVEL 06 & 07
A140		OVERALL DEMOLITION - EXTERIOR ELEVATIONS
A200 - FLOOR PLANS		
A200		OVERALL FLOOR PLAN - BASEMENT LEVEL
A201		OVERALL FLOOR PLAN - LEVEL 01
A202		OVERALL FLOOR PLAN - LEVEL 02
A203		OVERALL FLOOR PLAN - LEVEL 03
A204		OVERALL FLOOR PLAN - LEVEL 04
A205		OVERALL FLOOR PLAN - LEVEL 05
A206		OVERALL FLOOR PLAN - LEVEL 06
A207		OVERALL ROOF PLAN - LEVEL 07
A400 - EXTERIOR DETAILING		
A400		EXTERIOR 3D VIEWS
A401		OVERALL EXTERIOR ELEVATIONS
A403		STREETSCAPE, COLOR & MATERIAL
A410		SECTIONS
Grand total: 26		



G000.

PHASE 2



17

27

An architectural rendering of the proposed 10-story building at 1000 Broadway. The building features a modern design with a glass and steel facade and a sloped roof. It is surrounded by mature trees and a sidewalk with pedestrians, illustrating its integration into the urban environment.

6/10

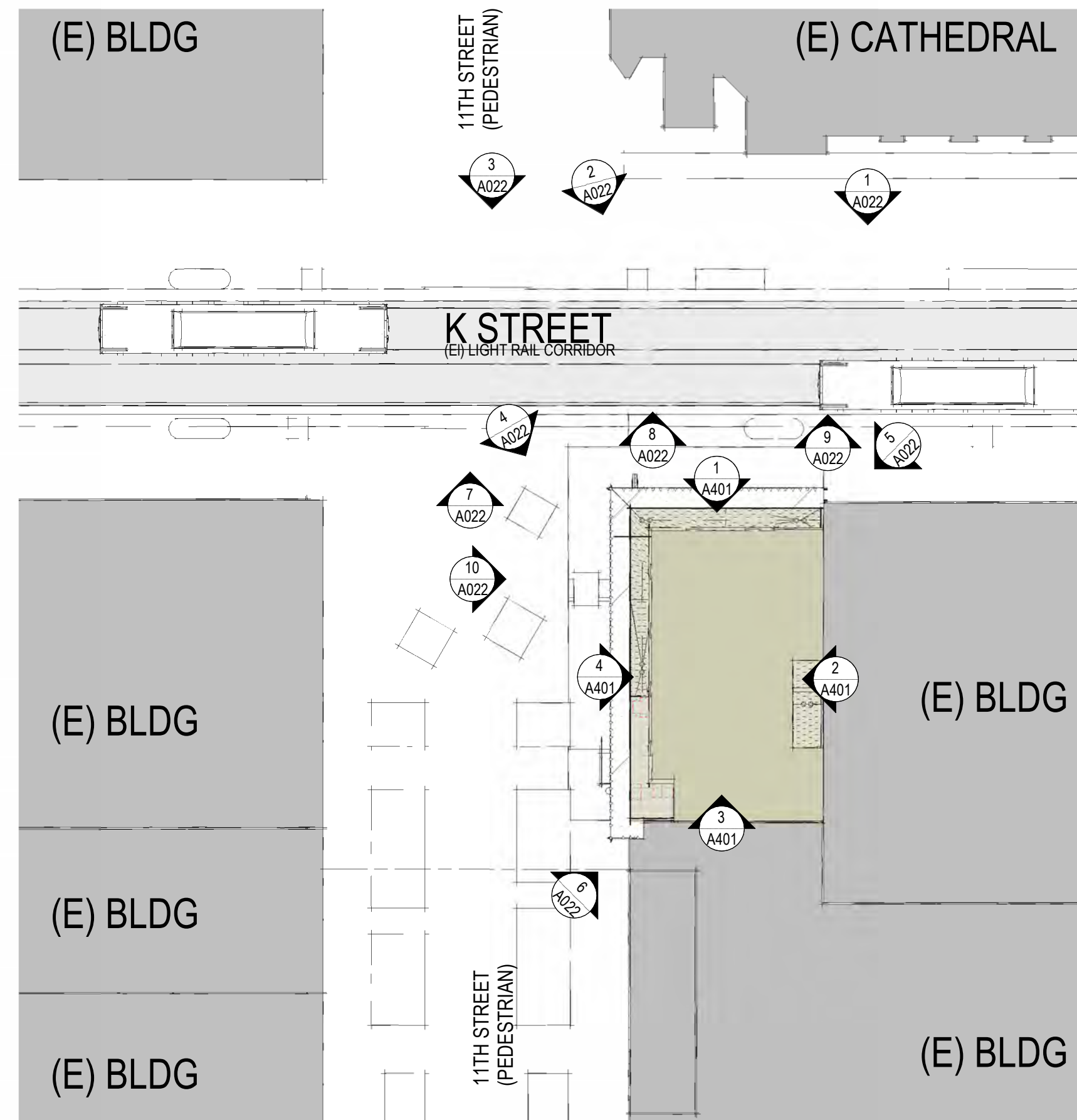
67

## PHASE 2









**A** PLANNING - SITE PLAN - PHOTO



## 1 Planning - Photo 1



## 2 Planning - Photo 2



### 3 Planning - Photo 3



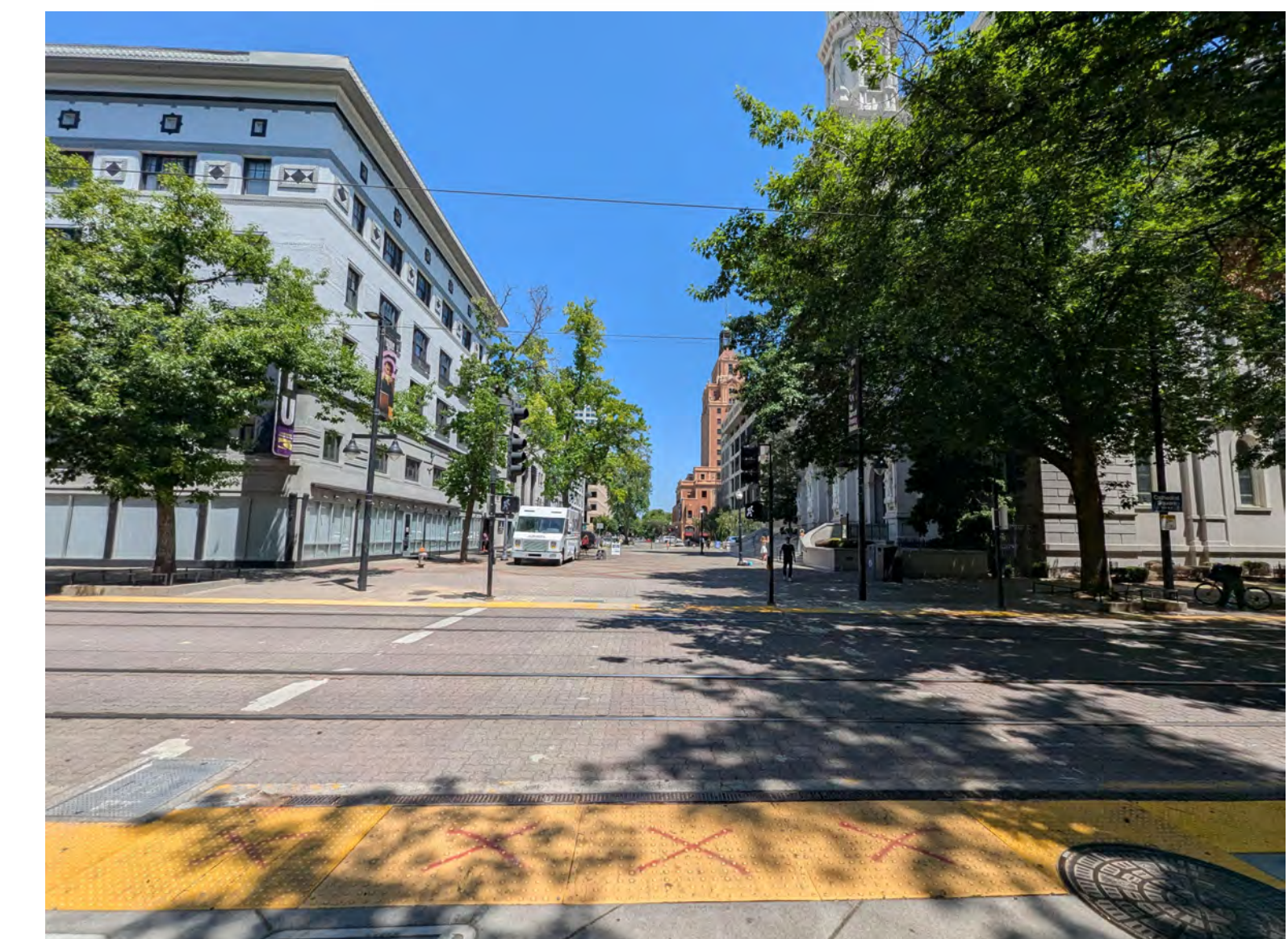
## 4 Planning - Photo 4



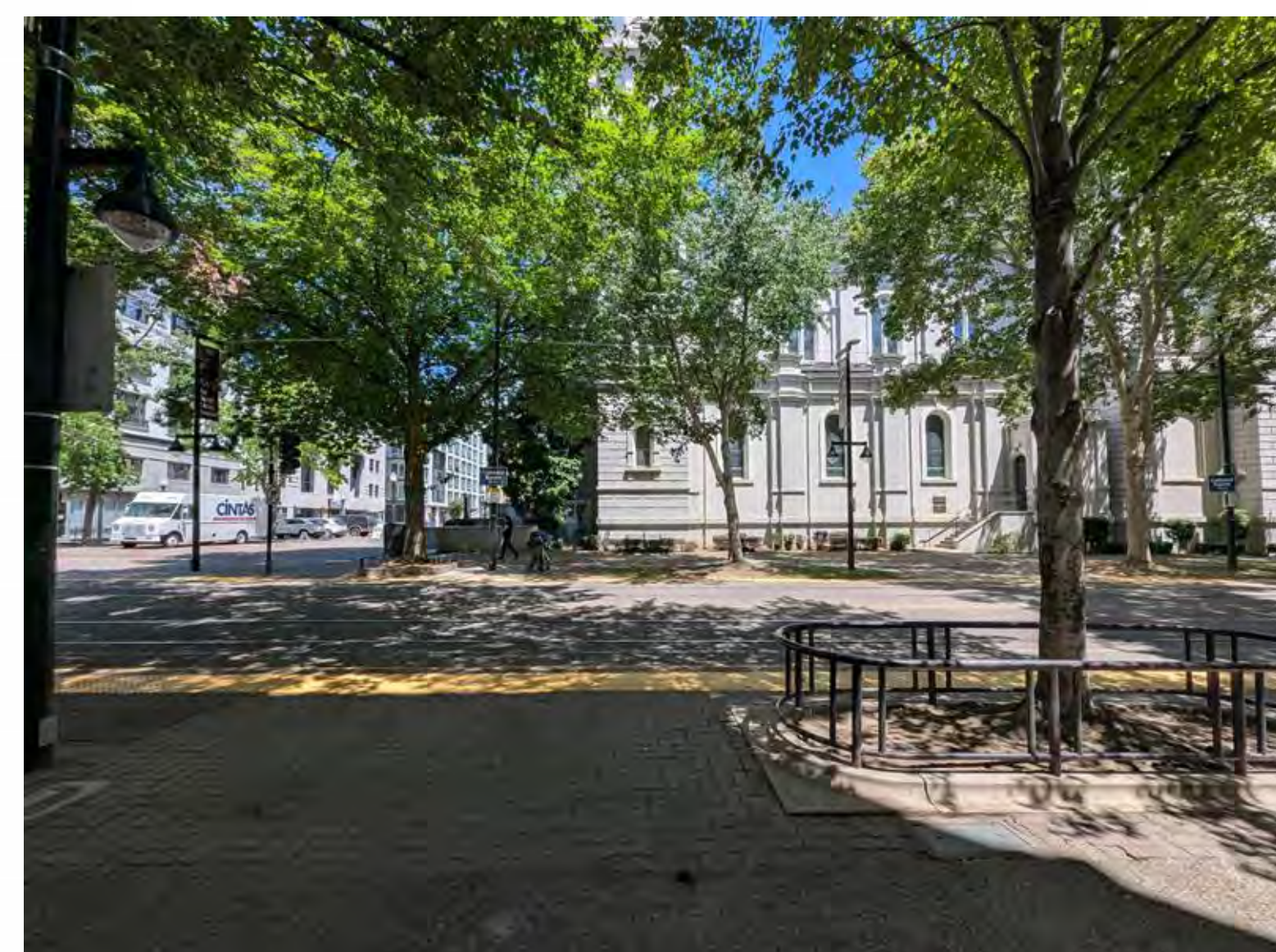
## 5 Planning - Photo 5



6 Planning - Photo 6



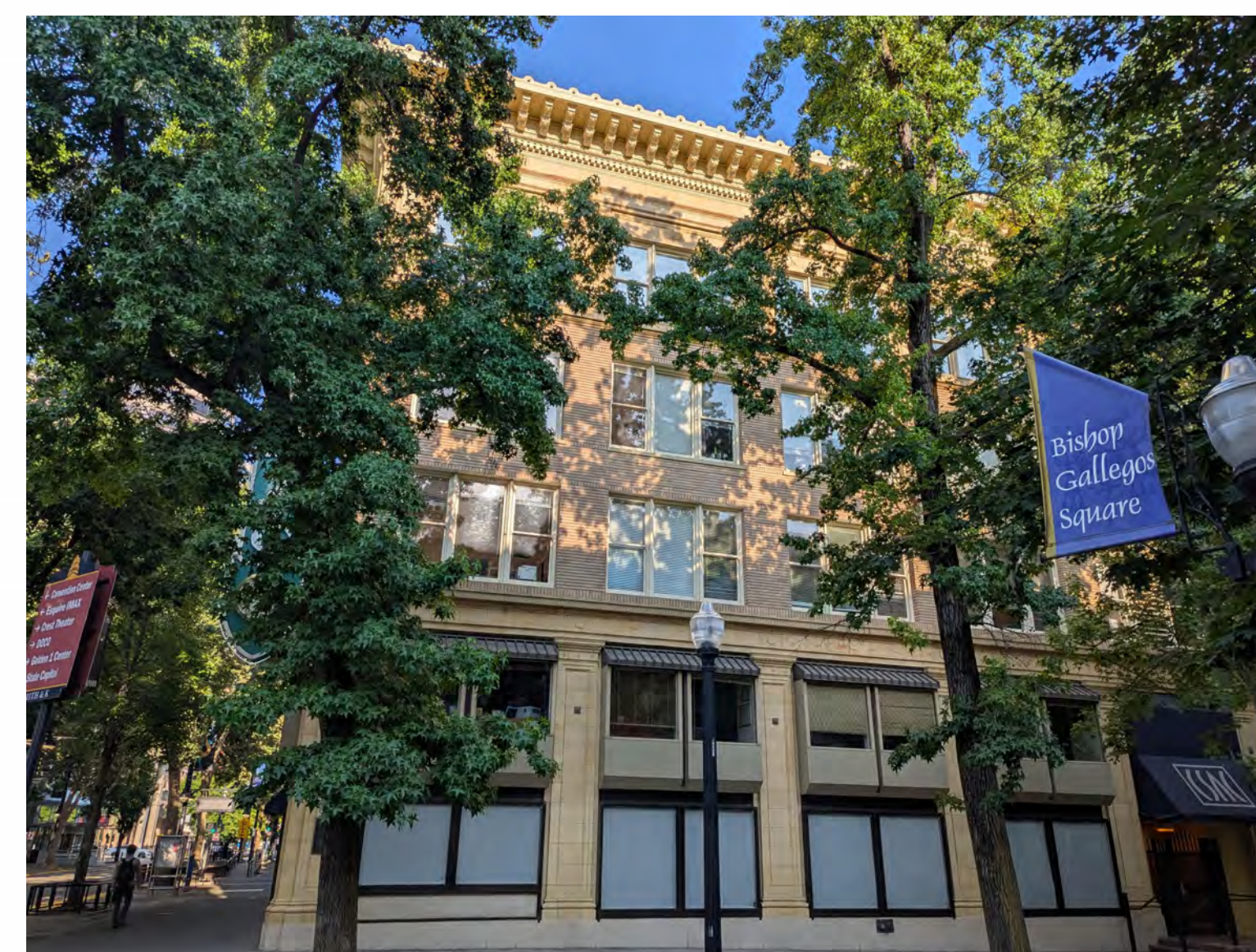
7 Planning - Photo 7



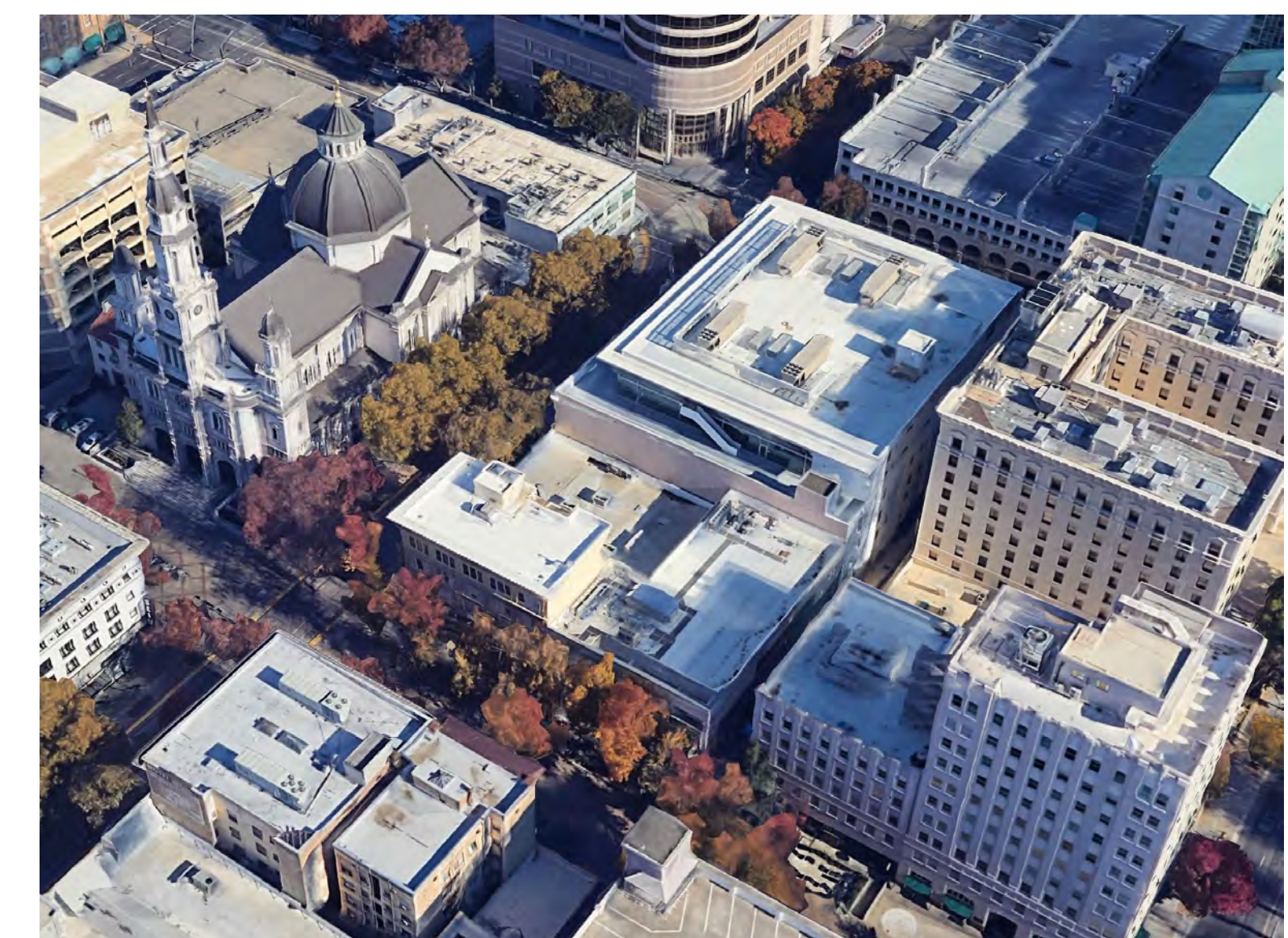
## 8 Planning - Photo 8



9 Planning - Photo 9



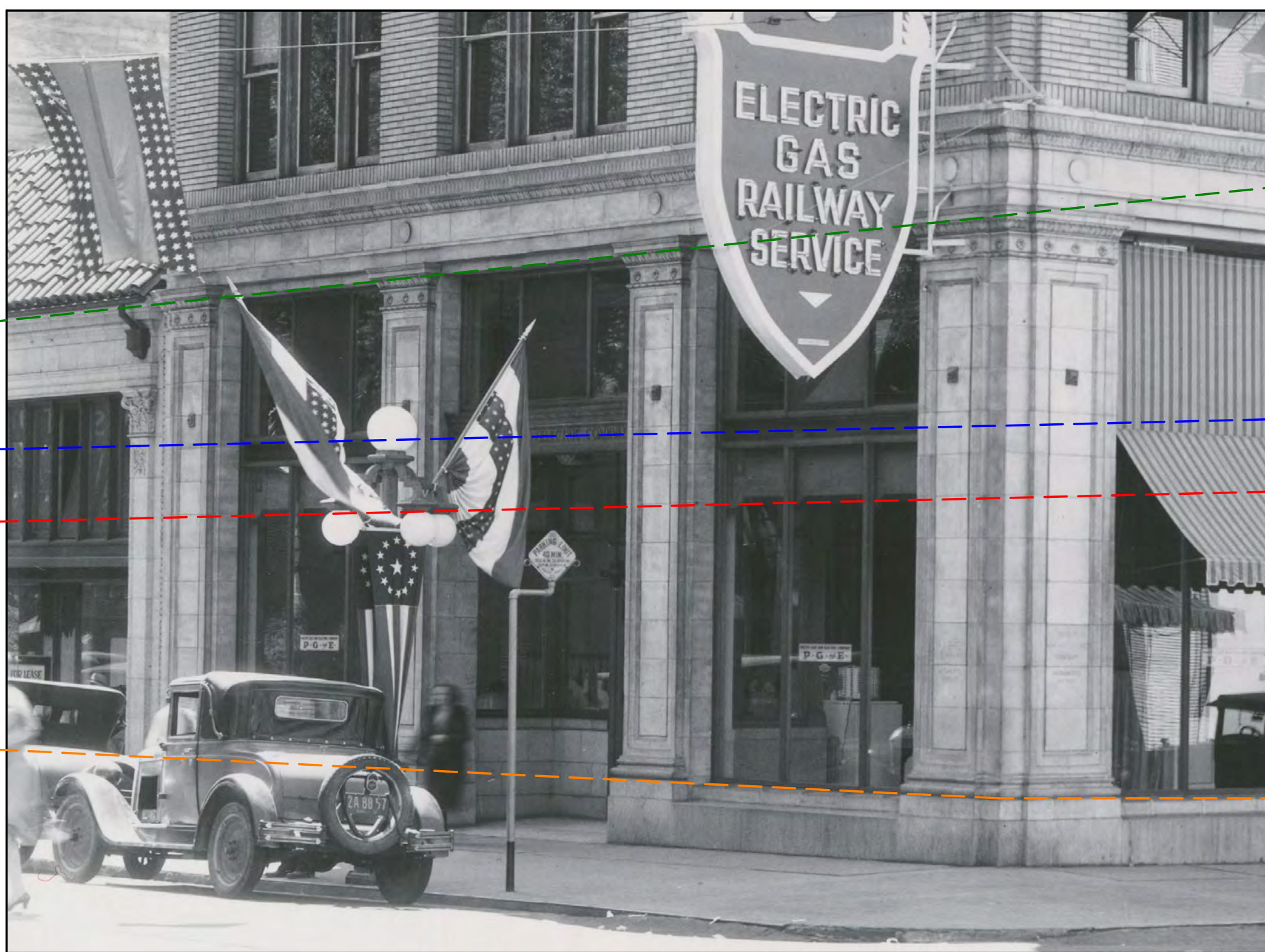
10 Planning - Photo 10



11 Planning - Photo 11 Aerial

[illegible]





1 HISTORIC (1931) - NORTH ELEVATION AT K STREET



2) EXISTING - NORTH ELEVATION AT K STREET



2 PROPOSED - NORTH ELEVATION AT K STREET



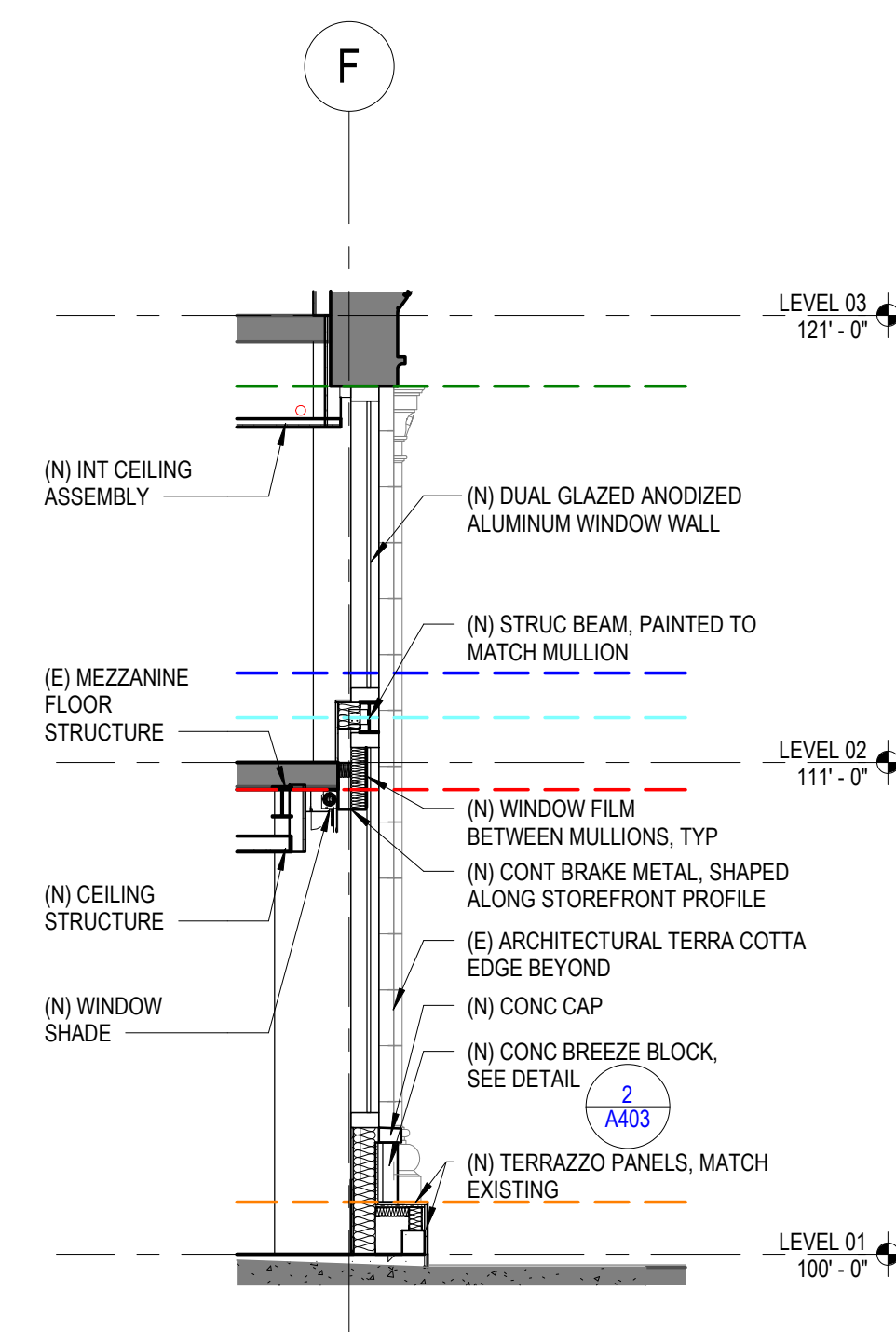
4 PROPOSED - NORTH ELEVATION AT K STREET



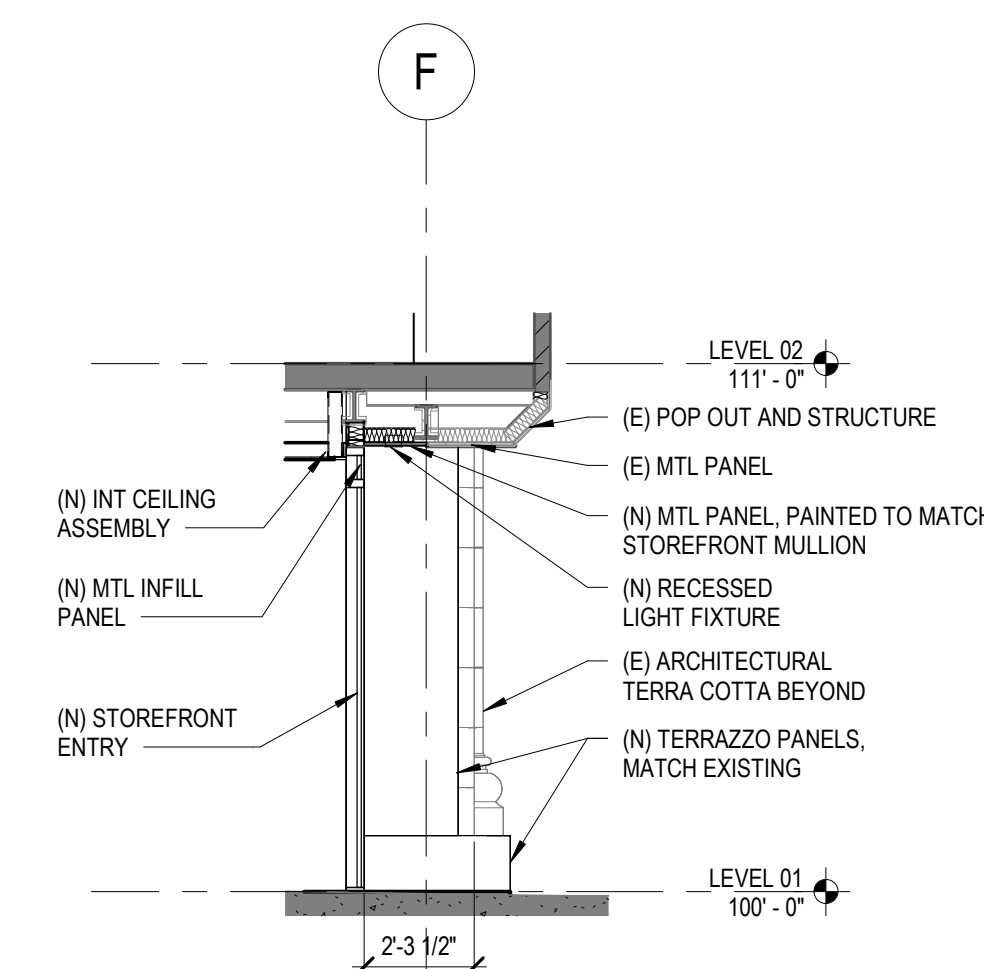
**SECTION PERSPECTIVE OF WINDOW WALL**



6 PLANNING - OVERALL - NORTH ELEVATION AT K STREET  
1/4" = 1'-0"



7 PLANNING - ENLARGED CURTAIN WALL SECTION  
1/4" = 1'-0"



8 PLANNING - ENLARGED ENTRY SECTION  
1/4" = 1'-0"

[illegible]

HGA NO: 5380-001-01

## HISTORIC COMPARISON K ST ENTRANCE

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

A023.

## PHASE 2

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-  HISTORIC TOP OF WINDOW WALL
-  HISTORIC CENTERLINE OF UPPER VS LOWER WINDOW WALL
-  PROPOSED CENTERLINE OF UPPER VS LOWER WINDOW WALL
-  (E) BOTTOM OF DECK
-  HISTORIC TOP OF TERRAZZO SILL LINE



PAGE & TURNBULL  
2600 CAPITOL AVE, SUITE 450  
SACRAMENTO, CA 95816  
916.662.8532

1100 K STREET  
Sacramento, CA 95814

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

## HISTORIC COMPARISON 11TH ST ENTRANCE

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

A024.

## PHASE 2












- A. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.
- B. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FLOOR FINISHES, WALLS, CEILINGS, WALL BASE, AND PARTITION WALLS, AND EXISTING INTERIOR PARTITION WALLS AND PARTITION DOORS.
- C. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE NOTED.
- D. REMOVE EXISTING INTERIOR PARTITION WALLS AND PARTITION DOORS TO PROJECT MATERIALS ABOVE AND TO TOP OF FLOOR STRUCTURAL COMPONENTS AT BASE. DO NOT LEAVE SECTIONS OR MATERIALS OF WALL ASSEMBLIES IN PLACE.
- E. AT SIDES OF WALLS, THAT ABUT WALLS TO REMAIN, CUT OUT EACH AT LEAST 1 INCH (25 MM) BEYOND FACE OF FINISH OF WALL TO PROVIDE A MINIMUM 1 INCH (25 MM) GAP FOR NEW WORK.
- F. COMPLETELY REMOVE FINISHES, SUB-BASE MATERIALS AND STRUCTURAL FRAMING MATERIALS TO UNLESS NOTED OR REQUIRED FOR NEW WORK.
- G. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK:
  - A. (1) STEEL BASES AT ELEVATION LOCATION
- H. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:
  - A. (1) STEEL BASES AT ELEVATION LOCATION
- I. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- J. MAINTAIN MAINTAIN FIRE EXTINGUISHERS IN AREA OF WORK, IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- K. COORDINATE UTILITY INTERUPTIONS WITH OWNER. PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE ANY UTILITY OWNERS WRITTEN APPROVAL OF INTERUPTIONS BEFORE PROCEEDING.
- L. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OWNER. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING.
- M. MAINTAIN TEMPORARY BARRIERS AND ENCLOSURES TO PREVENT ENTRY OF PROJECT MATERIALS AND PEOPLE. PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.
- N. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS IN PLUMBING, HEATING, VENTILATION, AND AIR CONDITIONING, ELECTRICAL, COMMUNICATIONS, AND ELECTRONIC SAFETY AND SECURITY SYSTEM DEMOLITION WORK.
- O. PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.
- P. REMOVE ALL DEBRIS FROM EXISTING SURFACES TO PROVIDE A CLEAN, FLAT SURFACE FOR DISPOSITION. ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM FOR ADDITIONAL INFORMATION, SEE REFERENCED GEOTECH REPORT IN STREET SHEETS AND OWNER'S SUPPLEMENTAL SPECIFICATIONS.
- Q. DUE TO THE HEALTH RISKS POSSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE #20. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES, THE FOLLOWING SHALL BE OBSERVED:

1. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EXISTING TREES AND MAINTAIN RETAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
3. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE, WHERE THERE ARE NO EXISTING OR CONVEYANCE AND LIMITED ACCESS SHALL BE MAINTAINED OUTSIDE THE DRIVELINE OF PROTECTED TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITHIN
4. THE USE OF ONE OR MORE OF THE FOLLOWING A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 1/4-INCH PLYWOOD OR 1/2-INCH CONCRETE SLAB SHALL BE MAINTAINED COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
5. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT BUFFER. EXISTING TREES SHALL BE PROTECTED BY THE CITY ARBORIST TO PREVENT SUBJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
6. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING GRASSLAND OR BRIDGED OVER THE EXISTING SOIL. EXISTING PLANTERS SHALL BE PROTECTED BY THE CITY ARBORIST TO PREVENT SUBJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
7. ANY REGULATED WORK WITHIN THE DRIVELINE OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SUPERVISOR PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO THE CITY ARBORIST TO OBTAIN A TREE PROTECTION PERMIT. THE PLAN SHALL SHOW THE PLANTING NUMBER OR NUMBER OF THE TREE OR PROJECT NUMBER.
8. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIVELINE OF PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION/PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
9. TO MAINTAIN EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIVELINE OF PROTECTED TREES.
10. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIVELINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE TO MAINTAIN EXISTING GRADES WITHIN THE DRIVELINE OF PROTECTED TREES.
11. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIVELINE OF PROTECTED TREES.
12. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES: EXCAVATION, GRADING, TRENCHING, OR ANY OTHER REASON THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, OIL, GREASE, OIL, OR OIL OR GREASE, OR ANY OTHER ACTIVITIES THAT MAY CAUSE DAMAGE TO THE TREES AND SOIL.
13. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO CITY TREES ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THE CITY ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE TO CITY TREES. THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO REPAIR OR REPLACE THE DAMAGED TREES. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO REPAIR OR REPLACE THE DAMAGED TREES. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO REPAIR OR REPLACE THE DAMAGED TREES.

## SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	
2	(E) TWO HOUR RATED	
3	(E) THREE HOUR RATED	
	(E) CONSTRUCTION TO BE REMOVED	



(E) COL TO REMAIN, SEE STRUC DWGS

(E) SLAB TO BE REMOVED. SHEAR WALLS TO BE  
CONSTRUCTED PRIOR TO DEMOLITION OF SLAB.  
SEE STRUCTURAL. DO NOT CUT (E) BEAMS  
UNLESS NOTED IN STRUCT SHEETS.

#	DESCRIPTION
D15	(E) CONC. SLAB TO BE GRINDED DOWN AS REQUIRED TO PROVIDE CODE-COMPLIANT 2% MAX SLOPE AT DOOR ENTRY. PREPARE FOR NEW CONSTRUCTION. SEE SHEET A201 FOR ADDITIONAL INFORMATION
D17	(E) (E) STOREFRONT AND COVER FOR ENTRY. SALVAGE (E) STONE BASE FOR USE AT ADJACENT INFILLED BAY.
D18	REMOVE (E) METAL PANELS, WINDOW, FABRIC CANOPY, DOORS AND STOREFRONT. SEE A401 FOR NEW CONSTRUCTION AND HISTORIC PRESERVATION DRAWINGS FOR ADDITIONAL INFORMATION
D19	REMOVE (E) GATE AND FENCING
D22	REMOVE (E) EXT WALL, DOVER, AND DOOR.
D26	REMOVE (E) FLOOR SLAB. SEE STRUCT. SHEAR WALLS TO BE CONSTRUCTED PRIOR TO DEMOLITION OF SLABS
D61	REMOVE (E) METAL GRATE ASSEMBLY.
D62	REMOVE (E) MANHOLE.
D64	REMOVE (E) WALL FINISH ON OUTSIDE SURFACE FOR (N) SUPPORTS. (E) HCT TO REMOVE FOR (N) FRAMING. SEE STRUCT FOR EXTENT OF FRAMING
F2	(N) CONCRETE SHEAR WALL. SEE STRUCTURAL
F6	(E) HISTORIC STAIR TO REMAIN. REPLACE NON-HISTORIC (E) CONTRASTING STRIP WITH FULL LENGTH STRIP. REPLACE NON-HISTORIC (E) LIGHT FIXTURES, REPAIR WALLS, SAND AND STAIN (E) HISTORIC WOOD HANDRAILS. PROVIDE (N) MATERIAL FILL OVER NON-HISTORIC (E) WAINSCOT.

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

**OVERALL  
DEMOLITION  
PLAN - LEVEL 01**

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

# A101

## PHASE 2









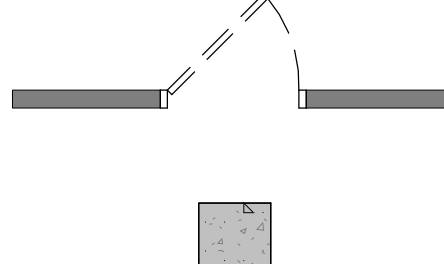
- B. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.
- C. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO FLOOR FINISHES, WALLS, CEILINGS, WALL BASE AND OTHER EXISTING CONSTRUCTION AS INDICATED OR REQUIRED FOR NEW WORK, UNLESS OTHERWISE INDICATED.
- D. REMOVE WALLS AND WALL FINISHES INCLUDING, BUT NOT LIMITED TO INTERIOR BASE, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE INDICATED.
- E. REMOVE PARTITIONS COMPLETELY TO UNDERSIDE OF STRUCTURAL COMPONENTS ABOVE AND TO TOP OF FLOOR FINISHES BELOW, UNLESS OTHERWISE INDICATED. DO NOT LEAVE PARTITIONS IN PLACE AND WALLS IN PLACE AT SIDES OF WALLS THAT ABUT WALLS TO REMAIN, CUT BACK AT LEAST 1 INCH (25 MM) BEYOND FACE OF FINISH OF WALL TO REMAIN TO FACILITATE SUBSEQUENT PATCHING AND NEW CONSTRUCTION.
- F. COMPLETELY REMOVE EXISTING SUBBASE MATS AND STRUCTURAL FRAMING MATERIALS IN LOTS INDICATED OR REQUIRED FOR NEW WORK.
- G. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK.
- H. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER.
  1. STONE BASE AT (N) ENTRY LOCATION
  2. (E) STONE BASE AT (N) ENTRY LOCATION
- I. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:
  1. (N) VA
- J. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- K. MAINTAIN MAINTAIN FIRE EXTINGUISHERS IN AREA OF WORK, ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- L. COORDINATE UTILITY INTERRUPTIONS WITH OWNER. PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE ANY UTILITIES OBTAIN OWNERS' WRITTEN APPROVAL OF ANY INTERRUPTIONS BEFORE PROCEEDING.
- M. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OCCUPANCY WITH OWNER. OBTAIN OWNERS' WRITTEN PERMISSION BEFORE PROCEEDING.
- N. MAINTAIN ACCESS TO ADJACENT AREAS AND TO ALL BUILDINGS AND TO ALL UTILITIES FOR ALL PEOPLE. PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.
- O. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY AGENCIES OF CONFLICTS OR DISCREPANCIES WITH EXISTING CONDITIONS AND DIMENSIONS. COORDINATE WITH AGENCIES OF PLUMBING, HEATING, VENTILATION AND AIR CONDITIONING, ELECTRICAL, COMMUNICATIONS, AND ELECTRONIC SAFETY AND SECURITY SYSTEM DEMOLITION WORK.
- P. PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.
- Q. EXISTING RESPONSIBILITY AND ALL DEVIATIONS FROM THE SPECIFICATIONS TO ALLOW GRASSY GRADUATION. ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM. FOR ADDITIONAL INFORMATION, SEE REFERENCED GEOTECH REPORT IN STRUCT SHEETS AND HIGH RISE REPORT.
- R. DUE TO THE HEALTH RISKS POSSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE 882.2. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES, THE FOLLOWING SHALL BE OBSERVED:

4. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
5. EXISTING SIDEWALKS AND DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
  - A. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE, WHERE THERE ARE NO EXISTING DRIVEWAYS, SIDEWALKS, OR LIMITED ACCESS SHALL BE PROVIDED OUTSIDE THE DRIPLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM A 6-INCH COMPACT LAYER.
6. THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 1-INCH PLYWOOD OR TREE TRUNKS, GEOTEXTILES COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT THE APPROVED CITY ENGINEER RECOMMENDS.
7. RIGHT-OF-WAY, PLANTER AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT HIGH CHAIN LINK FENCE THAT SHALL REMAIN THROUGHOUT THE DURATION OF THE PROJECT TO PROTECT TREES AND PREVENT CONSTRUCTION EQUIPMENT FROM ENTERING THE PLANTER OR CITY TREE ZONE.
8. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDWARE OR BRIDGED OVER THE TREE PROTECTION ZONE OR PLANTER AS NOT TO COMPACT SOIL.
9. EXISTING TREES WITHIN THE PROTECTED TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE TREE PROTECTION PLAN SHALL BE A PART OF THE PROJECT NUMBER.
10. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIPLINE OF A PROTECTED TREE FOR THE PURPOSE OF UTILTY INSTALLATION, CONSTRUCTION OF NEW OR EXISTING SIDEWALKS OR DRIVEWAYS OR OTHER PROJECTS SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION/PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
11. TREES DAMAGED TO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIPLINE OF PROTECTED TREES.
12. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIPLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE DOCUMENTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
13. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIPLINE OF PROTECTED TREES.
14. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES:
  - A. STORAGE OF CONSTRUCTION MATERIALS, SOIL, OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL.
  - B. CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, OIL, GREASE, OR OTHER POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
15. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THE CITY ENGINEER SHALL DETERMINE THE DAMAGES AND THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BE REPLACED OR IN QUESTION. THE CITY ENGINEER SHALL HAVE A VETOABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

## SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	
2	(E) TWO HOUR RATED	
3	(E) THREE HOUR RATED	
	(E) CONSTRUCTION TO BE REMOVED	


  



DOOR TO BE DEMOLISHED

(E) COL TO REMAIN. SEE STRUC DWGS



(E) SLAB TO BE REMOVED. SHEAR WALL CONSTRUCTED PRIOR TO DEMOLITION. SEE STRUCTURAL. DO NOT CUT (E) BEAM UNLESS NOTED IN STRUCT SHEET 3.

#	DESCRIPTION
D20	REMOVE (E) LOWER, METAL PANELS, WINDOW, AND FABRIC CANOPY SEE A401 FOR NEW CONSTRUCTION, CONSISTENT WITH HISTORIC DESIGN.
D21	(E) REMOVE (E) WALL AND LOUVER AS REQUIRED FOR (N) WINDOW AND (N) BRICK VENEER FINISH DEMO (E) FABRIC CANOPY
D26	(E) REMOVE (E) FLOOR SLAB, SEE STRUCT. SHEAR WALLS TO BE CONSTRUCTED PRIOR TO DEMOLITION OF SLABS
D30	REMOVE (E) FIREPROOFING AT ALL STRUCT. STEEL BEAMS BELOW FLOOR EXCEPT AS NOTED, FOR (E) PERIMETER STRUCT. STEEL BEAMS ALONG GRID 1 AND 2, VERIFY THICKNESS OF MATERIAL TO MEET 2-HR RATING. IF (E) MATERIAL IS NOT SUFFICIENT FOR 2HR, COORDINATE WITH ARCHITECT FOR REMOVAL OF FIREPROOFING MATERIAL FOR NEW FIRE RATING REQUIREMENTS.
D46	REMOVE (E) WALL FINISH ON OUTSIDE SURFACE FOR (N) WALLS, (E) HCT TO REMAIN, FOR (N) FRAMING, SEE STRUCT. FOR EXTENT OF FRAMING.
F2	(N) CONCRETE SHEAR WALL, SEE STRUCTURAL
F6	(E) HISTORIC STAIR TO REMAIN, REPLACE NON-HISTORIC (E) CONTRASTING STAIR WITH FULL LENGTH STAIR. PROVIDE (E) HISTORIC STAIR HANDRAILS, GARD AND STAIN (E) HISTORIC WOOD HANDRAILS, PROVIDE (N) MATERIAL FLOOR OVER NON-HISTORIC (E) WANSBOT.

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-0

**OVERALL  
DEMOLITION  
PLAN - LEVEL 02**

DATE: OCTOBER 29, 202

**PLANNING SUBMITTAL**

# A102

## PHASE 2








$$1/4" = 1'-0"$$
$$1/4" = 1'-0"$$

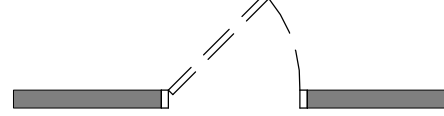
- B. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.
- C. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FLOOR FINISHES, WALLS, CEILINGS, WALL BASE AND BASE TRIM, PARTITIONS, ETC. UNDERLIES SHALL BE REMOVED TO EXPOSE SUB-BASE MATERIALS.
- D. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE INDICATED.
- E. REMOVE EXISTING FLOOR FINISHES, UNLESS OTHERWISE INDICATED. UNDERLIES SHALL BE REMOVED ABOVE AND TO TOP OF FLOOR STRUCTURAL COMPONENTS AT BASE. DO NOT LEAVE SECTIONS OR MATERIALS OF WALL ASSEMBLIES IN PLACE. AT SIDES OF WALLS, THAT ABUT WALLS TO REMAIN, CUT BACK AT LEAST 1 INCH (25 MM) BEYOND FACE OF FINISH OF WALL TO EXPOSE SUB-BASE MATERIALS.
- F. COMPLETELY REMOVE FINISHES, SUB-BASE MATERIALS AND STRUCTURAL FRAMING MATERIALS TO LINES INDICATED OR REQUIRED FOR NEW WORK.
- G. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK:
  - A. (E) SITE BASE AT (N) ENTRY LOCATION
- H. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:
  - A. NA
- I. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- J. MAINTAIN MAINTAIN FIRE EXTINGUISHERS IN AREA OF WORK, IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- K. COORDINATE UTILITY INTERRUPTIONS WITH OWNER, PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE ANY INTERRUPTIONS OBTAIN OWNERS WRITTEN APPROVAL OF INTERRUPTIONS BEFORE PROCEEDING.
- L. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, DOORS, OR OTHER DISRUPTIONS TO OCCUPANCY WITH OWNER. OBTAIN OWNERS WRITTEN PERMISSION BEFORE PROCEEDING.
- M. MAINTAIN TEMPORARY BARRIERS AND ENCLOSURES TO PREVENT ACCESS TO WORK AREAS TO PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.
- N. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY AGENCIES OF CONFLICTS OR DISCREPANCIES. NOTIFY AGENCIES OF CONFLICTS OR DISCREPANCIES. NOTIFY SUPPLEMENTAL AGENCIES OF CONFLICTS OR DISCREPANCIES. COORDINATING ELECTRICAL, COMMUNICATIONS, AND ELECTRONIC SAFETY AND SECURITY SYSTEM DEMOLITION WORK.
- O. PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.
- P. REMOVE ALL DEBRIS AND EXISTING CONSTRUCTION REQUIREMENTS TO DUE TO BELOW GRADE DEMOLITION WALL. ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM. FOR ADDITIONAL INFORMATION, SEE REFERENCED GEOTECH REPORT IN STRUCT SHEETS AND OWNER COMMENTS.
- Q. DUE TO THE HEALTH RISKS POSSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE 8820. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES, THE FOLLOWING REQUIREMENTS SHALL BE OBSERVED:

4. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
5. EXISTING SIDEWALKS AND DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
  - A. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE. WHERE THERE ARE NO EXISTING DRIVEWAYS, ACCESS SHALL BE LIMITED TO ONE DRIVEWAY OR DRIVEWAY OUTSIDE THE DRIPLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM A 6-INCH COMPACT LAYER.
6. THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 1-INCH PLYWOOD OR TWO LAYERS, GEOTEXTILE FABRIC COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT THE APPROVED CITY ENGINEER RECOMMENDS.
7. RIGHT-OF-WAY, PLANTER AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT HIGH CHAIN LINK FENCE THAT SHALL REMAIN THROUGHOUT THE DURATION OF THE PROJECT TO PROTECT TREES AND PREVENT CONSTRUCTION EQUIPMENT FROM ENTERING THE PLANTER OR CITY TREE ZONE.
8. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDWARE OR BRIDGED OVER THE TREE PROTECTION ZONE OR PLANTER AS NOT TO COMPACT SOIL.
9. WHERE THE PROTECTION OF THE PROPOSED PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER, PROJECT NUMBER.
10. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIPLINE OF A PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTION OF NEW OR EXISTING SIDEWALKS OR DRIVEWAYS OR OTHER PROJECTS SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION/PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
11. TREES DAMAGED TO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIPLINE OF PROTECTED TREES.
12. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIPLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE DOCUMENTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
13. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIPLINE OF PROTECTED TREES.
14. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE ZONE OF PROTECTED TREES:
  - A. STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT OR SOIL.
  - B. PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES.
  - C. STORING OF SOIL.
  - D. CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, OIL, GREASE, OIL, OR OTHER POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
15. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THE CITY ENGINEER SHALL DETERMINE THE DAMAGES AND THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BE REPLACED OR TO BE QUANTIFIED AS A REASONABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

## SEE AD10 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS


	(E) CONSTRUCTION TO REMAIN	
2	(E) TWO HOUR RATED	
3	(E) THREE HOUR RATED	
	(E) CONSTRUCTION TO BE REMOVED	




DOOR TO BE DEMOLISHED



(E) COL. TO REMAIN. SEE STRUC DWGS



(E) SLAB TO BE REMOVED. SHEAR WALL CONSTRUCTED PRIOR TO DEMOLITION. SEE STRUCTURAL. DO NOT CUT (E) BEAM UNLESS NOTED IN STRUCT SHEET 3.

#	DESCRIPTION
D23	REMOVE (E) LOUVERS AND RETROFIT WITH (N) GLAZING. IF FOUND NOT FEASIBLE, REMOVE ENTIRE (E) WINDOW ASSEMBLY AND REPLACE (N) WINDOWS COMPLYING WITH (E) HISTORIC DESIGN.
D26	REMOVE (E) FLUENTS AND (E) LIGHT FIXTURES. SHEAR WALLS TO BE CONSTRUCTED PRIOR TO DEMOLITION OF SLABS.
D28	REMOVE ALL (E) PAINT ON (E) WINDOW ASSEMBLY FOR (N) PAINT.
D35	REMOVE (E) MECHANICAL PLATFORM ASSEMBLY.
D36	(E) OPENING ASSEMBLY CONDITION TO BE DETERMINED BY CONTRACTOR AND COORDINATED WITH ARCHITECT FOR ADDITIONAL INFORMATION.
D63	REMOVE (E) AREAS TO CONTAIN (E) TOPPING SLAB OVER (E) PLYWOOD ON WOOD SHEARERS ON (E) CONC. SLAB. SAWCUT SECTION FOR (N) FIREBLOCK UNDER (N) PARTITION WALLS SHOWN ON FLOOR PLANS. (E) TO REMAIN. PATCH-BACK ALL AREAS AS REQUIRED AND INSTALL (N) FINISHES PER PLAN, MATCHING (E) FINISH FLOOR ELEVATIONS.
D64	REMOVE (E) WALL FINISH ON OUTSIDE SURFACE FOR (N) SUPPORTS. (E) HCT TO REMAIN FOR (N) FRAMING. SEE STRUCT FOR EXTENT OF FRAMING.
F2	(N) CONCRETE SHEAR WALL. SEE STRUCTURAL.
F3	(E) HISTORIC STAIR TO REMAIN. REPLACE NON-HISTORIC (E) CONTRASTING STRIP WITH (N) FULL LENGTH STRIP. REMOVE NON-HISTORIC (E) LIGHT FIXTURES, REPAIR WALLS, SAND AND STAIN (E) HISTORIC WOOD HANDRAILS. PROVIDE (N) MATERIAL FLOOR OVER NON-HISTORIC (E) WANSOCT.

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

**OVERALL  
DEMOLITION  
PLAN - LEVEL 03**

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

# A103

## PHASE 2




$$1/4'' = 1'-0$$
 $1/4^{\circ} = 1^{\circ}-0$ 

- A. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.
- B. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FLOOR FINISHES, WALLS, CEILINGS, WALL BASE, AND PARTITION WALLS. REMOVE EXISTING INTERIORS INCLUDING, BUT NOT LIMITED TO, PARTITION WALLS, CEILINGS, WALL BASE, AND FLOOR FINISHES.
- C. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE NOTED.
- D. REMOVE EXISTING INTERIORS INCLUDING, BUT NOT LIMITED TO, PARTITION WALLS, CEILINGS, WALL BASE, AND FLOOR FINISHES. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE NOTED.
- E. AT SIDES OF WALLS, THAT ABUT WALLS TO REMAIN, CUT LEAVE SECTIONS OF MATERIALS OF WALL ASSEMBLIES IN PLACE.
- F. COMPLETELY REMOVE FINISHES, SUB-BASE MATERIALS AND STRUCTURAL FRAMING MATERIALS TO UNLESS NOTED OR REQUIRED FOR NEW WORK.
- G. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK:
  - A. (1) STEEL BASE TO BE IN PLACE AT LOCATION.
- H. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:
  - A. (1) STEEL BASE TO BE IN PLACE AT LOCATION.
- I. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- J. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- K. COORDINATE UTILITY INTERUPTIONS WITH OWNER. PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE ANY UTILITY OWNERS WRITTEN APPROVAL OF INTERUPTIONS BEFORE PROCEEDING.
- L. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OWNER. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING.
- M. MAINTAIN TEMPORARY BARRIERS AND ENCLOSURES TO PREVENT PUBLIC AND PEOPLE FROM ENTERING DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.
- N. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES.
- O. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES.
- P. PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.
- Q. REMOVE ALL EXISTING MATERIALS AND DEBRIS TO THE CURB OR TO THE PROJECT MATERIALS DISPOSAL AND RECYCLING FACILITY. ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM FOR ADDITIONAL INFORMATION, SEE REFERENCED GEOTECH REPORT IN STREET SHEETS AND OWNER'S SUPPLEMENTAL SPECIFICATIONS.
- R. DUE TO THE HEALTH RISKS POSSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE #20. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES, THE FOLLOWING SHALL BE OBSERVED:

1. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EXISTING TREES AND MAINTAIN RETAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
3. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE, WHERE THERE ARE NO EXISTING OR CONCRETE DRIVEWAYS AND LIMIT DRIVEWAY ACCESS TO THE DRIVEWAYS OUTSIDE THE DRIFLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITHIN.
4. THE USE OF ONE OR MORE OF THE FOLLOWING A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 1/4-INCH PLYWOOD OR 1/2-INCH CONCRETE SLAB OR A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
5. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT OR GREATER CONCRETE CURB OR WALL. CONTRACTOR SHALL MAINTAIN EXISTING CURBS TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
6. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING DRIVEWAYS OR BRIDGED OVER THEM TO PREVENT SOIL COMPACTION IN THE PLANTERS.
7. ANY REGULATED WORK WITHIN THE DRIFLINE OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SUPERVISOR PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO THE CITY ARBORIST TO OBTAIN A TREE PROTECTION PERMIT. THE PLAN SHALL SHOW THE PLANTING NUMBER OR NUMBER OF THE PROJECT NUMBER.
8. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIFLINE OF PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION/PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
9. TO MAINTAIN EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIFLINE OF PROTECTED TREES.
10. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIFLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE TO MAINTAIN EXISTING GRADES WITHIN THE DRIFLINE OF PROTECTED TREES.
11. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIFLINE OF PROTECTED TREES.
12. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE DRIFLINE OF PROTECTED TREES: EXCAVATION, GRADING, TRENCHING, OR ANY OTHER ACTIVITY THAT COULD COMPACT THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING FUELS, DISPOSING OF WASH WATER, OIL, GREASE, OIL, OR OIL OR GREASE POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
13. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO CITY TREES ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THE CITY ARBORIST SHALL DETERMINE THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BE REPLACED IN ORDER TO RESTORE THE CITY TO THE SAME USABLE CONDITION WITH ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

## SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN									
2	(E) TWO HOUR RATED		DOOR	DOOR	DOOR	DOOR	DOOR	DOOR	DOOR	DOOR
3	(E) THREE HOUR RATED		DOOR	DOOR	DOOR	DOOR	DOOR	DOOR	DOOR	DOOR
	(E) CONSTRUCTION TO BE REMOVED									

The diagram shows a cross-section of a wall and floor assembly. A door is shown with a dashed line indicating it is to be demolished. Below the door, a rectangular area is shaded with a diagonal line pattern, indicating it is to remain. To the right of the diagram, the text reads: (E) COL TO REMAIN. SEE STRUC DWGS

DOOR TO BE DEMOLISHED

(E) COL TO REMAIN. SEE STRUC DWGS

(E) SLAB TO BE REMOVED. SHEAR WALL CONSTRUCTED PRIOR TO DEMOLITION IS SEE STRUCTURAL. DO NOT CUT (E) BEAM UNLESS NOTED IN STRUCT SHEET S

#	DESCRIPTION
D3	REMOVE (E) LOWERS AND RETROFIT WITH (N) GLAZING; IF FOUND NOT FEASIBLE, REMOVE ENTIRE (E) WINDOW ASSEMBLY AND PROVIDE (N) WINDOWS COMPATIBLE WITH (E) HISTORIC DESIGN.
D3E	REMOVE ALL (E) POINT (N) WINDOW ASSEMBLY FOR (N) POINT.
D3E	(E) OPENING ASSEMBLY CONDITION TO BE DETERMINED BY CONTRACTOR AND COORDINATED WITH ARCHITECT FOR ADDITIONAL INFORMATION.
D3E	WHERE AREAS ARE FOUND TO CONTAIN (E) TOPPING SLAB OVER (E) PLYWOOD ON FLOOR PLANS, (E) IN CONC. BLOCKS, SAWCUT SECTION (N) FIREBLOCKS, (N) PARTITION WALLS, SHOWN ON FLOOR PLANS, (E) SLEEPERS TO REMAIN, MATCH BACK ALL AREAS AS REQUIRED AND INSTALL (N) FINISHES PER PLAN, MATCHING (E) FINISH FLOOR ELEVATIONS.
D4	REMOVE (E) WALL FINISH ON OUTSIDE SURFACE FOR (N) SUPPORTS, (E) HCT TO REMAIN, FOR (N) FRAMING, SEE STRUCT FOR EXTENT OF FRAMING.
D6	(N) CONCRETE SHEAR WALL, SEE STRUCTURAL.

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

**OVERALL  
DEMOLITION  
PLAN - LEVEL 04**

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

# A104

## PHASE 2




$$1/4^{\circ} = 1^{\circ}-0$$

A. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.

B. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FLOOR FINISHES, WALLS, CEILINGS, WALL BASE, AND PARTITION WALLS, PARTITION DOORS, AND PARTITION WINDOWS.

C. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS, UNLESS OTHERWISE INDICATED.

D. REMOVE EXISTING PARTITION UNDERLAYS AND PARTITION DOORS ABOVE AND TO TOP OF FLOOR STRUCTURAL COMPONENTS AT BASE. DO NOT LEAVE SECTIONS OR MATERIALS OF WALL ASSEMBLIES IN PLACE.

E. AT SIDES OF WALLS, THAT ABUT WALLS TO REMAIN, CUT BACK AT LEAST 1 INCH (25 MM) BEYOND FACE OF FINISH OF WALL TO EXPOSE EXISTING PARTITION UNDERLAY.

F. COMPLETELY REMOVE FINISHES, SUB-BASE MATERIALS AND STRUCTURAL FRAMING MATERIALS TO LINES INDICATED OR REQUIRED FOR NEW WORK.

G. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK:

A. (1) ESTATE BONE (4) IN ENTRY LOCATION

H. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:

WA

I. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

J. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS IN AREA OF WORK, IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

K. COORDINATE UTILITY INTERRUPTIONS WITH OWNER. PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE WORK BEGINS. OBTAIN OWNERS' WRITTEN APPROVAL OF INTERRUPTIONS BEFORE PROCEEDING.

L. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISTURBANCES TO OCCUPANCY WITH OWNER. OBTAIN OWNERS' WRITTEN PERMISSION BEFORE PROCEEDING.

M. PROVIDE TEMPORARY BARRIERS AND ENCLOSURES TO PROTECT UNOCCUPIED AREAS OF BUILDING FROM PEOPLE, PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.

N. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY AGENCIES OF CONFLICTS OR DISCREPANCIES.

O. PROVIDE TEMPORARY BARRIERS AND ENCLOSURES TO PROTECT UNOCCUPIED AREAS OF BUILDING FROM PEOPLE, PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.




P. PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.

Q. REMOVE ALL DEBRIS FROM WORK AREAS. SUPPLY AND MAINTAIN SUPPLEMENTAL DUST CONTROL MEASURES. ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM. FOR ADDITIONAL INFORMATION, SEE REFERENCED GEOTECH REPORT IN TRUST SHEETS AND COMBINED SEWER SYSTEM DESIGN REPORT.

R. DUE TO THE HEALTH RISKS POSSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE 8B.20. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES, THE FOLLOWING REQUIREMENTS SHALL BE OBSERVED:

1. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
2. EXISTING TREES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
3. A. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE. WHERE THERE ARE NO EXISTING OR CONCEIVABLE ALLEYS, THERE SHALL BE A DRIVEWAY MAINTAINED OUTSIDE THE DRILLING OF PROTECTED TREES THAT HAVE PROTECTION FROM A SOIL COMPACTION WITH
4. THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY A 3-INCH PLYWOOD OR CONCRETE SLAB, OR A 6-INCH LAYER COVERED BY A 8-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
5. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE BY A SIX- FOOT (6'-0") CONCOURSE. THE CONCOURSE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
6. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING GRASSCUT OR BRIDGED OVER THE CONCOURSE.
7. ANY REGULARLY WORK WITHIN THE DRILLING OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO THE CITY ARBORIST FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.
8. ALL PROJECT NUMBER
9. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRILLING OF A PROTECTED TREE FOR THE PURPOSE OF UTILITIES SHALL BE SUPERVISED BY A QUALIFIED ARBORIST. FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION/PNEUMATIC EXCAVATION OR HAND DIGGING SHALL BE SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
10. ALL EXCAVATION, GRADING OR TRENCHING DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRILLING OF PROTECTED TREES.
11. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRILLING OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE ACCOMMODATED OUTSIDE THE DRILLING OF PROTECTED TREES.
12. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRILLING OF PROTECTED TREES.
13. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES: EXCAVATION, GRADING, TRENCHING, OR ANY OTHER ACTS THAT COULD COMPROMISE THE PHYSICAL DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES. STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, OR ANY OTHER ACTS THAT COULD POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
14. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE CONSTRUCTION. MATERIAL DAMAGE TO THE CITY TREES SHALL BE REPAIRED BY THE CONTRACTOR AT THE FULL MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BE REPLACED IN QUESTION TO THE SAME AND OF ANY REASONABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

## SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	
2	(E) TWO HOUR RATED	
3	(E) THREE HOUR RATED	
	(E) CONSTRUCTION TO BE REMOVED	



E) COL TO REMAIN, SEE STRUC DWGS

E) SLAB TO BE REMOVED. SHEAR WALLS TO BE  
CONSTRUCTED PRIOR TO DEMOLITION OF SLAB  
SEE STRUCTURAL. DO NOT CUT (E) BEAMS  
UNLESS NOTED IN STRUCT SHEETS.

#	DESCRIPTION
D1	(E) HISTORIC STAIR, RAILING, AND INTERIOR SURROUNDING WALLS TO REMAIN. PROTECT IN PLACE. SEE HISTORIC PRESERVATION DRAWINGS.
D2	REMOVE (E) LOCKERS AND RETROFIT WITH (N) GLAZING, IF FOUND NOT FEASIBLE. REMOVE ENTIRE (E) WINDOW ASSEMBLY AND PROVIDE (N) WINDOWS COMPATIBLE WITH (N) HISTORIC FABRIC.
D3	(E) ROOF ACCESS STAIR AND POP-UP TO BE REMOVED AS REQUIRED FOR (N) 6TH FLOOR WOOD SLEEPERS.
D4	WHERE AREAS ARE FOUND TO CONTAIN (E) TOPPING SLAB OVER (E) PLYWOOD ON WOOD SLEEPERS IN (E) CONC STAIRWAY SECTION FOR (N) FIRE CORRIDOR, (N) PARTITION WALLS SHOW ON FLOOR PLANS, (E) ISLIPS TO BE REMOVED. PATCH BACK ALL AREAS AS REQUIRED AND INSTALL (N) FINISHES PER PLAN. MATCHING (E) FINISH FLOOR ELEVATIONS.
D5	REMOVE (E) WALL FINISH ON OUTSIDE SURFACE FOR (N) SUPPORTS. (E) HCT TO REMAIN. FOR (N) FRAMING, SEE STRUCT FOR EXTENT OF FRAMING.
D6	(N) CONCRETE SHEAR WALL. SEE STRUCTURAL

[illegible]

ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

**OVERALL  
DEMOLITION  
PLAN - LEVEL 05**

DATE: OCTOBER 29, 2025

**PLANNING SUBMITTAL**

# A105

## PHASE 2









2  $\frac{1}{4}'' = 1'-0''$

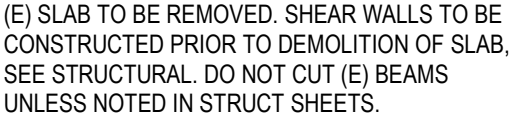


B. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS FOR NEW WORK.  
 C. REMOVE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FLOOR FINISHES, WALLS, CEILINGS, WALL BASE, AND PARTIAL PARTITION WALLS. REMOVE EXISTING INTERIORS UNLESS OTHERWISE INDICATED.  
 D. REMOVE INTERIOR WALLS INCLUDING WALL MATERIALS INCLUDING INTEGRAL BASES, DOORS, DOOR FRAMES AND ASSOCIATED HARDWARE AND THRESHOLDS. UNLESS OTHERWISE INDICATED.  
 E. REMOVE EXISTING PARTITION WALLS INCLUDING PARTITION WALLS ABOVE AND TO TOP OF FLOOR STRUCTURAL COMPONENTS AT BASE. DO NOT LEAVE SECTIONS OR MATERIALS OF WALL ASSEMBLIES IN PLACE.  
 F. AT SIDES OF WALLS, THAT ABUT WALLS TO REMAIN, CUT BACK AT LEAST 1 INCH (25 MM) BEYOND FACE OF FINISH OF WALL TO EXPOSE EXISTING PARTITION WALLS AND PARTITION WALL FINISHES.  
 G. COMPLETELY REMOVE FINISHES, SUB-BASE MATERIALS AND STRUCTURAL FRAMING MATERIALS TO UNLESS INDICATED OR REQUIRED FOR NEW WORK.  
 H. EXISTING ITEMS TO BE SALVAGED FOR REUSE IN NEW WORK:  
     A. (E) STONE BASE AT (N) ENTRY LOCATION  
     B. EXISTING ITEMS TO BE SALVAGED FOR DELIVERY TO OWNER:  
         A. N/A  
 I. MAINTAIN EGRESS FROM SURROUNDING BUILDING AREAS AS INDICATED AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.  
 J. PREPARE AND MAINTAIN FIRE EXTINGUISHERS IN AREA OF WORK, IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
 K. COORDINATE UTILITY INTERUPTIONS WITH OWNER. PROVIDE AT LEAST 48 HOURS WRITTEN NOTICE TO OWNER BEFORE ANY UTILITY INTERUPTIONS. OBTAIN WRITTEN APPROVAL OF INTERUPTIONS BEFORE PROCEEDING.  
 L. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OCCUPANCY WITH OWNER. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING.  
 M. MAINTAIN TEMPORARY BARRIERS AND ENCLOSURES TO PREVENT SUPPLEMENTAL WORK MATERIALS AND PEOPLE FROM FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. MAINTAIN AND RELOCATE TEMPORARY BARRIERS AND ENCLOSURES AS REQUIRED BY THE PROGRESS OF THE WORK. REMOVE TEMPORARY BARRIERS AND ENCLOSURES AT COMPLETION OF WORK.  
 N. PRIOR TO STARTING DEMOLITION, VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE EXTENT OF DEMOLITION WORK AND EXISTING CONSTRUCTION TO REMAIN WITH NEW WORK. NOTIFY AGENCY OF CONFLICTS OR DISCREPANCIES. REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY. SUPPLEMENTAL PLUMBING, HEATING VENTILATION AND AIR CONDITIONING, ELECTRICAL, COMMUNICATIONS, AND ELECTRONIC SAFETY AND SECURITY SYSTEM DEMOLITION WORK, PREP ALL EXISTING SURFACES WHERE NEW FINISHES AND STRUCTURAL IMPROVEMENTS OCCUR.  
 O. REMOVE ALL EXISTING MATERIALS AND DEBRIS TO BE REMOVED TO PROTECT MATERIALS AND PEOPLE. PROTECTION, ALL DEWATERING SHALL BE REMOVED OFFSITE THROUGH OTHER MEANS AND NOT DISCHARGED INTO THE LOCAL COMBINED SEWER SYSTEM. FOR ADDITIONAL INFORMATION, SEE REFERENCED GETCOTECH REPORT IN STRUCT SHEETS AND OWNER SPECIFICATIONS.  
 P. DUE TO THE HEALTH RISKS CAUSED BY PUBLIC EXPOSURE TO ASBESTOS, DEMOLITION AND RENOVATION OF EXISTING BUILDINGS IS SUBJECT TO SCA METRO AIR DISTRICT RULE #82.20. TO LIMIT ASBESTOS EXPOSURE DURING THESE ACTIVITIES,

1. NO TREES SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR TREE PRESERVATION MEASURES LISTED BELOW FOR TREE RELATED ACTIVITIES DURING CONSTRUCTION.
2. EXISTING SIDEWALKS AND DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
  - A. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE, WHERE THERE ARE NO EXISTING OR FUTURE SIDEWALKS AND DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITH
3. THE USE OF ONE OR MORE OF THE FOLLOWING A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 3/4-INCH PLYWOOD OR 1/2-INCH FIBERBOARD SHALL BE COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
4. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT CONCRETE FENCE. FENCES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT SUBJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
5. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDWARE OR BRIDGED OVER THE EXISTING SIDEWALKS AND DRIVEWAYS.
6. ANY REGULATED WATERS WITHIN THE DRIVE OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PROTECTION PLAN AND A TREE PROTECTION PLAN CREDITED TO A QUALIFIED ARBORIST TO THE CITY ARBORIST AT CITY@SACRAMENTO.CA OR TO THE CITY PLANNING DEPARTMENT OR TO THE CITY PROJECT NUMBER.
7. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRAINAGE OF A PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION, PNEUMATIC EXCAVATION OR HAND DIGGING SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
8. ACCORDANCE: NO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRAINAGE OF PROTECTED TREES.
9. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRAINAGE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE ACCORDANCE WITH THE CITY ARBORIST.
10. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRAINAGE OF PROTECTED TREES.
11. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF A PROTECTED TREE. REPAIRS TO EXISTING SIDEWALKS, CURBS, GUTTERS, THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, FUEL, OIL, FLUIDS, POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
12. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE CONSTRUCTION. THE CITY ARBORIST SHALL BE NOTIFIED IMMEDIATELY OF ANY DAMAGE TO THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO REPAIR OR REPLACE THE CITY TREES. THE CITY ARBORIST SHALL BE NOTIFIED IMMEDIATELY OF ANY DAMAGE TO THE FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

## SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	
2	(E) TWO HOUR RATED	
3	(E) THREE HOUR RATED	
	(E) CONSTRUCTION TO BE REMOVED	



#	DESCRIPTION
024	(E) ROOF ACCESS STAIR AND POP-UP TO BE REMOVED AS REQUIRED FOR (N) 6TH FLOOR ENCLOSURE AND STAIR.
028	REMOVE (E) ROOFING MEMBRANE ASSEMBLY AND DRAINS
029	REMOVE (E) ROOF LADDER ASSEMBLY
030	REMOVE (E) FLAGPOLE ASSEMBLY
031	REMOVE (E) METAL FLASHING ASSEMBLY
035	REMOVE (E) SKYLIGHT ASSEMBLY
057	(E) METAL ROOF CORING TO BE PROTECTED IN PLACE. SEE HISTORIC PRESERVATION DRAWINGS. VERIFY (E) CONDITION OF ROOFING MEMBRANE FOR REMOVAL
059	REMOVE (E) MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. REFER TO DISCIPLINE SPECIFIC DRAWINGS


ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

DATE: OCTOBER 29, 2025

## PLANNING SUBMITTAL

A106



A. ELEVATIONS OF EXISTING FLOORS ARE BASED ON SURVEY INFORMATION AND/OR AS-BUILT DRAWINGS PROVIDED BY THE OWNER. THE SURVEY DATA MAY NOT BE COMPLETE AND THE ACTUAL EXISTING ELEVATIONS MAY VARY IN DIFFERENT PORTIONS OF THE EXISTING BUILDING. ALL INFORMATION MUST BE FIELD VERIFIED AND COORDINATED BETWEEN NEW AND EXISTING CONSTRUCTION TO PROVIDE MATCHING FLOOR ELEVATIONS WHERE REQUIRED.

1200 R Street, Suite 100  
Sacramento, California 95811  
Telephone 916.787.5100

UEHLER ENGINEERING  
600 Q STREET #20  
SACRAMENTO, CA 95811  
916.443.0300

CAPITAL ENGINEERING  
1020 SUN CENTER DR  
O CORDOVA, CA 9567  
916.851.350

THE ENGINEERING ENTERPRISE  
1125 HIGH STREET  
AUBURN, CA 95601  
530.886.8555

PAGE & TURNBULL  
2600 CAPITOL AVE, SUITE 450  
SACRAMENTO, CA 95811  
916.662.853

1100 K STREET  
Sacramento, CA 95814

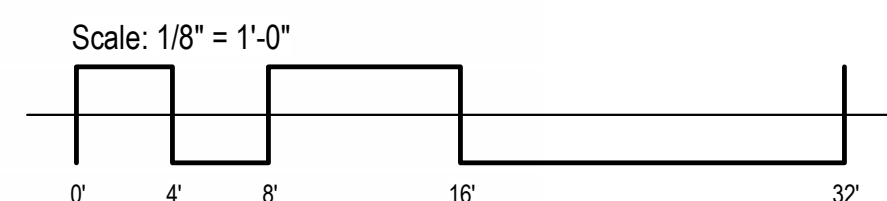


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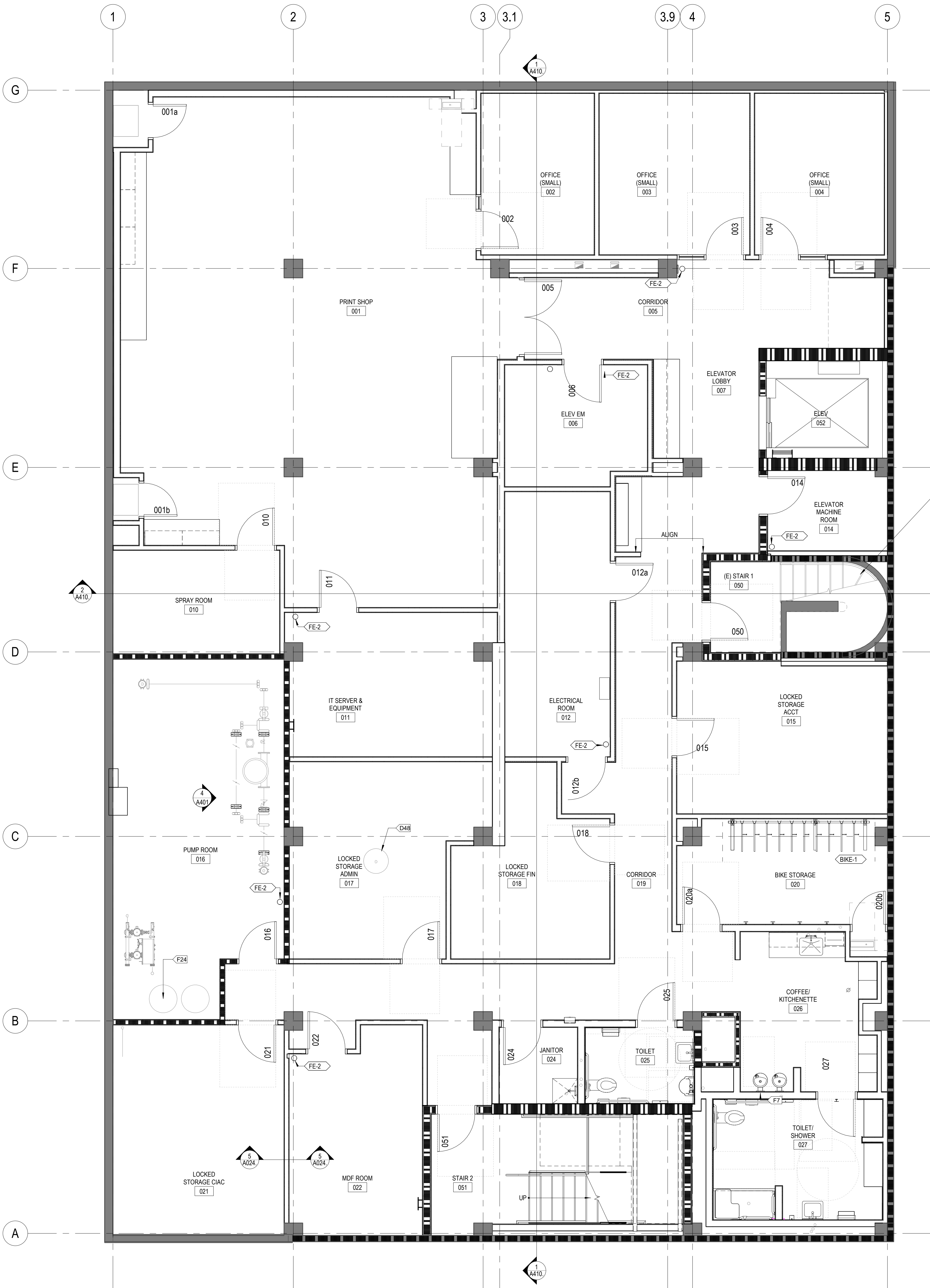
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**A140.**

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GENERAL NOTES - FLOOR PLAN

- A. ALL INTERIOR PARTITIONS SHALL BE "ASB" UNLESS NOTED OTHERWISE.  
B. PLAN DIMENSIONS ARE FROM FACE OF PARTITION TYPE AND DO NOT INCLUDE APPLIED FINISHES, UNLESS NOTED OTHERWISE. PLAN DIMENSIONS INDICATED AS "HOLD" OR "CLEAR" DIMENSIONS ARE FROM FACE OF APPLIED FINISH.  
C. INSTALL WORK STRAIGHT, PLUMB, LEVEL, SQUARE, AND TRUE, IN PROPER ALIGNMENT.  
D. FLATNESS: LEVEL FLOORS TO TRUE PLANE WITHIN 1/4 INCH (6 MM) IN 10'-0" (3 M) WHEN TESTED BY TEN FOOT (3 M) STRAIGHTEDGE PLACED ANYWHERE ON FLOOR IN ANY DIRECTION.  
E. COORDINATE FURNITURE-RELATED ELECTRICAL LAYOUT WITH FURNITURE VENDOR.  
F. WHERE HANDRAILS, GRAB BARS, CABINETS, WALL-MOUNTED DOOR STOPS, OR OTHER WALL-HUNG ITEMS ARE ATTACHED TO PARTITIONS, INSTALL BACKER PLATES ACCURATELY POSITIONED AND FIRMLY SECURED TO METAL STUDS, WHETHER OR NOT SUCH BACKER PLATES OR BLOCKING ARE INDICATED ON DRAWINGS.  
G. WHERE NEW WORK ABUTS, ALIGNS OR ADJOINS EXISTING MATERIALS, MAKE SMOOTH AND EVEN TRANSITION AND ELIMINATE EVIDENCE OF PATCHING AND REFINISHING. FINISH NEW WORK TO MATCH ADJACENT UNDISTURBED SURFACES, UNLESS NOTED OTHERWISE.  
H. CLOSE AND PATCH HOLES AND OPENINGS IN EXISTING FLOOR, WALL AND CEILING WHICH EXIST OR RESULT FROM DEMOLITION OR ALTERATION WORK TO MATCH ADJACENT UNDISTURBED SURFACES.  
I. PRIOR TO CONCEALMENT OF FIRE RESISTIVE MATERIALS BY OTHER WORK, PATCH AND REPAIR AREAS OF REMOVED OR DAMAGED APPLIED FIREPROOFING. COMPLETE PATCHING AND REPAIR TO MAINTAIN EXISTING FIRE-RESISTANCE DESIGN IN ACCORDANCE WITH FIREPROOFING MANUFACTURER'S WRITTEN INSTRUCTIONS FOR CONDITIONS OF EXPOSURE AND INTENDED USE. COORDINATE TESTING AND INSPECTION OF ASSEMBLIES AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.  
J. PROVIDE FIRESTOPPING OF PENETRATIONS AND VOIDS THROUGH FIRE-RATED WALL, FLOOR AND PARTITION ASSEMBLIES AND ROOF INCLUDING EMPTY OPENINGS AND OPENINGS CONTAINING CABLES, PIPES, DUCTS, CONDUIT AND OTHER ELEMENTS.  
K. AT SOUND-RATED PARTITION WALLS, PROVIDE CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT JUNCTURE OF BOTH FACES OF RUNNERS OR PLATES WITH FLOOR AND CEILING CONSTRUCTION, AND WHEREVER GYPSUM BOARD ABUTS DISSIMILAR MATERIALS.  
L. AT OPENINGS AND CUTOUTS, FILL OPEN SPACES BETWEEN GYPSUM BOARD AND FIXTURES, CABINETS, DUCTS AND OTHER FLUSH OR PENETRATING ITEMS, WITH CONTINUOUS BEAD OF SEALANT.  
M. SEAL SIDES AND BACKS OF ELECTRICAL BOXES TO COMPLETELY CLOSE OFF OPENINGS AND JOINTS.

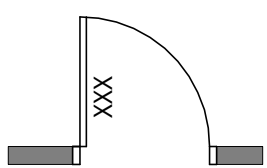
CONSTRUCTION PLAN LEGEND

SEE A010 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	(N) CONSTRUCTION

ASSEMBLY RATING

	ONE HOUR RATED	TWO HOUR RATED
1		
2		



DOOR TAG  
SEE DOOR SCHEDULE AND LEGEND FOR  
ADDITIONAL INFORMATION

XXXXXX

INTERIOR PARTITION TAG  
SEE PARTITION SHEET FOR  
ADDITIONAL INFORMATION

XX

EXTERIOR PARTITION TAG  
SEE EXTERIOR WALL SHEET FOR  
ADDITIONAL INFORMATION

XX

WINDOW TAG  
SEE DOOR SCHEDULE AND LEGEND FOR  
ADDITIONAL INFORMATION

KEYNOTES

#	DESCRIPTION
D48	(E) SUMP PUMP TO REMAIN, SEE PLUMBING
F7	(N) DRINKING FOUNTAIN WITH BOTTLE FILLER
F24	PLUMBING EQUIPMENT, SEE PLUMBING DRAWINGS

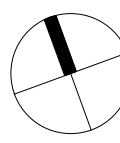
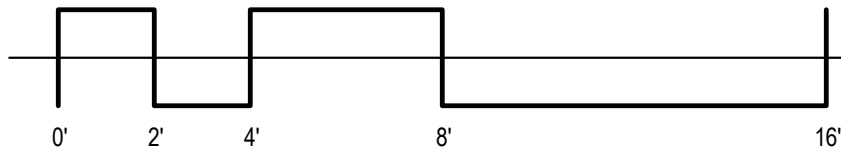
CALIFORNIA  
STATE  
ASSOCIATION  
OF COUNTIES

1100 K STREET  
Sacramento, CA 95814



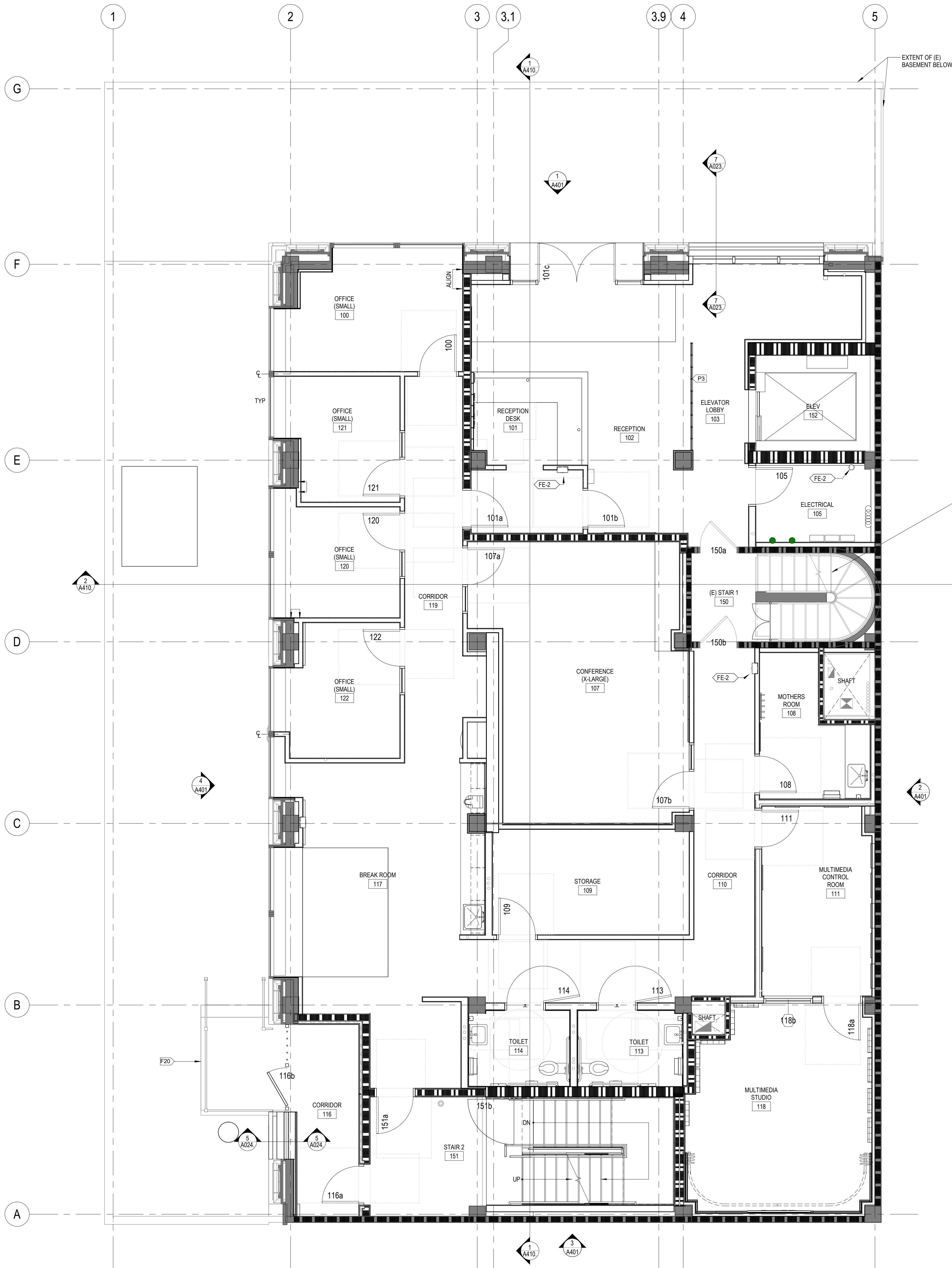
NOT FOR  
CONSTRUCTION

Scale: 1/4" = 1'-0"



A200.





GENERAL NOTES - FLOOR PLAN

- A. ALL INTERIOR PARTITIONS SHALL BE "ASB" UNLESS NOTED OTHERWISE.  
B. PLAN DIMENSIONS ARE FROM FACE OF PARTITION TYPE AND DO NOT INCLUDE APPLIED FINISHES, UNLESS NOTED OTHERWISE. PLAN DIMENSIONS INDICATED AS "HOLD" OR "CLEAR" DIMENSIONS ARE FROM FACE OF APPLIED FINISH.  
C. INSTALL WORK STRAIGHT, PLUMB, LEVEL, SQUARE, AND TRUE, IN PROPER ALIGNMENT.  
D. FLATNESS: LEVEL FLOORS TO TRUE PLANE WITHIN 1/4 INCH (6 MM) IN 10'-0" (3 M) WHEN TESTED BY TEN FOOT (3 M) STRAIGHTEDGE PLACED ANYWHERE ON FLOOR IN ANY DIRECTION.  
E. COORDINATE FURNITURE-RELATED ELECTRICAL LAYOUT WITH FURNITURE VENDOR.  
F. WHERE HANDRAILS, GRAB BARS, CABINETS, WALL-MOUNTED DOOR STOPS, OR OTHER WALL-HUNG ITEMS ARE ATTACHED TO PARTITIONS, INSTALL BACKER PLATES ACCURATELY POSITIONED AND FIRMLY SECURED TO METAL STUDS, WHETHER OR NOT SUCH BACKER PLATES OR BLOCKING ARE INDICATED ON DRAWINGS.  
G. WHERE NEW WORK ABUTS, ALIGNS OR ADJOINS EXISTING MATERIALS, MAKE SMOOTH AND EVEN TRANSITION AND ELIMINATE EVIDENCE OF PATCHING AND REFINISHING. FINISH NEW WORK TO MATCH ADJACENT UNDISTURBED SURFACES, UNLESS NOTED OTHERWISE.  
H. CLOSE AND PATCH HOLES AND OPENINGS IN EXISTING FLOOR, WALL AND CEILING WHICH EXIST OR RESULT FROM DEMOLITION OR ALTERATION WORK TO MATCH ADJACENT UNDISTURBED SURFACES.  
I. PRIOR TO CONCEALMENT OF FIRE RESISTIVE MATERIALS BY OTHER WORK, PATCH AND REPAIR AREAS OF REMOVED OR DAMAGED APPLIED FIREPROOFING. COMPLETE PATCHING AND REPAIR TO MAINTAIN EXISTING FIRE-RESISTANCE DESIGN IN ACCORDANCE WITH FIREPROOFING MANUFACTURER'S WRITTEN INSTRUCTIONS FOR CONDITIONS OF EXPOSURE AND INTENDED USE. COORDINATE TESTING AND INSPECTION OF ASSEMBLIES AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.  
J. PROVIDE FIRESTOPPING OF PENETRATIONS AND VOIDS THROUGH FIRE-RATED WALL, FLOOR AND PARTITION ASSEMBLIES AND ROOF INCLUDING EMPTY OPENINGS AND OPENINGS CONTAINING CABLES, PIPES, DUCTS, CONDUIT AND OTHER ELEMENTS.  
K. AT SOUND-RATED PARTITION WALLS, PROVIDE CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT JUNCTURE OF BOTH FACES OF RUNNERS OR PLATES WITH FLOOR AND CEILING CONSTRUCTION, AND WHEREVER GYPSUM BOARD ABUTS DISSIMILAR MATERIALS.  
L. AT OPENINGS AND CUTOUTS, FILL OPEN SPACES BETWEEN GYPSUM BOARD AND FIXTURES, CABINETS, DUCTS AND OTHER FLUSH OR PENETRATING ITEMS, WITH CONTINUOUS BEAD OF SEALANT.  
M. SEAL SIDES AND BACKS OF ELECTRICAL BOXES TO COMPLETELY CLOSE OFF OPENINGS AND JOINTS.

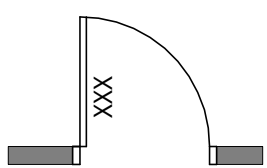
CONSTRUCTION PLAN LEGEND

SEE A410 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

	(E) CONSTRUCTION TO REMAIN	(N) CONSTRUCTION

ASSEMBLY RATING

	ONE HOUR RATED	TWO HOUR RATED
1		
2		



DOOR TAG  
SEE DOOR SCHEDULE AND LEGEND FOR ADDITIONAL INFORMATION

XXXXXX

INTERIOR PARTITION TAG  
SEE PARTITION SHEET FOR ADDITIONAL INFORMATION

XX

EXTERIOR PARTITION TAG  
SEE EXTERIOR WALL SHEET FOR ADDITIONAL INFORMATION

XX

WINDOW TAG  
SEE DOOR SCHEDULE AND LEGEND FOR ADDITIONAL INFORMATION

KEYNOTES

#	DESCRIPTION
F20	(E) ENTRY STAIR AND GUARDRAIL LANDING TO REMAIN
P3	POST MOUNTED PERFORATED METAL PANEL SPACE DIVIDER SYSTEM. METAL PANELS TO HAVE CUSTOM DESIGN PRINT.

HGA

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STRUCTURAL ENGINEER

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SACRAMENTO, CA 95811  
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MECHANICAL/PLUMBING ENGINEER

CAPITAL ENGINEERING  
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RANCHO CORDOVA, CA 95670  
916.851.3500

ELECTRICAL ENGINEER

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530.886.8556

HISTORIC PRESERVATION

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SACRAMENTO, CA 95816  
916.662.8532

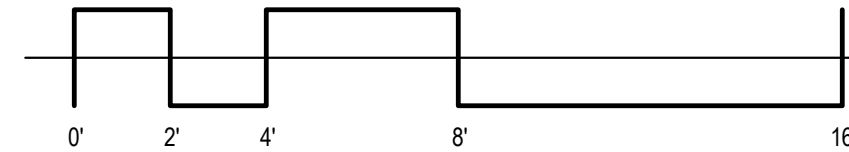
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ASSOCIATION  
OF COUNTIES

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1 OVERALL FLOOR PLAN - LEVEL 01  
1/4" = 1'-0"

Scale: 1/4" = 1'-0"



DATE: OCTOBER 29, 2025

PLANNING SUBMITTAL

A201.

























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[illegible]

GA NO: 5380-001-01

## EXTERIOR 3D VIEWS

DATE: OCTOBER 29, 2025

## PLANNING SUBMITTAL

# A400

## PHASE 2

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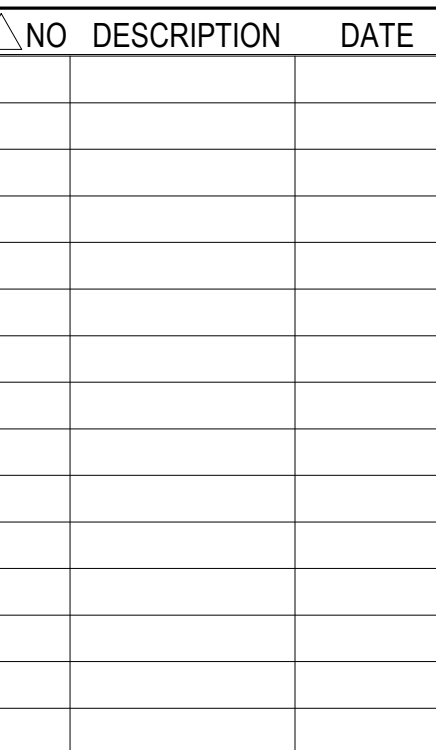
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## OVERALL EXTERIOR ELEVATIONS

## PLANNING SUBMITTAL

## PHASE 2

A. ELEVATIONS OF EXISTING FLOORS ARE BASED ON SURVEY INFORMATION AND/OR AS-BUILT DRAWINGS PROVIDED BY THE OWNER. THE SURVEY DATA MAY NOT BE COMPLETE AND THE ACTUAL EXISTING ELEVATIONS MAY VARY IN DIFFERENT PORTIONS OF THE EXISTING BUILDING. ALL INFORMATION MUST BE FIELD VERIFIED AND COORDINATED BETWEEN NEW AND EXISTING CONSTRUCTION TO PROVIDE MATCHING FLOOR ELEVATIONS WHERE REQUIRED.





## STRUCTURAL ENGINEER

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ISSUANCE HISTORY - THIS SHEET

HGA NO: 5380-001-01

## STREETSCAPE, COLOR & MATERIAL

DATE: OCTOBER 29, 2025

## PLANNING SUBMITTAL

# A403

## PHASE 2

### GENERAL NOTES - COLOR & MATERIAL

A. (E) BUILDING FINISHES TO REMAIN AS IS, EXCEPT WHERE REPAIRS ARE NECESSARY DUE TO NEW SCOPE OF WORK. NO CLEANING OF (E) BUILDING FINISHES EXCEPT WHERE REQUIRED NEAR NEW SCOPE OF WORK. ALL CLEANING AND REPAIR TO FOLLOW SECRETARY OF INTERIOR STANDARDS, SEE HISTORIC PRESERVATION DRAWINGS FOR ADDITIONAL INFO.



# 1 PLANNING - STREETScape - WEST

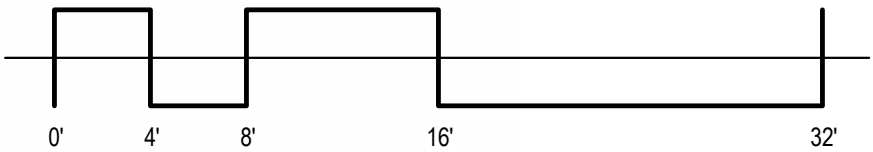
$$1/8" = 1'-0"$$


## 2 PLANNING - STREETSCAPE - NORTH

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1/8" = 1'-0"

Scale: 1/8" = 1'-0"





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