

DIRECTOR(S)

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Agenda
Director Hearing

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(916) 264-5011

Thursday June 26, 2025
1:00 p.m.

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1. Baobab Apartments (DR24-166) (Noticed 6/13/2025)

Location: 6531 Folsom Boulevard; APN(s): 008-038-025-0000; (District 6)
Entitlements: **Item A.** Modified Initial Study pursuant to CEQA Guidelines Section 15183; and **Item B.** Site Plan and Design Review for review of 53,100 square foot, six-story, mixed-use development with 56 multi-unit dwellings, one tenant space, and 16 parking spaces within the Residential Mixed-Use (RMX-TO-SPD) zone, the Transit Overlay (TO), and the Folsom Boulevard West Special Planning District (SPD) including a deviation request for height, setbacks, and open space standards.
Contact: Sierra Peterson, Associate Planner, (916) 808-7181,
SPeterson@cityofsacramento.org

2. Drollet Way Subdivision (P22-043) (Noticed 6/13/2025)

Location: 301 Drollet Way; APN(s): 237-0380-009-0000; (District 1)
Entitlements: **Item A.** Environmental Exemption (Per CEQA 15332-Infill Development); **Item B.** Tentative Subdivision Map to subdivide a vacant 2.33-acre lot into 22 residential lots, 2 additional lots for private alley, and a detention basin in the Agriculture (A) Zone; and **Item C.** Site Plan and Design Review of the Tentative subdivision map with deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth.
Contact: Jose Quintanilla, Associate Planner, (916) 808-5879,
JQuintanilla@cityofsacramento.org

3. 6122 Dias Avenue Tentative Subdivision Map (Z24-021) (Noticed 6/13/2025)

Location: 6122 Dias Ave; APN(s): 038-01911-011-0000, 038-0191-014-0000; (District 6)
Entitlements: **Item A.** Environmental Exemption (Per CEQA 15332-Infill Development); **Item B.**; Tentative Subdivision Map to subdivide two lots totaling 4.43-acres into six lots within the Single-Unit or Duplex Dwelling (R-1A) Zone; and **Item C.** Site Plan and Design Review of the Tentative Subdivision Map. There is no proposed new construction or demolition with this application.
Contact: Danny Abbes, Associate Planner, (916) 808-5873,
DAbbes@cityofsacramento.org

Item continued to July 03, 2025.

4. 465 Bowman Avenue Tentative Map (Z24-101) (Noticed 6/13/2025)

Location: 465 Bowman Ave; APN(s): 262-0121-017-0000; (District 3)

Entitlements: **Item A.** Environmental Exemption (Per CEQA 15332-Infill

Development); **Item B.** Tentative Parcel Map to subdivide one 0.5-acre parcel into 3

residential lots; and **Item C.** Site Plan and Design Review of the Tentative Parcel

Map with deviations to the minimum required public street frontage and to reduce

the minimum required lot width within the Single-Unit Dwelling (R-1) Zone.

Contact: Jose Quintanilla, Associate Planner, (916) 808-5879,

JQuintanilla@cityofsacramento.org

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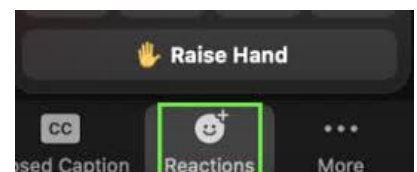
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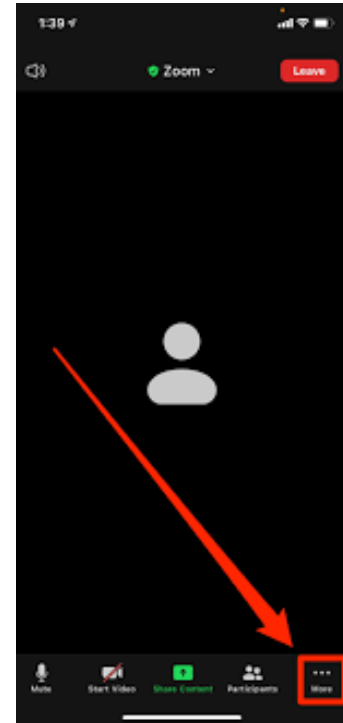


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DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, Site Plan and Design Review for the project known as **Baobab Apartments (DR24-166)**. Draft Conditions of Approval and Findings of Fact for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination** includes a modified Initial Study/15183 Checklist that supports the conclusion that the proposed project would not result in any significant impacts.
2. **Site Plan and Design Review** to construct a six-story mixed-used building with 56 multi-unit dwellings and one ground-floor commercial space with a request for deviations for setbacks, building height, and open space on a 0.27-acres parcel within the Residential Mixed Use (RMX-TO-SPD) zone, Transit Overlay (TO) zone, and Folsom Boulevard West Special Planning District (SPD).

PROJECT INFORMATION

Location:	6531 Folsom Boulevard, Sacramento, CA 95819
Parcel Number:	008-0383-025-0000
Council District:	6
Applicant/ Property Owner:	Rajpal Bains, Bains Property Pty Ltd. 78 Peter Brock Drive Eastern Creek, NSW Australia, 2766
Project Planner:	Sierra Peterson, Associate Planner
Hearing Date:	June 26, 2025

Land Use Information

General Plan:	Residential Mixed Use (RMU)
Community Plan Area:	East Sacramento
Housing Element Site:	N/A
Specific Plan:	N/A
Zoning:	Residential Mixed Use Zone (RMX-TO-SPD)
Overlay:	Transit
Special Planning District:	Folsom Boulevard West
Planned Unit Development:	N/A
Design Review Area:	Citywide Multi-Unit Dwelling
Parking District:	Urban
Historic Landmark:	No

Historic District: No

Surrounding Land Use and Zoning

North:	RMX-TO-SPD	Retail/Commercial & Residential
South:	C-2-TO-SPD	Retail/Commercial & Residential
West:	RMX-TO-SPD	Retail/Commercial
East:	RMX-TO-SPD	Retail/Commercial & Residential

Site Characteristics

Existing Property Area:	11,942 square feet / 0.274 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Land Use:	Commercial building and parking lot

Other Information

Concurrent Files:	N/A
Previous Files:	N/A

ATTACHMENTS

Attachment 1: Project Plans

PROPOSED PROJECT AND ANALYSIS

Background

The subject parcel is located at 6531 Folsom Boulevard on the northwest corner of Folsom Boulevard and 66th Street and adjacent to Elvas Avenue Folsom Boulevard Alley. The site has an existing one-story retail commercial building and surface parking lot. The site is 0.34 acres; however, the project requires a dedication on Folsom Boulevard and 66th Street resulting in a net site area of 0.274 acres. The site is surrounded by a mixture of commercial retail, restaurants, and private student housing for Sacramento State University. The site will be served by the existing public right-of-way and utilities. There are no trees onsite or in the public right-of-way.

Project Analysis

The application request includes the demolition of the existing one-story commercial building and surface parking lot, and the development of a six-story mixed-use building with 56 student-oriented multi-unit dwellings, 840 square feet of ground floor retail space, and 16 ground level parking spaces within an enclosed garage.

This entitlement request includes deviations for setbacks, building height, and open space requirements which require a director-level public hearing.

Site Plan and Design Review

Site Plan and Design Review is required for the project to ensure compliance with applicable development standards and design guidelines. The project is in the Residential Mixed Use (RMU)

General Plan land use designation, Residential Mixed Use (RMX-TO-SPD) zone, Transit Overlay (TO) zone, Folsom Boulevard West Special Planning District (SPD), and Citywide Multi-Unit Dwelling Design Review Area.

The project is consistent with the RMU General Plan land use designation, the RMX zoning designation, and TO zone because the intent is to foster vibrant, walkable areas with a high-intensity mix of residential, ground-floor commercial, office, and public uses, while also preserving the residential character of neighborhoods. The location of the building preserves the residential character of the single unit dwelling residential uses to the west and develops a site in proximity to other student oriented residential uses and commercial businesses on an arterial street. The six-story mixed-use building provides ground-floor retail and residential amenities such as a main lobby and lounge visible from Folsom Boulevard.

The Folsom Boulevard West SPD establishes a list of prohibited uses in addition to other uses prohibited within the RMX-TO zones. The project does not propose a prohibited use.

Table 1, Applicable Development Standards for the RMX-TO-SPD zone summarizes the code requirements and if the project requires a deviation from a code requirement. Deviations are discussed below in the deviation section.

Table 1: Applicable Development Standards RMX-TO-PUD Zone			
Standard	Required	Provided	Deviation?
Density	20 (min)	204	n/a
FAR	0.4 – 4.0	4.0	n/a
Height	45' – 0"	64' – 5"	Yes
Front-Yard Setback	10' – 0"	0' – 0"	Yes
Interior Side-Yard Setback	0' – 0"	0' – 0"	No
Street Side- Yard Setback	10' – 0"	2' – 0"	Yes
Alley Setback	5' – 0"	5' – 0"	No
Open Space (sq ft)	1,560	5,600	Yes

Architectural Analysis

The design of the project is consistent with the goals and policies of the Citywide Multi-Unit Design Guidelines with the high intensity mixed use building, orientation of the building to the street, active ground level uses, and vehicular access and service uses along the alley.

The proposed six-story mixed-use building includes 56 multi-unit dwellings, including 18 studios, 28 one-bedrooms, and 10 two-bedrooms, 840 square foot retail space on the first floor, and 16 parking spaces. The building is located at the corner of Folsom Boulevard and 66th Street with minimal setbacks and active ground floor uses including a commercial retail space and lobby on Folsom Boulevard, and a common use amenity space wrapping the corner of the building. The ground floor also includes two studio units with direct access to the sidewalk on 66th Street. All service uses including fire/water room, trash room, and electrical room are accessible from the alley. The commercial retail space, lobby, and amenity room have large storefront systems adjacent to Folsom Boulevard that provide activation of the building at the street-level. The studio units on 66th Avenue have floor to ceiling windows.

Floors two through six have the same floor plan adjacent to Folsom Boulevard and 66th Street and provide a rhythmic fenestration pattern. While the massing and fenestration pattern is similar on all floors, the bulk of the building is visual broken up vertically with a varied wall plane with full height vertical projections and recesses. The projections and recesses also help to break up the roof parapet with a varied roof line. The materials are applied vertically with copper and white colored metal panels that are angled at the midpoint of the building to create visual interest. The base of the building and the recessed portions are gray thin clinker brick. A band of stucco material is used at the top and bottom of each window on the portions of the building with metal paneling.

The interior side-yard and alley elevations include full building height copper and white metal panels with stucco bands at the windows. The base of the building has thin brick clinker wrapping around the corners of the building from Folsom Boulevard and 66th Street transitioning to stucco at the garage entrance on the alley. The interior side yard base of the building includes CMU block and cast in place concrete.

The second-story courtyard is adjacent to the interior side yard and wrapped by the building on the east and south and open on the west and north. The courtyard is accessible through the interior hallway and the clubroom. The courtyard includes a trellis structure, umbrellas, landscaping planters and seven trees. Staff requested a shade study to evaluate the rooftop deck at various times during the year and the usability of the open space. This was requested because the application includes a request to deviate from the required open space and the rooftop deck should be a usable area and provide sun protection in this environment. The deviation request is discussed in the deviation section of this report.

The site has existing access via a driveway off of 66th Street. The new primary vehicular access to the enclosed parking garage will be off Elvas Avenue Folsom Boulevard Alley. The project provides 16 vehicle parking spaces, where no parking spaces are required. This project meets bicycle parking requirements for multi-unit dwelling developments in the Urban Parking District with 30 long-term spaces required and provided; and eight short-term spaces required and provided.

Deviations

The proposed project requests deviations for the front and street side yard setback, building height, and open space.

The existing site has curb, gutter, and sidewalk along the frontage; however, additional right-of-way is required to be dedicated to the city along Folsom Boulevard and 66th Street. The building abuts the newly proposed property line along Folsom Boulevard with a zero-foot setback, where a minimum of 10 feet is required, and a street side yard setback on 66th Street of two-feet, where a minimum of 10 feet is required. The proposed building is in proximity to two large student-oriented apartment buildings located adjacent to the public right-of-way with minimal setbacks and that are within walking distance to California State University, Sacramento (Sacramento State). Staff find the deviation to be appropriate given the ground-floor retail and amenity spaces will activate the sidewalk and the form and massing of the building is similar to many other mixed-use projects and streetscapes throughout the city. Furthermore, it will not negatively impact public sidewalks, bike lanes, or tree canopy areas which have benefited from the right-of-way dedication requirements. Moving the building closer to the public right-of-way and reducing the setbacks helps the building engage pedestrians at street level which is a goal of TO zone developments.

The 45-foot maximum height standard of the RMX-TO zone is the same as the base RMX zone,

and is set at a more conservative height to ensure compatibility citywide between new development proposed in the zone and adjacent uses. However, the General Plan designation for this site is RMU which allows a FAR up to a 4.0 along the Folsom Boulevard corridor. The proposal is consistent with these urban form characteristics in the General Plan. The building is within the scale of envisioned development for this transit area of the City and within the proximity to Sacramento State University.

Recently built mixed-use projects in the area include those at 1325 65th Street (Academy 65), 1500 67th Street (The Wexler), 6601 Folsom Boulevard, and 1420 65th Street (F65), each of which include buildings of three to six stories and contribute to the redevelopment of the 65th Street and Folsom Boulevard corridors. These projects along with the proposed project represent a more transit supportive scale for this area of the city. Staff finds that the increase in height at this site will maintain a sensitive transition with the single-unit dwellings on 64th Street to the west of the project site and the height deviation is appropriate given the purpose and intent of the applicable design guidelines and development standards. Staff finds that although the base zoning has a lower standard height, the site is in a prime location to accommodate additional height between the 65th Street Transit Station and the pedestrian tunnel into the Sacramento State campus.

Open space requirements for the proposed project are 100 square feet per dwelling unit, which results in a required 5,600 square feet of outdoor open space. The project proposes a common outdoor terrace at the second level on the west side of the building with a total of 1,560 square feet. In addition to these open spaces, the project provides approximately 1,265 square feet of interior shared spaces within the building for amenity and gathering places. Although the interior areas cannot be counted toward the open space requirement, these areas are important to enhance livability. The ground level amenity space will provide shared facilities and views out on to the street and the second level clubroom provides access to the outdoor terrace, meeting the intent of the open space requirement. Staff finds that the combination of the outdoor and indoor spaces are appropriate and consistent with the intent of providing open space for multi-unit projects. The spaces provide a variety of desirable amenities, and will be equally accessible to all units within the building.

PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS

The project was routed to Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, East Sacramento Improvement Association, East Sac Give Back, East Sacramento Chamber of Commerce, East Sacramento Preservation. Staff has received one comment letter in support of the project with the recommendation to increase the amount of long term bike parking, increase pedestrian visibility on Folsom and 66th Street, and increase the open space for the project.

ENVIRONMENTAL CONSIDERATION

On February 27, 2024, the City of Sacramento adopted the 2040 General Plan and certified an associated Master Environmental Impact Report (Master EIR). (Resolution No. 2024-0065). The Master EIR is a program EIR, prepared pursuant to Section 15168 of the California Environmental Quality Act (CEQA) Guidelines (Title 14, California Code of Regulations [CCR], Sections 15000 et seq.). The Master EIR analyzed full implementation of the 2040 General Plan and identified measures to mitigate the significant adverse impacts that could occur with project approval.

Under Section 15183 of the CEQA Guidelines, where a project is consistent with the use and density established for a property under an existing general plan or zoning ordinance for which the City already certified an EIR, additional environmental review is not required “except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.”

The City prepared a Modified Initial Study/15183 Checklist that supports the conclusion that the proposed project would not result in any significant impacts that: (1) were peculiar to the project or the project site; (2) were not identified as a significant effect in the Master EIR; (3) are potentially significant off-site impacts and cumulative impacts which were not discussed in the Master EIR; or (4) were previously identified significant effects, and which as a result of substantial new information that was not known at the time that the Master EIR was certified, were determined to have a more severe adverse impact than discussed in the Master EIR.

The Environmental Services Manager has, based upon the analysis of the Modified Initial Study/15183 Checklist, concluded the project is exempt from further review. The Modified Initial Study is available on the City’s webpage at the following URL:

<https://www.cityofsacramento.gov/community-development/planning/environmental/impact-reports>

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA’s Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer’s report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016 and the SAFCA 2024 Adequate Progress Annual Report accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

FINDINGS OF FACT

Environmental

1. Environmental Determination: Exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15183, Consistency with 2040 General Plan.

Based on the determination and recommendation of the City’s Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Director finds that the Project is exempt from review under Section 15183 of the California Environmental Quality Act Guidelines as follows:

- A. Finding that no further environmental review is necessary under CEQA pursuant to State CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).
- i. Pursuant to Section 15183 of the CEQA Guidelines, the project is consistent with the use and density established under the existing 2040 General Plan for which the City has certified the Master EIR.
 - ii. The Modified Initial Study/15183 Checklist, provided for in the CEQA Guidelines, concluded that the proposed project would not result in any significant impacts that: (1) were peculiar to the project or the project site; (2) were not identified as a significant effect in the Master EIR; or (3) were previously identified significant effects, and which as a result of substantial new information that was not known at the time that the Master EIR was certified, were determined to have a more severe adverse impact than discussed in the Master EIR.
 - iii. Based upon 15183(f), the Modified Initial Study/15183 Checklist identifies the 2040 General Plan policies and/or actions that apply to the development of the project, and have been determined in the Master EIR to substantially mitigate environmental effects. To the extent that the 2040 General Plan policies and/or actions substantially mitigate a particular project impact, the impact shall not be considered peculiar, pursuant to 15183(f), thus, eliminating the requirement for further environmental review

Site Plan and Design Review

- 2. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Residential Mixed Use (RMU).
- 3. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from design guidelines or development standards are approved (front yard setback, street side yard setback, building height, and open spaces requirements), the proposed development is consistent with the purpose and intent of the applicable design guidelines and development standards in that the proposal meets all applicable development standards for the RMX-TO-SPD zone and the architectural design standards for multi-unit dwelling design guidelines within the Citywide Design Review Area. Furthermore, the project substantially conforms with the citywide design principles in relation to massing and scale for commercial structures due to the reasoning discussed within the Site Plan and Design Review analysis portion of the report.
- 4. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
- 5. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and

massing of the project are compatible with the design of the adjacent commercial structures.

6. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.
7. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the proposal meets height and setback requirements and will not be a detriment to the neighborhood.

200-Year Flood Protection

8. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

CONDITIONS OF APPROVAL

Design Review / Planning

1. The proposed construction of the multi-unit dwelling building is approved per attached plans and conditions of approval.
2. Provide the following building materials on the multi-unit dwelling building as indicated per approved plans:
 - a. Metal canopy
 - b. Metal sunshade
 - c. Metal panel, white
 - d. Metal panel, copper
 - e. Thin brick, clinker; stack bond
 - f. Stucco, dark gray
 - g. CMU, running bond
 - h. Decorative fence gate
 - i. Storefront assembly, dark bronze
 - j. Wide overhead rolling garage door
 - k. Hollow metal door and frame
 - l. Vinyl window, insulated glazing, south elevation provide minimum SHGC of 0.27
 - m. Fiberglass door
 - n. Cast-in-place concrete
 - o. Metal coping
 - p. Decorative half-height metal fence

3. All newly installed exterior wall-mounted and ground-mounted electrical service equipment, excluding transformers, must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior electrical equipment, along with any necessary screening and details, must be shown on site plans, floor plans, and exterior elevations, while maintaining all service clearance requirements. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. All material shall be painted to match elements of building exterior finish.
4. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior mechanical equipment, along with any necessary screening and details, must be shown on site plans, roof plans, and exterior elevations. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. Louvered material shall be positioned so spacing does not align with line of sight views. All material shall be painted to match elements of building exterior finish.
5. Lighting:
 - a. The type and location of the outdoor and exterior lighting (buildings, parking areas, etc.) shall be approved by Planning and Design Review staff during building plan check. Lighting shall be provided at the ground-level on all sides of the building and at each building entry.
 - b. Per Section 17.612.030(B), exterior lighting shall reflect away from public streets. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
 - c. The design of the light fixtures within the surface parking area shall be reviewed and approved by Planning and Design Staff. A lighting and photometric plan shall be provided for review and approval as part of Building Permit documents.
6. Provide the required 30 long-term bicycle spaces and eight long-term bicycle storage spaces as shown on the approved plans in accordance with Sacramento City Code section 17.608.040N.1 and 17.608.040N.2. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
7. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.
8. Any work involving a city tree, private protected tree, or within the park strip requires a tree permit. If any work involving a city tree, private protected tree, or within the park strip a tree permit shall be obtained from Urban Forestry.
9. No signage has been reviewed or approved through the Site Plan and Design Review process. All future signage shall conform to the sign code standards found in SCC section 15.148.160 and shall be reviewed under the separate sign permitting process.

10. A photometric plan shall be provided for all outdoor lighting in and around the site at the time of plan check. Any new building mounted lighting shall be subject to final review and approval by Planning staff.
11. Planning in-progress inspections (93) shall be called for prior to the following Building Inspections: (10) Bldg-Foundation Forms, (12) Bldg-Concrete Slab Forms, and (81) Frame Across/Board. An (89) Planning Final shall be called for prior to (29) Building Final.
12. Any modifications to the approved project shall be subject to the review and approval of Planning staff (and may require additional entitlements).
13. The applicant shall obtain all necessary building and encroachment permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
14. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit.
15. The development shall have an on-site manager residing on-site consistent with SCC section 17.228.117.
16. Student-oriented housing developments shall comply with the following operational requirements:
 - a. The operator shall provide a minimum of one community assistant (CA) at a ratio of one CA per 150 beds. Fewer Cas may result in a zoning enforcement action against the operator.
 - b. Agreements executed between the operator and tenants shall include a notification that parking is not included as a part of the lease. Furthermore, the agreement shall state that there is limited parking available in the neighborhood adjacent to the facility.
 - c. Private, on-site security from a licensed security guard shall be provided Monday through Sunday between the hours of 06:00 p.m. and 06:00 a.m.
17. This approval is valid for three years and is subject to SCC section 17.808.400.

Environmental Planning Services

18. In the event that archaeological resources or human remains are encountered during construction, work within 100 feet of the discovery shall cease until a notice to proceed is issued by the City. The applicant shall notify the City of Sacramento Manager of Environmental Planning Services (phone 311 or (916) 799-1531; email tbuford@cityofsacramento.org) and shall comply with City direction, and federal and State regulations and guidelines regarding the treatment of cultural resources and human remains. The Coroner shall be notified in the event human remains are discovered; the applicant shall be responsible for the employment of a qualified archaeologist to advise regarding treatment of any artifacts.

19. The project applicant shall conduct any tree removal activities required for project construction outside of the migratory bird and raptor breeding season (February 1 through August 31) where feasible. All trees slated for removal during the nesting season shall be surveyed by a qualified biologist no more than 48-hours before removal to ensure that no nesting birds are occupying the tree. (See federal Migratory Bird Treaty Act, California Fish and Game Code (Sections 3503, 3503.5, 3511, and 3800)
20. For any construction activities that will occur between February 1 and August 31, the applicant shall employ a qualified biologist to conduct preconstruction surveys in suitable nesting habitat on or near the construction area for nesting raptors and migratory birds. If the biologist determines that construction may occur without impacting the breeding effort, the nest(s) shall be monitored by the biologist during construction. If the biologist concludes that the project would impact the nest, construction activities will cease until the nest is no longer active. Completion of the nesting cycle shall be determined by the biologist.
21. Sacramento Metropolitan Air Quality Management District Basic Construction Emission Control Practices apply and compliance is required. See www.airquality.org. Other air district rules may apply and the air district should be consulted.

Public Works

22. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
23. The applicant shall dedicate sufficient right-of-way and construct 66th Street along their subject property to a 66-foot street-section (half-street only) per the 65th Street Station Area Plan to City Standards to the satisfaction of the Department of Public Works. The half-street section shall include an 11-foot travel lane, seven-foot. parking, and 15-foot pedestrian zone.
24. The applicant shall dedicate sufficient right-of-way and construct a 15-foot pedestrian zone along the subject property's frontage along Folsom Blvd to City Standards to the satisfaction of the Department of Public Works.
25. The applicant shall repair, or replace/reconstruct (in concrete) any deteriorated portion of the alley adjacent to the subject property (from the subject property's western property line to 66th Street) per City standards to the satisfaction of the Department of Public Works.
26. With the proposed development along the alley, the applicant shall install alley name signs at both alley entrances when required by either the Building, Police and/or Fire Departments. In the event the alley name signs are required, the applicant shall

coordinate with the Department of Public Works on the location of the alley name signs at alley entrances. The installation of the alley name signs shall be to the satisfaction of the Department of Public Works.

27. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
28. Bulb outs/curb extensions are required where there is on-street parking in the central City area or as directed by the Department of Public Works. Locations of bulb outs must be reviewed and approved by the City Traffic Engineer. The applicant shall construct bulb-outs/ curb extension at the following locations to the satisfaction of Public Works:
 - a. 66th Street side of the NW corner of the intersection of 66th Street and Folsom Blvd.
29. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards.
30. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the Department of Public Works.
31. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25-foot sight triangle). Walls shall be set back three feet behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5 feet in height at maturity. The area of exclusion shall be determined by the Department of Public Works.
32. The applicant shall participate in the 65th Street Station Area Plan, Finance and pay all appropriate fees to the satisfaction of the Department of Finance.

Department of Utilities

33. Applicant shall participate in the 65th Street Area Finance Plan and pay all required fees. Improvement plans shall be consistent with the 65th Street Infrastructure and Utilities Plan that will provide for the ultimate development of the 65th Street Area.
34. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU (Note: City records indicate there is an existing 1.5-inch metered domestic water service at this site).
35. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20

pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval. (Note: There is an existing public fire hydrant located adjacent to 6621 Folsom Blvd in 66th Street. Any proposed fire hydrants within 150-ft of an existing public fire hydrant shall be private unless otherwise approved by the DOU.)

36. Common area landscaping exceeding 5,000 square feet shall have a separate street tap for a metered irrigation service.
37. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The fee will be used for improvements to the CSS. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-7890 for a CSS fee estimate.
38. All increases in sewer flow shall be mitigated. The proposed project is contributing increased sewer flows to the CSS and shall evaluate the available capacity of existing CSS mains from the project's point of service to the nearest 18-inch main. If any portion of the City mains to the nearest 18-inch main is determined to have insufficient capacity to accommodate the increased sewer flow, the development shall be required to improve the undersized mains to the nearest 18-inch main. The applicant is advised to contact the City of Sacramento Utilities Department Sewer Planning Section (916-808-1400) at the early planning stages to address any drainage related requirements.
39. Depending on the sewer study analysis, the City combined sewer mains downstream of the site may be required to be upsized to the satisfaction of the DOU.
40. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard specified in the DOU onsite manual.
41. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
42. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
43. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.

44. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has less than one-acre of new or modified impervious area, therefore, only certified full capture trash control devices and source control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
45. A maintenance agreement may be required for full capture control devices. Contact DOU for a list of accepted proprietary devices considered for full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

SMUD

46. SMUD has existing overhead 21kV and low voltage/secondary facilities along the north and south side of the property (south side of the alley and north side of Folsom Blvd respectively) that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
47. SMUD has existing underground 21kV facilities along the south side of the property (north side of Folsom Blvd) that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.³ Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
48. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
49. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
50. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
51. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).

52. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
53. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways.
54. The Applicant shall grant to SMUD a Grant of Easement to cover the existing electrical facilities on the premises. Prior to the Map Recordation of the final map, the Applicant shall prepare and submit the subject map for SMUD's review and acceptance. The subject map shall be prepared in accordance with SMUD's standard overhead/underground right-of-way form — a five-foot wide right-of-way for existing underground and/or 10-foot wide right-of-way for existing overhead electrical facilities. Note – if necessary, SMUD will mark the ground with the location of underground facilities. Please call 811 to have these facilities marked.
55. The shown transformer location and space on the plans will have to be validated by SMUD to ensure it meets all location, spacing and design criteria. The size of this space will depend on the requested service size and additional space for a switch may be required depending on the overall service requirements. Please contact SMUD Line Design for additional information.

Recycling & Solid Waste

56. Project must meet the requirements outlined in City Code Chapter 13.10, 13.24, and 17.616.
57. The trash room must each have sufficient space to accommodate bins for trash, recycling, and organics. Smaller containers may be used with an increase in collection frequency. Service level minimums for recycling and organics can be found in Chapter 13.24.600. The service levels must be sufficient for both the residential and retail waste generated at the site.
58. Applicant must provide a statement of how trash, recycling and organics will be organized and collected after project is complete, per City Code Chapter 17.616.020. This statement must explain how the property manager will collect from the trash, recycling and organics receptacles located around the site and place each material type in the appropriate bin in the trash enclosure.
59. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and cans safely.
60. This project may be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's web site at <https://www.cityofsacramento.gov/public-works/recycling-solid-waste/Commercialwasteservices/construction---demolition-recycling>. Please contact the Solid Waste C&D team if you have any questions: (916) 808-0965 or C&D@cityofsacramento.org

Parks

61. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Infrastructure Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org).

SacSewer

62. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees are to be paid before the issuance of building permits.

Police

Lighting:

63. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
64. Light poles, if applicable, shall be no higher than 16 feet.
65. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
66. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.
67. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
68. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
69. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping:

70. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
71. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security:

72. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of six feet in height.
73. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
74. Manager with access to VASS storage shall be able to respond to any activation within two hours.
75. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
76. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
77. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
78. VASS shall be capable of storing no less than 30 days' worth of activity.
79. VASS shall provide comprehensive coverage of:
 - a. areas of ingress and egress
 - b. parking lot
 - c. coverage of all exterior sides of the property(s)
 - d. adjacent public rights of way
 - e. main lobby entrance
 - f. hallways
 - g. elevators (if applicable)
80. No more than 10% of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.

81. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.
82. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.
83. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
84. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).
85. Property management shall be responsible for the daily removal of all litter from the site.
86. Applicant shall install a law enforcement "Knox Box" for police access to common areas on the premises, including, but not limited to the main lobby entrance. If elevators can only be operated via electronic access card, management shall ensure a card is placed in the exterior knox box.
87. Applicant shall employ uniformed security to respond to on-site disturbances, 24/7. Security shall conduct no less than two (2) site inspections daily. The contracted security company shall be registered and in good standing with the Bureau of Security and Investigative Services (BSIS). Applicant may request a modification of this condition at any time. Any request for modification shall be in writing and submitted to the Sergeant of the Sacramento Police Department's CPTED unit, or designee, and specify the desired modification(s). The Sacramento Police Department will evaluate the modification request and will respond within 30 days of receipt of the request.

During Construction:

88. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
89. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
90. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Fire Department

91. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. California Fire Code Section 501.4.
92. Provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org, California Fire Code Section 507.4.

93. Provide appropriate Knox access for site. California Fire Code Section 506.
94. Provide standpipe hose valves at the intermediate landing levels of stairways as required by the Sacramento Fire Official.
95. Emergency Responder Radio Coverage may be required. Testing shall be conducted by an authorized technician to verify compliance with section 510, California Fire Code. This test shall verify that the building will support the Sacramento City Fire Department Radio Communication System. This test shall be performed in accordance with California Fire Code section 510.4.1.
96. Provide a Site Safety Plan in compliance with Section 3303 of the California Fire Code. The plan shall identify at minimum, the following safety precautions during demolition and construction:
 - a. Name and contact information of the Owner's authorized agent (Site Safety Director) responsible for the development, implementation and maintenance of an approved written site safety plan.
 - b. Procedures for reporting emergencies.
 - c. Fire Department Access Routes.
 - d. Location of fire protection equipment, including type and size of fire extinguishers.
 - e. Smoking and cooking policies that include designated safe areas where smoking and cooking may occur with adequate signage in accordance with Section 3305.8
 - f. Location(s) and proper safety considerations for temporary heating and any associated equipment.
 - g. Hot Work Plan when any welding and/or cutting shall occur.
 - h. Means of providing safeguards to minimize the risk of unwanted releases, fires or explosions involving hazardous materials, such as ignitable liquids/vapors or other combustible materials and ignition sources (cutting and welding, etc).
 - i. Designated smoking areas free of ignitable vapors and other combustible materials.

Advisory Notes

The following advisory notes are informational in nature:

- ADV1. All-Electric New This project is in Drainage Basin 31 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368 (Note: The Drainage Pumped Impact Fee is based on increased impervious area).
- ADV2. Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks or at the inside edge of the right-of-way for public alleys.
- ADV3. Water meter boxes located in driveways shall be traffic rated per the requirements of the City Standard Specifications.
- ADV4. As of January 1, 2018, all new multi-family residential construction will require sub-metering of each residential unit pursuant to all requirements found in California Senate Bill 7 (SB7). These requirements at a minimum include installing sub meters, billing for water based on the sub meters, and long-term calibration and maintenance of the sub meter. The SB7 requirements are the responsibility of the property owner.

- ADV5. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.
- ADV6. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
- a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$181,813. The Park Development Impact Fee due for this project is based on the Remainder of City Rate of \$3.47 per square foot for residential projects (57 apartment units), with a minimum rate of \$2,604 for units under 750 square feet and a maximum of \$6,947 for units over 2,000 square feet, and \$0.56 per square foot for retail and commercial services projects (840 square foot retail space). The applicant would likely receive credit for the demolition of the existing structures. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
 - b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.
- ADV7. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via its local sanitary sewer collection system. SacSewer is responsible for conveying sewage from the City collection system to the EchoWater Resource Recovery Facility for treatment, resource recovery, and disposal.

Respectfully Submitted:



Sierra Peterson
Associate Planner

Recommendation Approved:



Karlo Felix, Senior Planner for
Matthew Sites, Senior Architect, AIA

The decision of the Design Director may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the Design Director's hearing. If an appeal is not filed, the action of the Design Director is final.

BAOBAB APARTMENTS



C2K
ARCHITECTURE
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200



BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER RECEIPT OR POSSESSION THEREOF CONFERS OR TRANSFERS ANY RIGHT TO, OR LICENSE TO, USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON, NOR ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE INC.

ENTITLEMENTS

SHEET TITLE:
COVER SHEET

SHEET NO.:
G.000

PROJECT DIRECTORY

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E: GRUFF916@OUTLOOK.COM

PROJECT DESCRIPTION

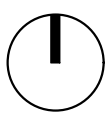
BAOBAB APARTMENT PROJECT IS A 6-STORY, TYPE IA @ LEVEL 1 AND TYPE IIIA @ LEVELS 2-6 MIXED USE BUILDING WHICH CONSISTS OF 56 APARTMENT UNITS WITH AMENITIES, VEHICLE PARKING ON LEVEL 1 ACCESSIBLE FROM THE ALLEY. A 840 SF RETAIL SPACE ON LEVEL 1 IS LOCATED ALONG FOLSOM BLVD.

VICINITY MAP (SEE A.200 FOR ARCH SITE PLAN)



DRAWING INDEX - ENTITLEMENTS

GENERAL	
G.000	COVER SHEET
G.100	CODE INFORMATION
G.200	COURTYARD - SHADING STUDY
CIVIL	
C1.00	PRELIMINARY PAVEMENT PLAN
C2.00	PRELIMINARY GRADING & DRAINAGE PLAN
C3.00	PRELIMINARY UTILITY PLAN
LANDSCAPE	
L.100	PRELIMINARY LANDSCAPE PLANS
ARCHITECTURAL	
A.100	EXISTING SITE PLAN / DEMO PLAN
A.200	ARCHITECTURAL SITE PLAN
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A.202	FLOOR PLAN - LEVEL 2
A.203	FLOOR PLAN - LEVEL 3-6
A.207	ROOF PLAN
A.300	RENDERED VIEWS
A.301	EXTERIOR ELEVATIONS
A.302	EXTERIOR ELEVATIONS
A.401	BUILDING SECTIONS



BUILDING CODE DATA (CONT.):				BUILDING CODE DATA (CONT.):				BUILDING CODE DATA:				PROJECT INFORMATION:																																																															
<p>9. FIRE PROTECTION SYSTEMS (CBC CHAPTER 9):</p> <p>Distance to a Portable Fire Extinguisher shall not exceed 75'-0"; including travel distance from within an individual unit.</p> <p>Standpipes included per Section 905.3 and 905.4.</p> <p>In accordance w/ NFPA 13, the following listed Automatic Sprinkler systems must be met by the fire sprinkler subcontractor:</p> <div><div><div>1. Shop Drawings to be provided</div><div>2. NFPA 13 System per Section 903.3.1.1 @ Residential building</div><div>3. Quick response and residential heads per Section 903.3.2</div><div>4. Actuation per Section 903.3.4</div><div>5. Water supply per Section 903.3.5</div><div>6. Sprinkler supervision and alarms per Section 903.4</div></div></div> <p>Construction documents and/or shop drawings for the installation of fire protection systems shall be submitted and reviewed prior to the issuance of the permit.</p> <p>In accordance w/ NFPA 72, the below listed fire alarm and detection systems must be met:</p> <div><div><div>1. Construction documents per Section 907.1.1</div><div>2. Manual fire alarm system in Residential (R-2) per Section 907.2.9</div><div>3. Single/ multiple station smoke alarms per Section 907.2.10</div><div>4. Residential smoke alarm power source per Section 907.2.10.6</div><div>5. Residential smoke alarm interconnection per Section 907.2.10.5</div><div>6. Fire Alarm System- location/ power supply/ wiring per Section 907.4.2- 907.6.4.1</div><div>7. Fire Alarm System- activation/ presignal/ zones per Section 907.6</div><div>8. Alarm notification appliances per Section 907.5.2</div><div>9. Detectors per Section 907.3-907.4</div><div>10. Monitoring per Section 907.6.6</div></div></div> <p>Note 1: The Fire Detection & Alarm Shop Drawings, Fire Sprinkler Shop Drawings, and Access Controls/Security Locking Shop Drawings are to be initially reviewed and approved by the AE of Record prior to submission to Fire Dept for Final Review and Approval.</p> <p>Note 2: Prior to Final, GC shall provide documentation indicating that the building has been tested by a licensed contractor and complies with CFC Section 510, Emergency Responder Radio.</p> <p>10. MEANS OF EGRESS (CBC CHAPTER 10):</p> <p>Occupant Load: (Table 1004.5)</p> <div><div><div>Residential =</div><div>Business =</div><div>Assembly w/o fixed seats =</div><div>Storage/Equip =</div><div>Mercantile =</div></div><div><div>200 GSF per occupant</div><div>150 GSF per occupant</div><div>15 GSF per occupant</div><div>300 GSF per occupant</div><div>60 GSF per occupant</div></div></div> <p>Doorways: The minimum clear width of all means of egress shall be 32". Doors must swing in the direction of egress travel and have a threshold height no greater than 1/2"</p> <p>Stairways: The minimum width of all stairways shall be 44 inches, but no less than 36 inches where occupant load is less than 50: <div><div>Treads: 11" min</div><div>The radius of curvature, or bevel, at the leading edge of the tread nosing shall between 1/16" and 9/16". The tread shall project no more than 1 1/4" beyond the tread below.</div></div><div><div>Risers: 4" min and 7" max</div><div>Risers shall be solid and vertical or sloped from the underside of the leading edge of the tread above at an angle of not more than 30 degrees from the vertical.</div></div></p> <p>Accessible Means of Egress: (Section 1009) Per Section 1009.3.2 Exception 1, the clear width of 48" between handrails is not required at exit stairways in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.</p> <p>Per Section 1009.3.3 Exception 2, Areas of Refuge are not required or provided at stairways when the building is equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.</p> <p>Egress Travel Distance - Sprinklered:</p> <table><tr><th>Occupancy Type</th><th>Common Path of Egress (Table 1006.2.1)</th><th>Max. Dead End (Section 1020.4, Except 2)</th><th>Exit Access Travel Distance (Table 1017.2)</th></tr><tr><td>Group A-3</td><td>75 ft.</td><td>20 ft.</td><td>250 ft.</td></tr><tr><td>Group R-2</td><td>125 ft.</td><td>50 ft.</td><td>250 ft.</td></tr><tr><td>Group B</td><td>100 ft</td><td>50 ft.</td><td>300 ft.</td></tr><tr><td>Group S-2</td><td>100 ft</td><td>50 ft.</td><td>400 ft.</td></tr></table> <p>Minimum number of exits for occupant load: (Table 1006.3.2) 1-500 2 exits per story (within dwelling units only 1 exit is required, per Section 1006.3.3 Exception 5)</p> <p>Corridors: The minimum width of all corridors shall be 44 in. (Table 1020.2) No corridors in the building are less than 44". *Exceptions: 36 in. hallways/path of travel within a dwelling unit.</p> <p>Emergency Escape and Rescue: (Section 1030) Emergency escape and rescue openings are not required, per Section 1030.1 Exception 1.</p> <p>11. ACCESSIBILITY (CBC CHAPTER 11A & 11B):</p> <p>Project is privately funded.</p> <p>Residential Units: All units in this project are designed to comply with CBC Chapter 11A.</p> <p>All Common Areas to comply with CBC Chapter 11A.</p> <p>All Public spaces, such as Leasing Office and Retail, to comply with CBC Chapter 11B.</p> <p>CBC Section 1109A.8.1 Vertical Clearances: All entrances, exits and vehicular passageways to and from required accessible parking spaces within parking facilities, shall have a minimum vertical clearance of 8 feet 2 inches from the floor to the lowest projection of the ceiling.</p> <p>Note 1: For accessible compliance, these plans are being reviewed and inspected by the City of Sacramento for compliance with applicable provisions of the California Building Code (CBC) Chapters 11A and 11B. Approval of these plans does not signify review, approval, or compliance with any other accessibility low or standard.</p>				Occupancy Type	Common Path of Egress (Table 1006.2.1)	Max. Dead End (Section 1020.4, Except 2)	Exit Access Travel Distance (Table 1017.2)	Group A-3	75 ft.	20 ft.	250 ft.	Group R-2	125 ft.	50 ft.	250 ft.	Group B	100 ft	50 ft.	300 ft.	Group S-2	100 ft	50 ft.	400 ft.	<p>7. FIRE-RESISTANT MATERIALS AND CONSTRUCTION (CBC CHAPTER 7):</p> <p>Per Section 705.5, exterior walls shall be fire-resistance rated in accordance with Tables 601 and 602 and Section 705. The required fire-resistance rating of exterior walls shall be rated for exposure to fire from both sides.</p> <p>Exterior Wall Openings (Table 705.8)</p> <p>Allowable Area of Unprotected Exterior Wall Openings:</p> <p>East Elevation: Distance is 30' or greater = No Limit to Allowable Area South Elevation: Distance is 30' or greater = No Limit to Allowable Area North Elevation: Fire Separation Distance is 10'-15' = 45% Allowable Area West Elevation: Fire Separation Distance is 3'-5' = 15% Allowable Area; 5'-10' = 25% Allowable Area</p> <p>Non-separated Occupancies (Section 508.3): Walls between non-separated occupancies are not required to be fire-rated. Walls may be rated for other reasons (loadbearing walls, etc).</p> <p>Fire Barriers (Section 707): Shaft Enclosures less than four stories: 1-Hr Shaft Enclosures 4 stories or more: 2-Hr Exit Enclosures: 2-Hr Exit Passageway: 2-Hr rating where providing egress from 2-Hr rated Exit Enclosure. Electrical Rooms: 1-Hr Storage Rooms (Incidental use): 1-Hr</p> <p>Fire Partitions (Section 708): Dwelling Unit Separation Walls: 1-Hr (Section 420.2) Corridor Walls: 1-Hr (Section 420.2)</p> <p>Joints at fire resistance rated assemblies: Joints at fire partitions and fire barriers shall comply with Section 714.</p> <p>Horizontal Assemblies: (Section 712.3) Where the floor assembly separates mixed occupancies, the assembly shall have a fire resistance rating of not less than required by Section 508.4 based on the occupancies being separated.</p> <p>Occupancy Horizontal Separation at Leasing Office & Clubhouse: 1-Hr Occupancy Horizontal Separation at Dwelling Units: 1-Hr (See Section 420.3) Horizontal Building Separation at Level 2 Podium 3-Hr (See Section 510.2)</p> <p>Opening Protectives (Table 716.1(2)):</p> <table><tr><th>Assembly:</th><th>Minimum Rating of Opening:</th></tr><tr><td>2-Hr shafts</td><td>90 Min</td></tr><tr><td>1-Hr fire barrier at shafts, exit access stairways and ramps, interior exit stairways and ramps, exit passageway walls</td><td>60 Min</td></tr><tr><td>1-Hr fire barriers</td><td>45 Min</td></tr><tr><td>1-Hr fire partitions at corridors</td><td>20 Min</td></tr><tr><td>1-Hr fire partitions ("other")</td><td>45 Min</td></tr></table> <p>Fire-Rated Glazing 1. All glazing in rated partitions and doors shall have fire-rated glazing complying with Section 716.1.2.</p> <p>2. All fire-rated glazing (windows and doors) shall bear a label showing its fire-protection rating. The label shall be permanently affixed to the fire-rated glazing (Section 716.1.2.2).</p> <p>Roofing Classification: Class B Roofing for Construction Type IIIA building (CBC Table 1505.1)</p> <p>8. INTERIOR FINISHES (CBC CHAPTER 8):</p> <p>Interior Finish and Trim: Class A: 0-25 flame spread; smoke developed 0-450 (Section 803.1) Class B: 26-75 flame spread; smoke developed 0-450 (Section 803.1) Class C: 76-200 flame spread; smoke developed 0-450 (Section 803.1) Finishes with a smoke-developed index greater than 450 shall be prohibited.</p> <table><tr><th>Use Group:</th><th>A-3</th><th>B</th><th>R-2</th><th>S</th></tr><tr><td>Exit enclosures & passageways</td><td>Class B</td><td>Class B</td><td>Class C</td><td>Class C</td></tr><tr><td>Corridors</td><td>Class B</td><td>Class C</td><td>Class C</td><td>Class C</td></tr><tr><td>Rooms and enclosed spaces</td><td>Class C</td><td>Class C</td><td>Class C</td><td>Class C</td></tr></table>				Assembly:	Minimum Rating of Opening:	2-Hr shafts	90 Min	1-Hr fire barrier at shafts, exit access stairways and ramps, interior exit stairways and ramps, exit passageway walls	60 Min	1-Hr fire barriers	45 Min	1-Hr fire partitions at corridors	20 Min	1-Hr fire partitions ("other")	45 Min	Use Group:	A-3	B	R-2	S	Exit enclosures & passageways	Class B	Class B	Class C	Class C	Corridors	Class B	Class C	Class C	Class C	Rooms and enclosed spaces	Class C	Class C	Class C	Class C	<p>1. LOCAL CODES:</p> <p>2022 California Building Standards Codes w/ Errata & Sacramento City Code Title 15 - 2022 California Building Code, w/ local amendments - 2022 California Electrical Code, w/ local amendments - 2022 California Mechanical Code, w/ local amendments - 2022 California Plumbing Code, w/ local amendments - 2022 California Energy Code, w/ local amendments - 2022 California Fire Code, w/ local amendments - 2022 California Green Building Standards (CALGreen) Code, w/ local amendments - California Code of Regulations - Title 24</p> <p>3. BUILDING USE AND OCCUPANCY (CBC CHAPTER 3):</p> <p>Occupancy Groups (Separated & Non-Separated) Residential Dwelling Units: Group R-2, Separated per CBC Section 420 Lobby/Leasing Office: Group B, Non-separated Amenity/Study Room: Group A-3, Non-separated Retail: Group M, Non-separated Enclosed Garage: Group S-2, Non-separated Bicycle Storage: Group S-2, Non-separated Trash, Mech/ Electrical Rooms: Group S-2, Non-separated</p> <p>4. SEPARATION WALLS AND HORIZONTAL SEPARATION (CBC CHAPTERS 4 & 5):</p> <p>CBC Section 420: Section 420.2 Separation Walls: Walls separating <i>dwelling units</i> in the same building, wall separating <i>sleeping units</i> in the same building and walls separating <i>dwelling or sleeping units</i> from other occupancies contiguous to them in the same building shall be constructed as <i>fire partitions</i> in accordance with Section 708.</p> <p>Section 420.3 Horizontal Separation: Floor assemblies separating <i>dwelling units</i> in the same building, floor assemblies separating <i>sleeping units</i> in the same building and floor assemblies separating <i>dwelling or sleeping units</i> from other occupancies contiguous to them in the same building shall be constructed as <i>horizontal assemblies</i> in accordance with Section 711.</p> <p>CBC Section 508 Mixed Use and Occupancy: Section 508.3.2 Nonseparated Occupancies - Allowable Building Area and Height: The allowable building area and height of the building or portion thereof shall be based on the most restrictive allowances for the occupancy groups under consideration for the type of construction of the building in accordance with Section 503.1</p> <p>Section 508.3.3 Separation: No separation is required between nonseparated occupancies. Exception 2 requires separation at R-2 dwelling units.</p> <p>Section 508.4.2 Separated Occupancies - Allowable Building Area: In each story, the building area shall be such that the sum of the ratios of the actual building area of each separated occupancy divided by the allowable building area of each separated occupancy shall not exceed 1.</p> <p>Section 508.4 and Table 508.4: Residential housing Occupancy Group R-2 separated from adjacent occupancies with a 1-Hr fire-resistance-rated separation.</p> <p>Section 508.4.4.1 Separation Construction: Required separations shall be fire barriers constructed in accordance with Section 707 or horizontal assemblies constructed in accordance with Section 711, or both, to completely separate adjacent occupancies.</p> <p>Section 510.2 Horizontal Building Separation Allowance: Level 1 is Type IA construction, separated by 3 hour horizontal assembly from building above. Note: The maximum building height in feet shall not exceed the limits set forth in Section 504.3 for the building having the smaller allowable height as measured from the grade plane.</p> <p>5. BUILDING HEIGHTS AND AREAS (CBC CHAPTER 5): Based on Type IIIA building above (smaller allowable height; most restrictive building type)</p> <p>Story and Height Limitations - R-2 Apartment Building Construction Type IIIA: 5 Stories allowed with NFPA 13 sprinkler per Table 504.4 Actual: 5 Stories above podium - Residential Building (w/o area increase)</p> <p>Maximum Building Height: 85'-0" per Table 504.3 (w/o area increase) Actual Building Height: 67'-0" to average roof level surface (above "grade plane").</p> <p>Area Limitations - Mixed-Use Occupancy (R-2) Apartment Building: Table 506.2 = 72,000 SF Gross Area of Bldg = 53,100 SF</p> <p>6. TYPES OF CONSTRUCTION (CBC CHAPTER 6): Level 1 - Non-combustible Construction: Type IA, Sprinklered per NFPA 13</p> <p>Levels 2 thru 6 - Wood-framed Construction: Type IIIA, Sprinklered per NFPA 13; FRT at Exterior wall assemblies, and at roof sheathing above fire wall.</p> <p>Fire Resistance Rating of Structural Elements (Table 601): Structural frame: 3-Hr @ Type IA; 1-Hr @ Type IIIA Exterior bearing walls : 3-Hr @ Type IA; 2-Hr @ Type IIIA Interior bearing walls: 3-Hr @ Type IA; 1-Hr @ Type IIIA Exterior non-bearing walls: 1-Hr (per table 602) North, West walls: 1-Hr (per table 602) East, South walls: 0-Hr (per table 602) Interior non-bearing walls: 0 hour (walls separating dwelling units to be 1-Hr rated per section 708) Floor construction: 2-Hr @ Type IA; 1-Hr @ Type IIIA Roof construction: 1-Hr Exits Enclosures: 2-Hr fire barrier (The Elevator Machine Room is enclosed with construction of the same fire resistance rating as the Elevator Hoistway - 2-Hr) Corridor Walls: 1-Hr Horizontal Exit: 2-Hr</p>				<p>Owner: Bains Property Pty Ltd 78 Peter Brock Drive Eastern Creek NSW 2766 Australia</p> <p>Jurisdiction: City of Sacramento, California</p> <p>Occupancy Group: Mixed: R-2, S-2, M, A-3, B</p> <p>Construction Type: IA (NFPA 13 Sprinklered) @ Level 1, and IIIA (NFPA 13 sprinklered) @ Levels 2-6</p> <p>Gross Building Area: 53,100 GSF (Calculated per CBC Ch 2; includes mech shafts, excludes outdoor spaces.)</p> <p>Residential Net Rentable Area: 35,200 NSF</p> <p>ZONING CODE DATA:</p> <p>1. STREET ADDRESS AND APN FOR SITE:</p> <p>Project Location: 66th Street and Folsom Blvd</p> <p>Existing Addresses: 6531 Folsom Blvd, Sacramento, CA 95819</p> <p>APN: 008-0383-025-0000 0.34 acres, 15,000 SF Net Lot Area: 0.274 acres, 11,942 SF (incl ROW dedications)</p> <p>2. PROJECT ZONING:</p> <p>Zone: RMX-TO-SPD - Residential Mixed Use/ Transit Overlay/Special Planning District General Plan Land Use: Residential Mixed Use Special Planning District: Folsom Boulevard West SPD Density/Net Acre: 204 (56 residential units/0.274 acres) Total Lot Coverage: 0.68 (10,205 SF Bldg Footprint/15,000 Site SF) F.A.R.: 4.00 (47,773 GSF not incl Garage/11,942 Site SF incl dedications)</p> <p>3. HEIGHT:</p> <p>Zoning Max Allowable Height: 45'-0" Max Actual Building Height: 64'-5" to roof plate (above "grade plane")</p> <p>4. MINIMUM YARDS BUILDING SETBACKS:</p> <p>Front-Yard & Side-Yard Setback: 10' min and 25' max.: Deviation requested to reduce front-yard setback to 0'-0", and side yard setback to 2'-0".</p> <p>Rear-Yard Setback: 5' min when abuts a public alley.</p> <p>Interior Side-Yard Setback: 0' min.</p> <p>5. OPEN SPACE:</p> <p>Residential: 1,560 SF provided @ Courtyard (5,600 SF required @ 100 SF/DU)</p> <p>6. BICYCLE PARKING:</p> <p>28 Long-term bicycle parking spaces required for 56 residential units; 28 stalls provided. 6 Short-term bicycle parking spaces required for 56 residential units; 6 stalls provided. 2 Long-term bicycle parking spaces required for retail; 2 stalls provided. 2 Short-term bicycle parking spaces required for retail; 2 stalls provided. See sheet A.200 for bicycle parking locations.</p> <p>7. VEHICLE PARKING:</p> <p>16 vehicle parking spaces provided. No parking required per AB 2097. See sheet A.200 for vehicle parking locations.</p>											
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<p>UNIT MIX:</p> <table><tr><th>Unit Mix</th><th>Studio</th><th>1-Bed</th><th>2-Bed</th><th>3-Bed</th><th>Units Total</th></tr><tr><td>Unit Area</td><td>460-514 sf</td><td>575-655 sf</td><td>860-900 sf</td><td>1130 sf</td><td></td></tr><tr><td>Level 6</td><td>3</td><td>6</td><td>2</td><td>-</td><td>11</td></tr><tr><td>Level 5</td><td>3</td><td>6</td><td>2</td><td>-</td><td>11</td></tr><tr><td>Level 4</td><td>3</td><td>6</td><td>2</td><td>-</td><td>11</td></tr><tr><td>Level 3</td><td>3</td><td>6</td><td>2</td><td>-</td><td>11</td></tr><tr><td>Level 2</td><td>4</td><td>4</td><td>2</td><td>-</td><td>10</td></tr><tr><td>Level 1</td><td>2</td><td>-</td><td>-</td><td>-</td><td>2</td></tr><tr><td>Total Units</td><td>18</td><td>28</td><td>10</td><td>-</td><td>56</td></tr><tr><td>Ratio %</td><td>32.1%</td><td>50.0%</td><td>17.9%</td><td>0.0%</td><td>100%</td></tr></table> <table><tr><td>Beds</td><td>18</td><td>28</td><td>20</td><td>-</td><td>66</td></tr></table>								Unit Mix	Studio	1-Bed	2-Bed	3-Bed	Units Total	Unit Area	460-514 sf	575-655 sf	860-900 sf	1130 sf		Level 6	3	6	2	-	11	Level 5	3	6	2	-	11	Level 4	3	6	2	-	11	Level 3	3	6	2	-	11	Level 2	4	4	2	-	10	Level 1	2	-	-	-	2	Total Units	18	28	10	-	56	Ratio %	32.1%	50.0%	17.9%	0.0%	100%	Beds	18	28	20	-	66		
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BAOBAB

APARTMENTS

OWNER:

BAINS PROPERTY PTY LTD

ADDRESS:

**6531 FOLSOM BLVD
SACRAMENTO, CA**

DR24-166

PROJECT NO.: 24103

DRAWN: Author

DATE: MAY 02 2025

ENTITLEMENTS

REVISION: DESCRIPTION:

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CODE INFORMATION

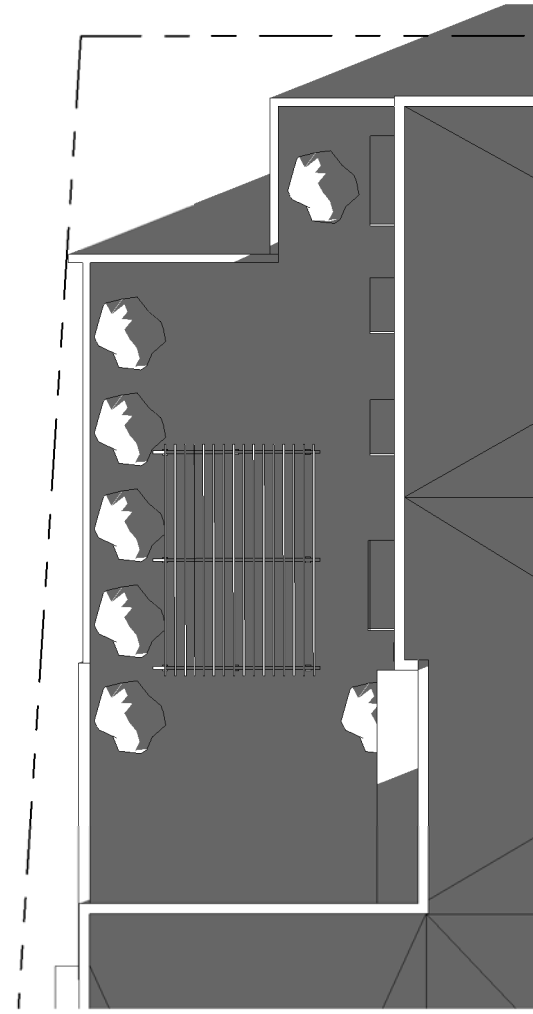
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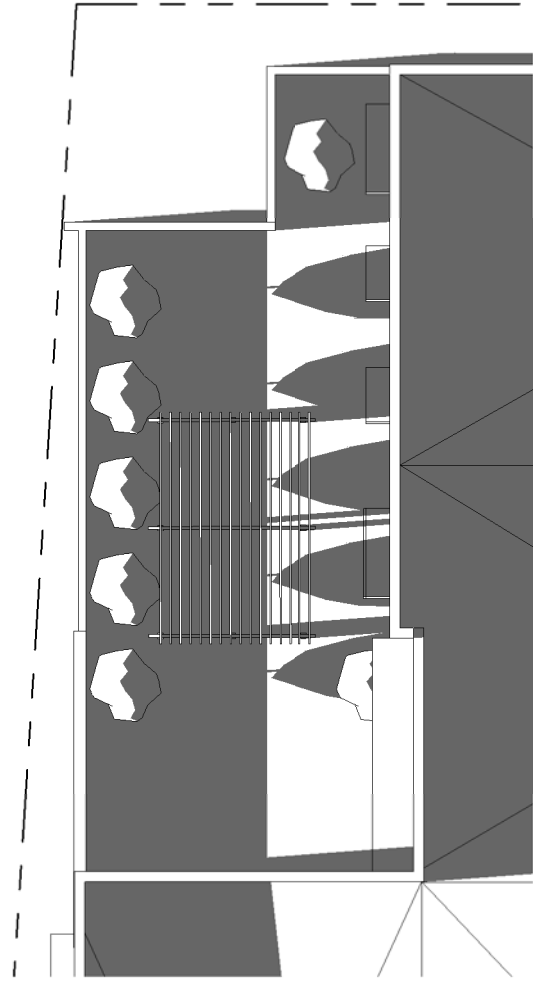
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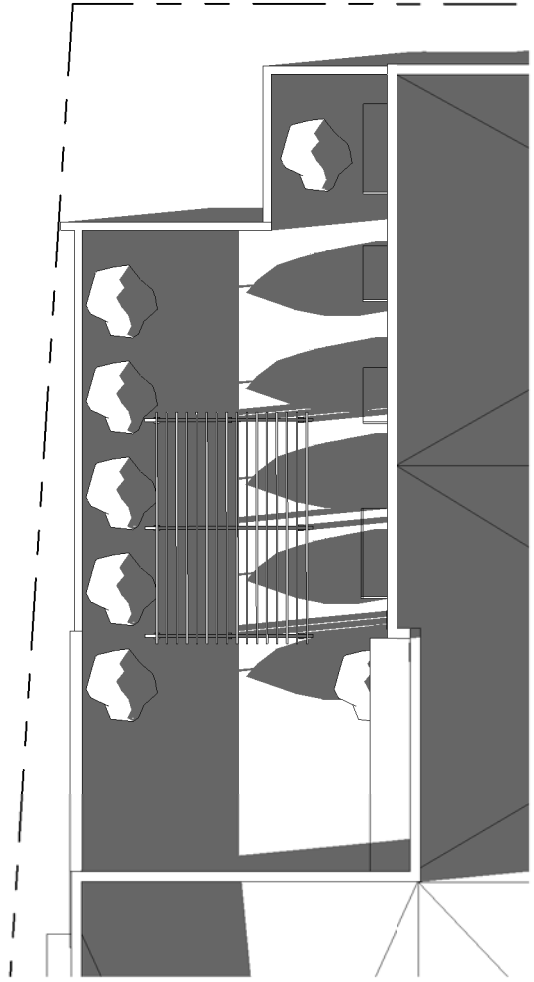
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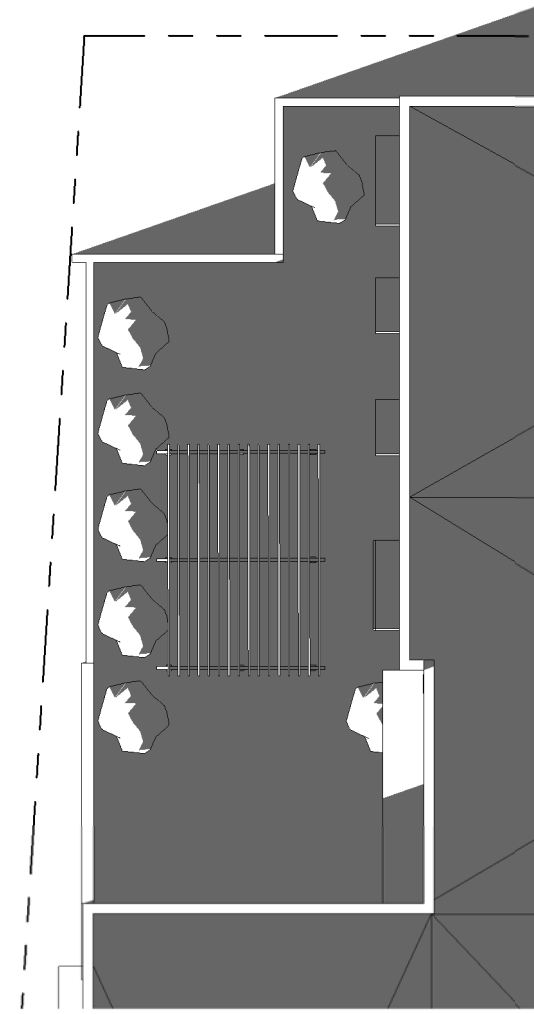
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1/16" = 1'-0"



6 COURTYARD - MAY 21 @ 6 PM
1/16" = 1'-0"

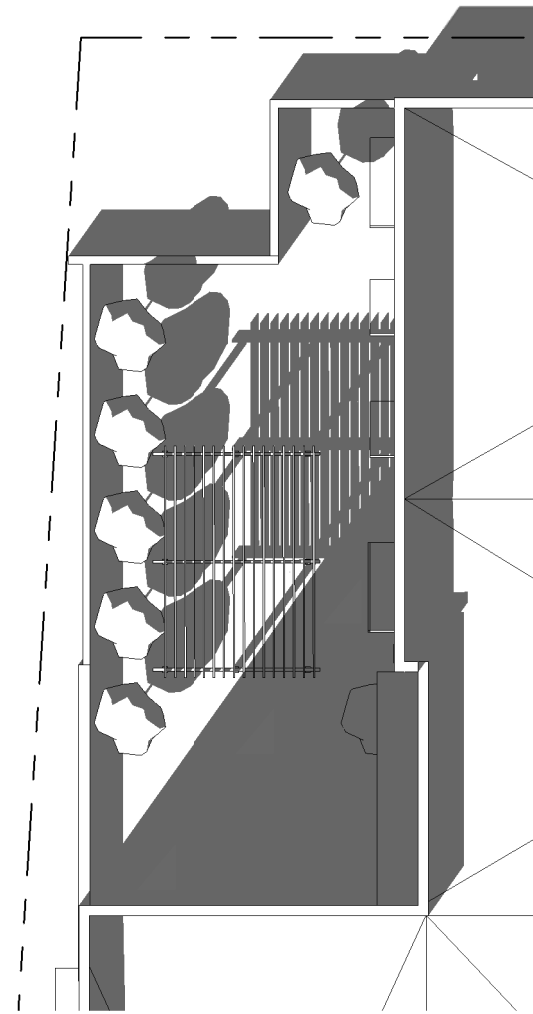


9 COURTYARD - JULY 21 @ 6 PM
1/16" = 1'-0"

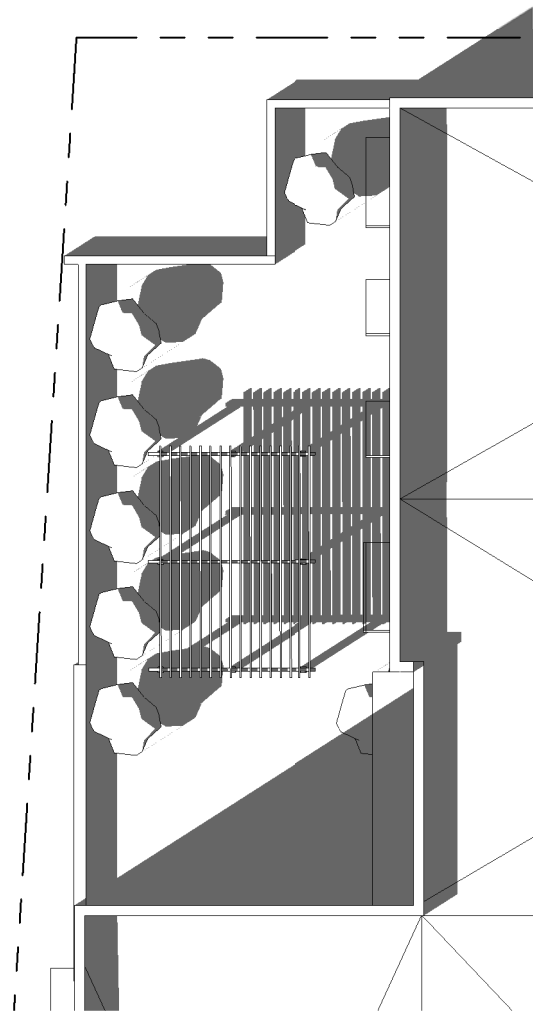


12 COURTYARD - SEPT 21 @ 6 PM
1/16" = 1'-0"

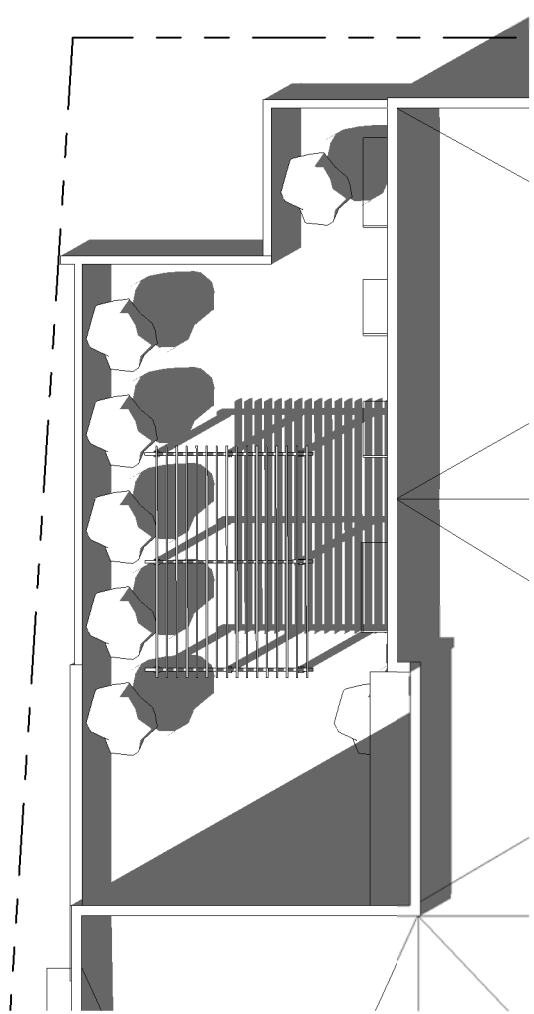
NOTE: FOR DECEMBER 21,
THE COURTYARD IS
COMPLETELY IN SHADE ALL
DAY



2 COURTYARD - MARCH 21 @ 3 PM
1/16" = 1'-0"



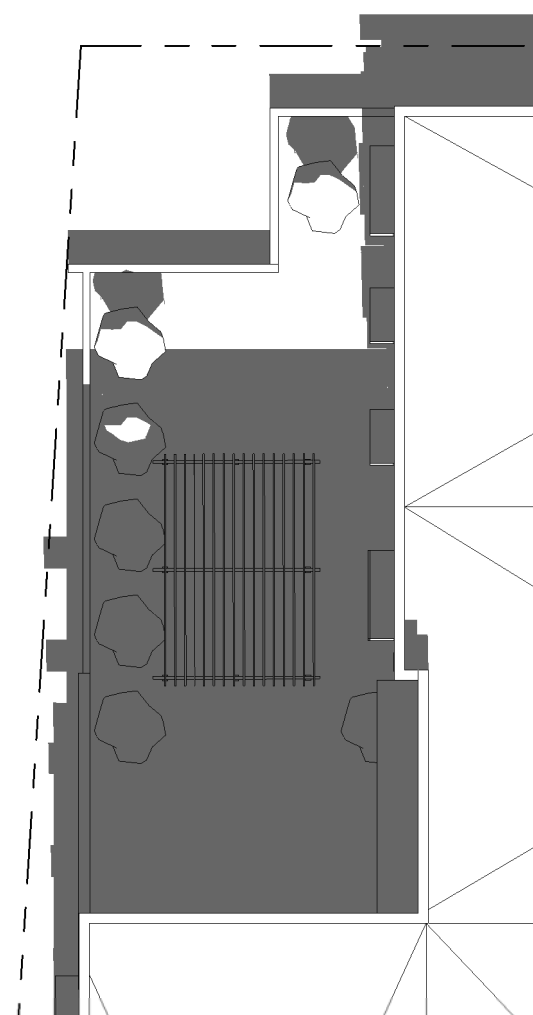
5 COURTYARD - MAY 21 @ 3 PM
1/16" = 1'-0"



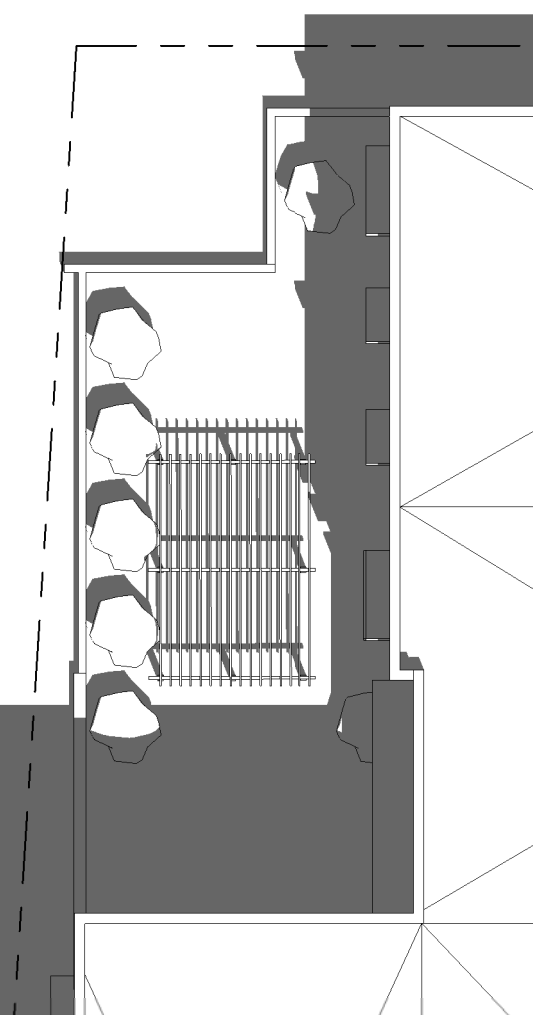
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1/16" = 1'-0"



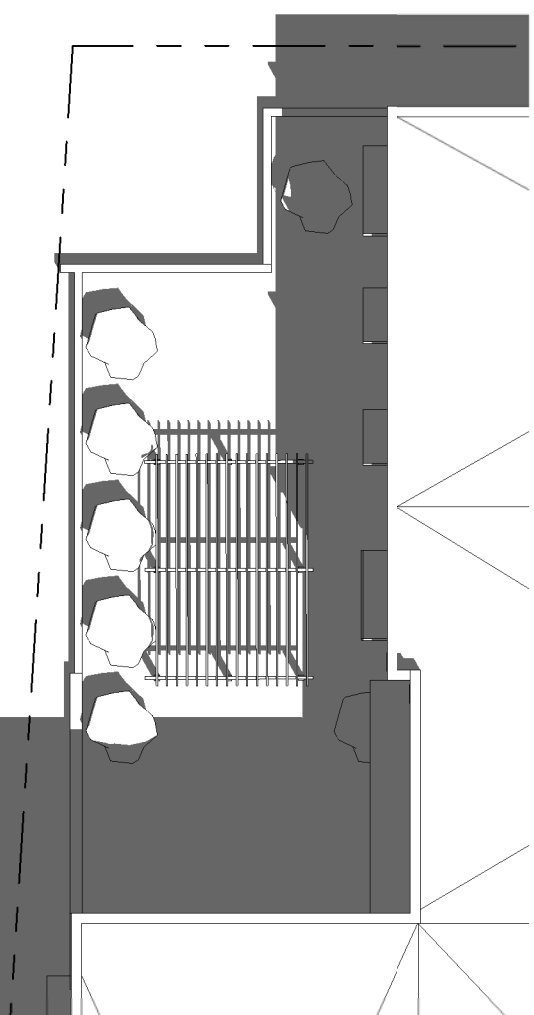
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1/16" = 1'-0"



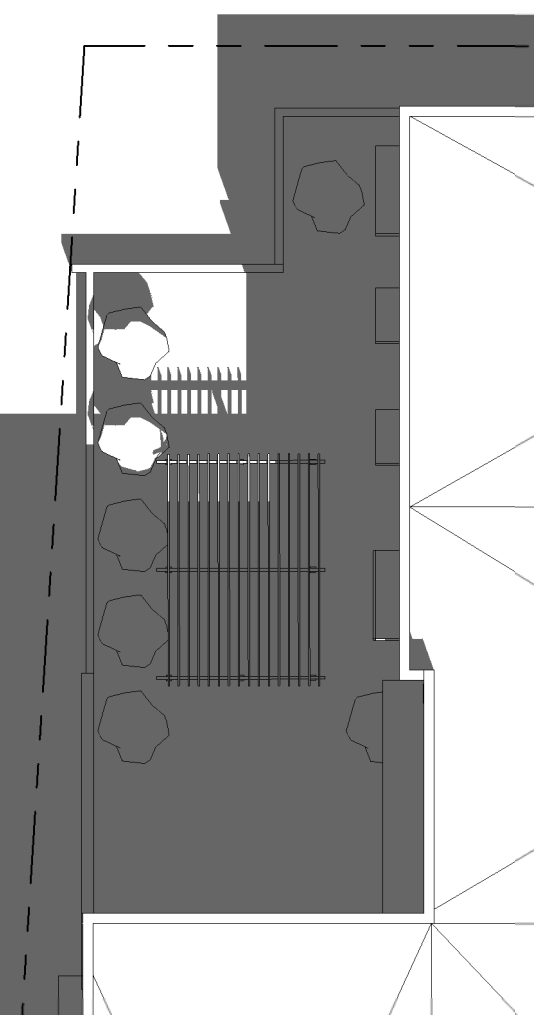
1 COURTYARD - MARCH 21 @ NOON
1/16" = 1'-0"



4 COURTYARD - MAY 21 @ NOON
1/16" = 1'-0"



7 COURTYARD - JULY 21 @ NOON
1/16" = 1'-0"



10 COURTYARD - SEPT 21 @ NOON
1/16" = 1'-0"

C2K

ARCHITECTURE

1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
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REVISION: DESCRIPTION:

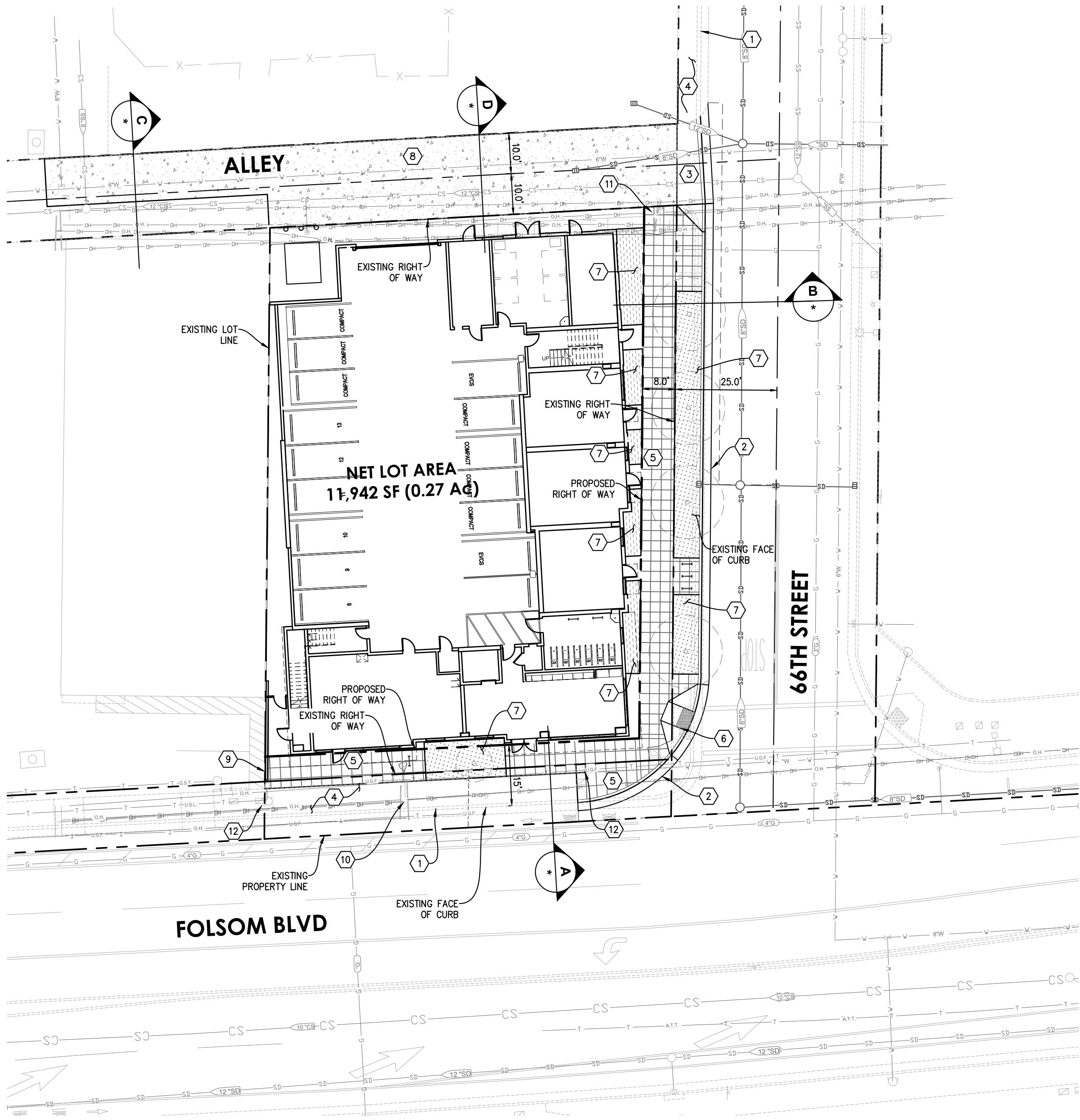
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SHEET TITLE:
COURTYARD - SHADING STUDY

SHEET NO.:
G.200

ENTITLEMENTS

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KEYNOTES

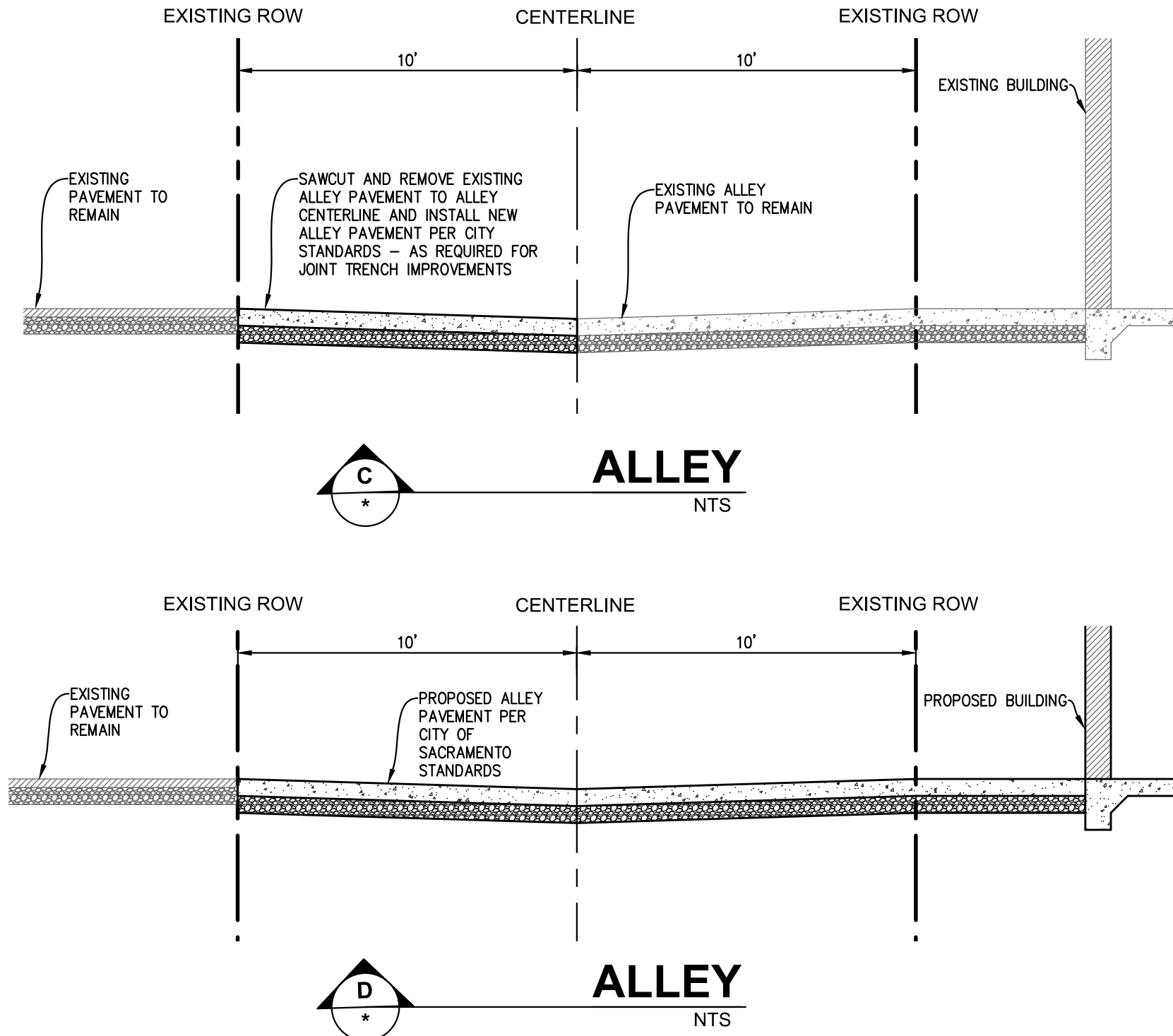
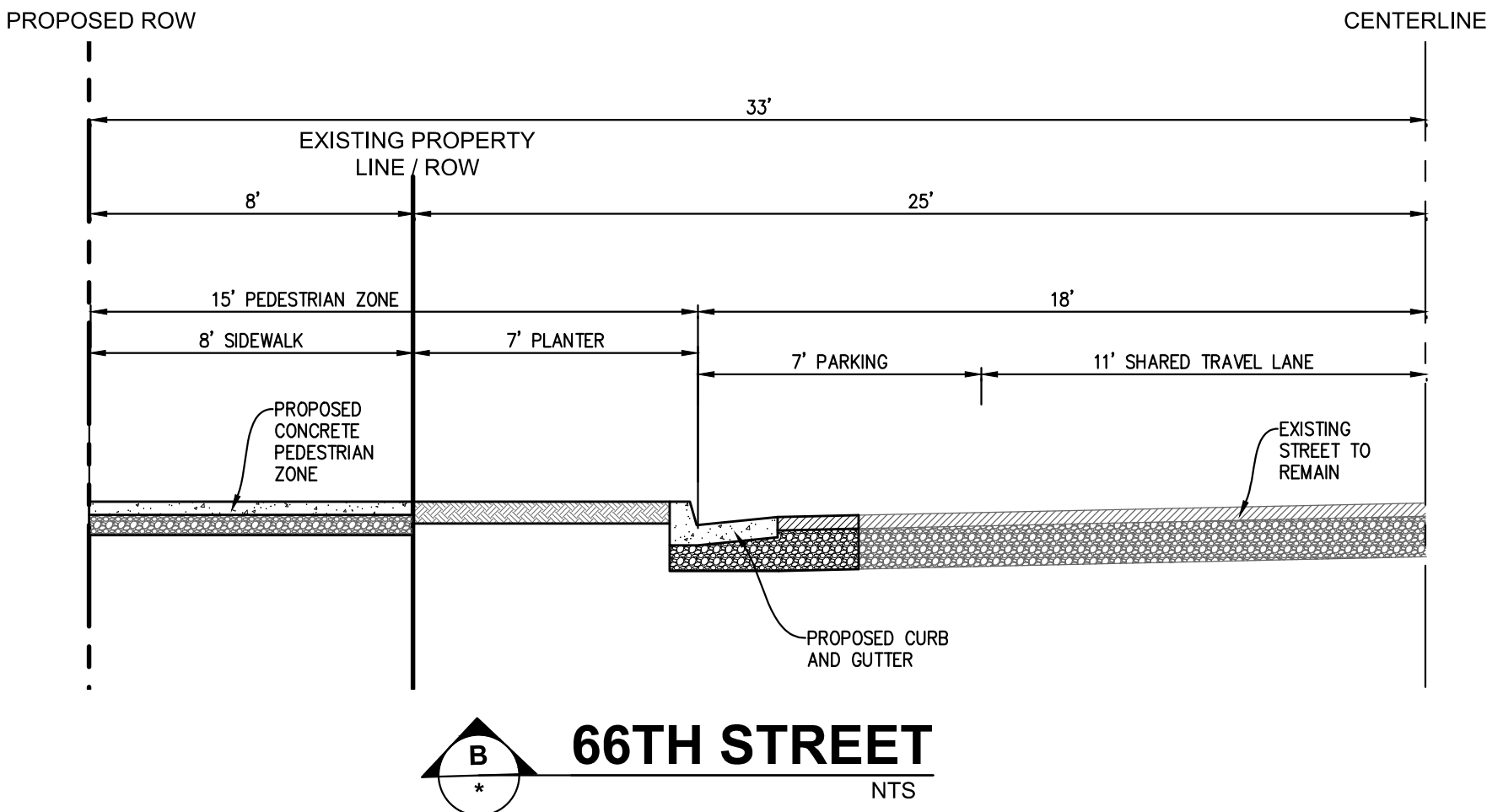
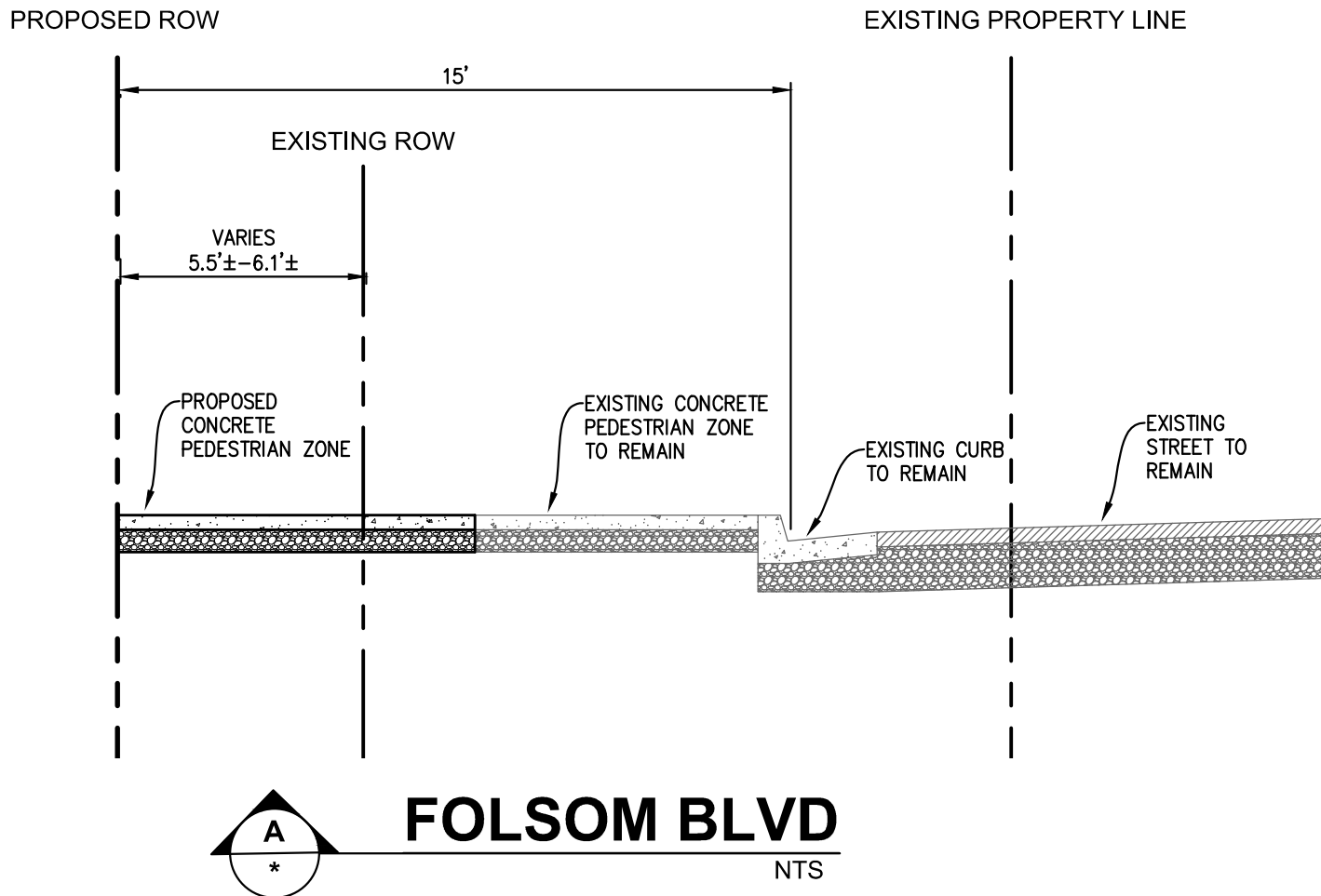
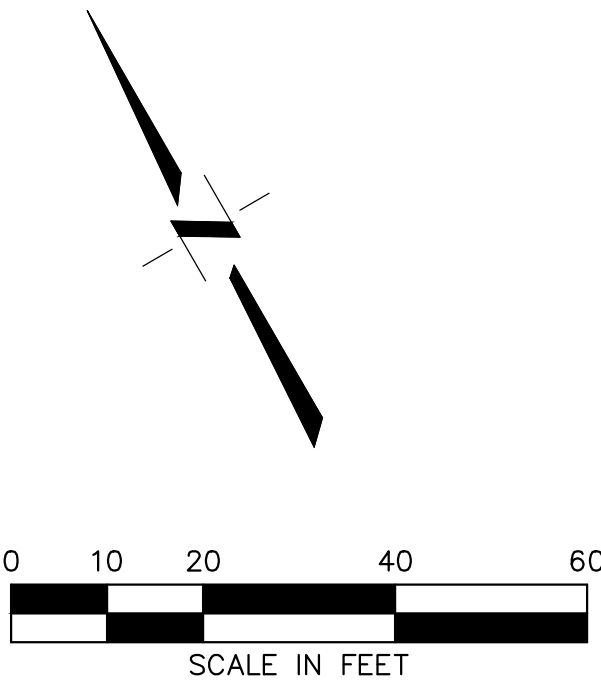
- 1 EXISTING CURB AND GUTTER TO REMAIN.
- 2 SAWCUT AND REMOVE EXISTING CURB AND GUTTER TO APPROXIMATE LIMITS SHOWN. INSTALL NEW CURB AND GUTTER TYPE 2 PER CITY OF SACRAMENTO STANDARD DWG. NO. T-11
- 3 SAWCUT AND REMOVE EXISTING ALLEY DRIVEWAY AND INSTALL NEW MODIFIED ALLEY DRIVEWAY. FINAL ALLEY DRIVEWAY DESIGN DETAILS TO BE DEVELOPED DURING CONSTRUCTION DOCUMENT PHASE
- 4 EXISTING SIDEWALK TO REMAIN
- 5 SAWCUT AND REMOVE EXISTING PAVEMENT AND INSTALL NEW SIDEWALK PAVEMENT PER CITY OF SACRAMENTO STANDARDS
- 6 INSTALL SINGLE FLARE CURB RAMP PER CITY OF SACRAMENTO DWG. NO. T-73
- 7 INSTALL NEW LANDSCAPE PLANTER AREA. SEE LANDSCAPE PLANS FOR IMPROVEMENTS
- 8 SAWCUT AND REMOVE EXISTING ALLEY PAVEMENT TO APPROXIMATE LIMITS SHOWN. INSTALL NEW ALLEY PAVEMENT PER CITY OF SACRAMENTO STANDARDS
- 9 EXISTING PARKING LOT CURB TO REMAIN
- 10 EXISTING JOINT POLE AND GUY WIRES TO REMAIN
- 11 EXISTING JOINT POLE TO BE REPLACED
- 12 EXISTING LIGHT TO REMAIN

TREE PRESERVATION MEASURES FOR CITY AND PRIVATE TREES

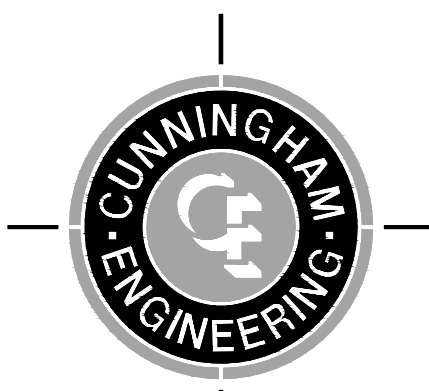
- 1. THIS PROJECT SHALL CONTRACT WITH A PROJECT ARBORIST EXPERIENCED WITH TREE PROTECTION AND CONSTRUCTION THAT IS REQUIRED TO:
 - a. ATTEND THE PRECONSTRUCTION MEETINGS TO APPROVE OF AND INFORM CONTRACTORS OF ALL TREE PROTECTION MEASURES.
 - b. VISIT THE SITE BEFORE AND AFTER DEMOLITION, GRADING AND LANDSCAPING AS WELL AS AT LEAST TWICE EACH MONTH DURING CONSTRUCTION TO ENSURE THAT TREE PROTECTION MEASURES ARE IMPLEMENTED AND MAINTAINED.
 - c. BE RESPONSIBLE FOR CORRECTING ANY SITE CONDITIONS THAT MAY NEGATIVELY IMPACT THE TREES AND REVISIT THE SITE TO ENSURE THAT CORRECTIVE ACTION WAS PROPERLY IMPLEMENTED.
 - d. THE PROJECT ARBORIST SHALL REPORT IN WRITING TO URBAN FORESTRY ALL VIOLATIONS AND TREE PROTECTION FAILURES ALONG WITH CORRECTIVE ACTION TAKEN AND EXPECTED OUTCOMES.
- 2. ALL CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE RETAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
 - a. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE. WHERE THERE ARE NO EXISTING DRIVEWAYS, ACCESS SHALL BE LIMITED TO A ONE OR TWO LOCATIONS OUTSIDE THE DRIPLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITH THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY ¾-INCH PLYWOOD OR TRENCH PLATES, GEOTEXTILE FABRIC COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
- 3. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX- FOOT HIGH CHAIN LINK FENCE THAT SHALL REMAIN THROUGHOUT THE DURATION OF THE PROJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
- 4. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDSCAPE OR BRIDGED OVER THE TREE PROTECTION ZONE OR PLANTER SO AS NOT TO COMPACT SOIL.
- 5. ANY REGULATED WORK WITHIN THE DRIPLINE OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO URBANFORESTRY@CITYOFSACRAMENTO.ORG AND REFER TO THE PLANNING PROJECT NUMBER OR OFF-SITE PROJECT NUMBER.
- 6. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIPLINE OF A PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION, PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
- 7. THERE SHALL BE NO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIPLINE OF PROTECTED TREES.
- 8. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIPLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE ACCOMMODATED ONSITE.
- 9. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIPLINE OF PROTECTED TREES.
- 10. THERE SHALL BE NO NON-NATIVE SOIL, NON-ORGANIC MATTER OR STRUCTURAL SOIL ADDED TO THE RIGHT-OF-WAY PLANTER.
- 11. THE FOLLOWING IS A LIST OF ACTIVITIES THAT REQUIRE A TREE PERMIT IF THEY ARE TO OCCUR OR BE USED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR WITHIN THE TREE PROTECTION ZONE OF PROTECTED TREES: ANY REGULATED WORK AS DEFINED IN SCC 12.58, EXCAVATION, GRADE CHANGES, TRENCHES, ROOT OR CANOPY PRUNING OR BORING.
- 12. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES: PEDESTRIAN AND EQUIPMENT TRAFFIC THAT COULD COMPACT THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, PAINT, CEMENT, FUEL OR OTHER POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
- 13. ALL TREES SHALL BE WATERED REGULARLY ACCORDING TO THE RECOMMENDATION OF THE PROJECT ARBORIST.
- 14. THE APPLICANT SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE PROJECT. ACCIDENTAL OR NEGLIGENT ACTIONS THAT DAMAGE CITY TREES MAY RESULT IN A PENALTY. THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BRING THE TREE IN QUESTION TO A STATE OF COMPARABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

NOTES

- 1. THIS PRELIMINARY PAVEMENT PLAN WAS PREPARED TO DEPICT PROPOSED SURFACE IMPROVEMENT CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HERE ON AS THE DESIGN PROCESS PROGRESSES.
- 2. THIS EXHIBIT IS BASED ON THE PRELIMINARY BAOBAB APARTMENTS SITE PLAN PREPARED BY C2K DATED JUNE 2024.
- 3. TOPOGRAPHIC SURVEY PREPARED BY JTS SURVEYING DATED JUNE 2024.



ENTITLEMENTS



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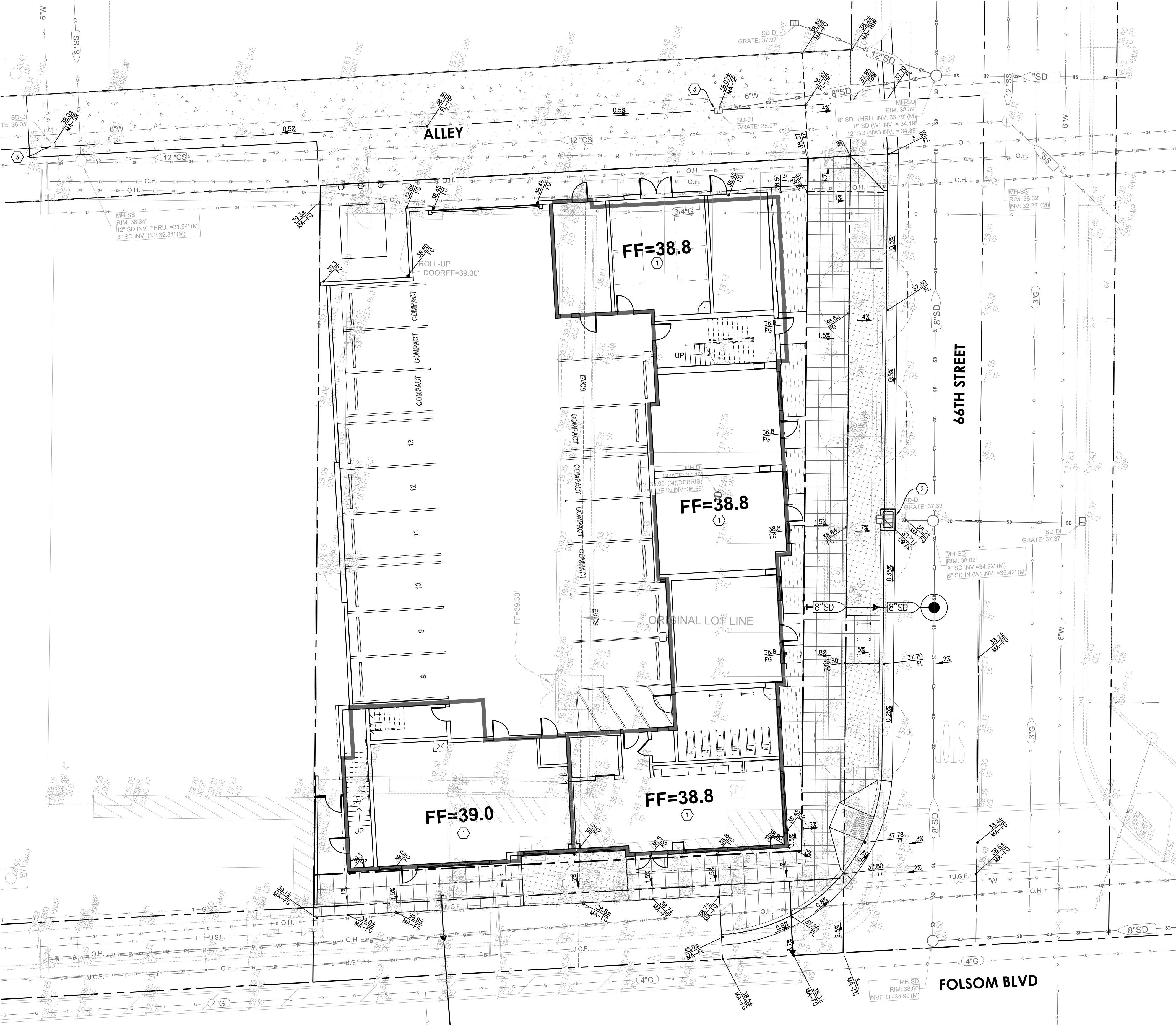
PROJECT NO.: 2041
DRAWN: DR/CK
DATE: OCTOBER 2024
ENTITLEMENTS

REVISION: DESCRIPTION:

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SHEET TITLE:
PRELIMINARY PAVEMENT PLAN

SHEET NO.:
C1.00



KEYNOTES

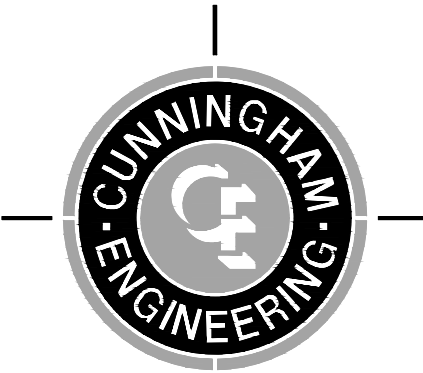
1. PROPOSED BUILDING FINISH FLOOR ELEVATION.
2. REMOVE EXISTING CURB INLET AND INSTALL NEW TYPE B DROP INLET PER CITY OF SACRAMENTO STANDARD DWG. NO. S-10. CONNECT TO EXISTING STORM DRAIN LEADER.
3. EXISTING ALLEY DRAIN TO REMAIN.

NOTES

1. THIS PRELIMINARY GRADING PLAN WAS PREPARED TO DEPICT PROPOSED GRADING CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HERON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY BAOBAB SITE PLAN PREPARED BY C2K DATED JUNE 2024.
3. TOPOGRAPHIC SURVEY PREPARED BY JTS DATED JUNE 2024.
4. PROPOSED ELEVATIONS SHOWN ARE ESTIMATES ONLY. ACTUAL ELEVATIONS MAY CHANGE DURING FINAL DESIGN.
5. EXISTING UTILITY IMPROVEMENTS ARE BASED ON AVAILABLE CITY BASE UTILITY MAPS AND RECORD DRAWINGS. ACTUAL SIZES, TYPES AND LOCATIONS MAY VARY FROM INFORMATION SHOWN HEREON.
6. NO EXISTING ONSITE DRAINAGE COURSES, ETC.

TREE PRESERVATION MEASURES FOR CITY AND PRIVATE TREES

1. THIS PROJECT SHALL CONTRACT WITH A PROJECT ARBORIST EXPERIENCED WITH TREE PROTECTION AND CONSTRUCTION THAT IS REQUIRED TO:
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Project Planning ■ Civil Engineering ■ Landscape Architecture

■ Sacramento Office
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(530) 758-2026

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**

PROJECT NO.: 2041
DRAWN: DR/CK
DATE: OCTOBER 2024
ENTITLEMENTS

REVISION: DESCRIPTION:

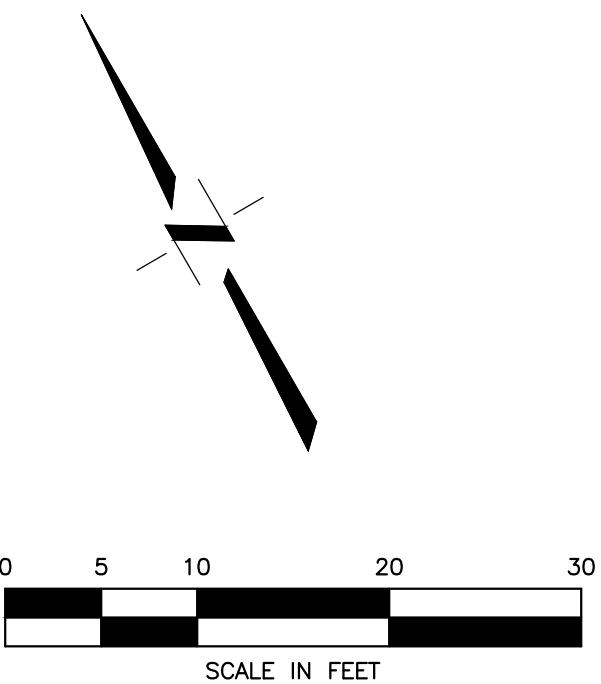
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ENTITLEMENTS

SHEET TITLE:
**PRELIMINARY GRADING &
DRAINAGE PLAN**

SHEET NO.:

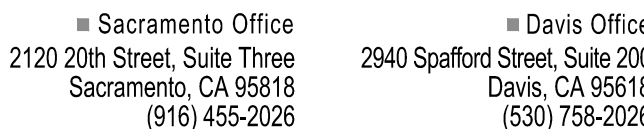
C-2.00



- (1) NEW DOMESTIC WATER SERVICE PER CITY OF SACRAMENTO STANDARDS
- (2) DOMESTIC WATER METER PER CITY OF SACRAMENTO DWG. NO. W-515.
- (3) DOMESTIC WATER BACKFLOW ASSEMBLY TO BE INSTALLED INSIDE BUILDING PER CITY OF SACRAMENTO STANDARDS
- (4) NEW FIRE WATER SERVICE PER CITY OF SACRAMENTO STANDARDS
- (5) FIRE RISER
- (6) FIRE WATER DOUBLE CHECK VALVE ASSEMBLY TO BE INSTALLED INSIDE BUILDING PER CITY OF SACRAMENTO STANDARDS
- (7) FDC WITH IN BUILDING RISER
- (8) NEW PUBLIC FIRE HYDRANT PER CITY OF SACRAMENTO DWG. NO. W-201
- (9) NEW SANITARY SEWER SERVICE PER CITY OF SACRAMENTO STANDARDS.
- (10) PROPOSED TRANSFORMER.
- (11) NEW BUILDING STORM DRAIN SERVICE PER CITY OF SACRAMENTO STANDARDS.

1. THIS PRELIMINARY UTILITY PLAN WAS PREPARED TO DEPICT PROPOSED UTILITY IMPROVEMENT CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HERE ON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY BAOBAB APARTMENTS SITE PLAN PREPARED BY C2K DATED JUNE 2024.
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5. TOPOGRAPHIC SURVEY PREPARED BY JTS SURVEYING DATED JUNE 2024.

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REVISION:	DESCRIPTION
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SHEET TITLE:

PRELIMINARY UTILITY PLAN

SHEET NO.:

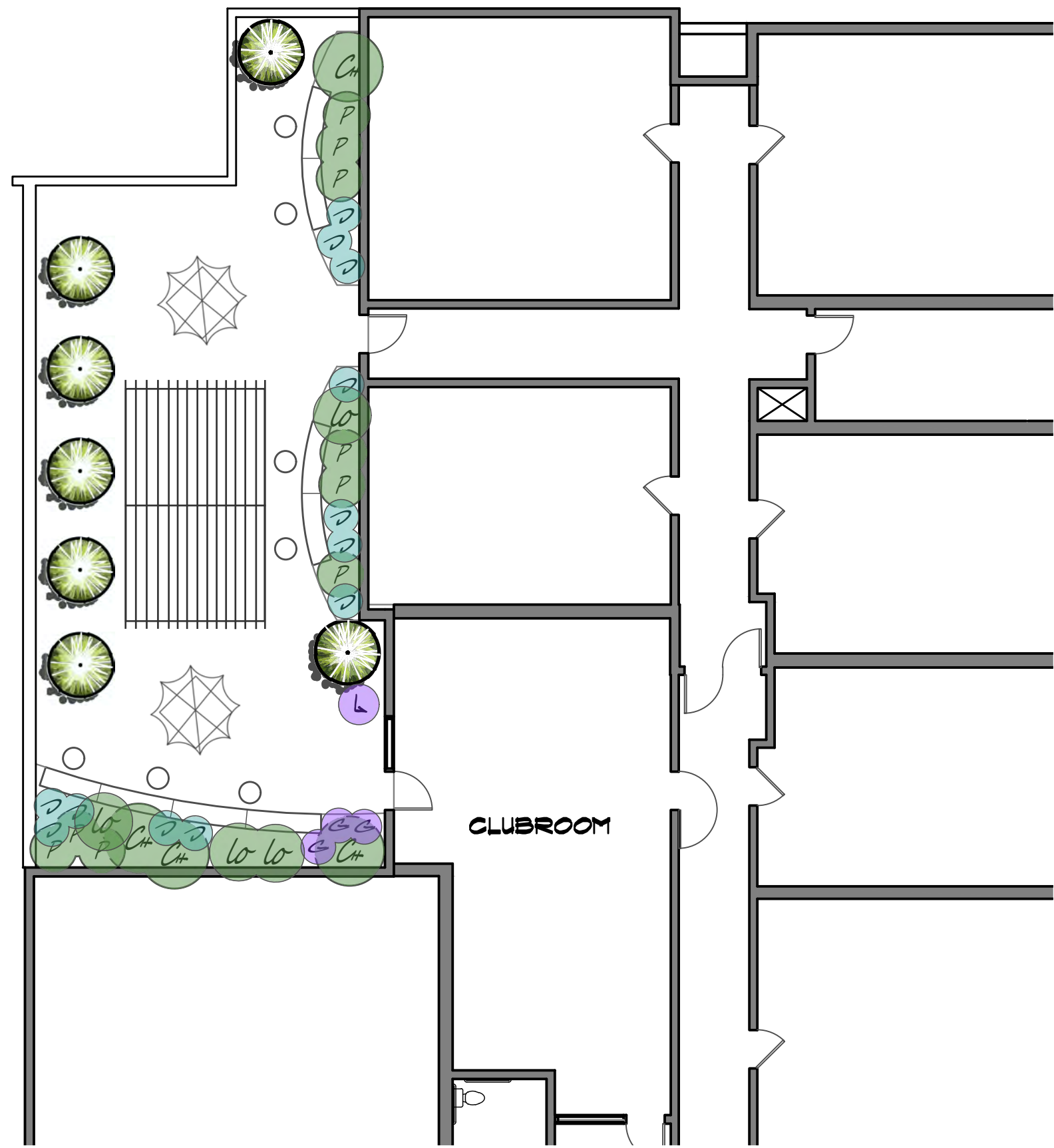
C3.00

ENTITLEMENTS



1 GROUND FLOOR LANDSCAPE PLAN
L.100 1" = 10'-0"

IRRIGATION NOTE: A FULLY AUTOMATIC SUBSURFACE DRIP IRRIGATION SYSTEM WILL BE PROVIDED IN ALL PLANTING AREAS. SEPARATE STRIP SPRAY HEADS WILL SUPPLEMENT THE DRIP PER U.F.S. STANDARDS. A WEATHER SENSING CONTROLLER WILL BE INSTALLED IN ACCORD WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.



2 SECOND FLOOR LANDSCAPE PLAN
L.100 1" = 10'-0"

PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME/COMMON NAME	SIZE	QUANTITY
	LAGERSTROEMIA X. 'CATAWBA'/CRAPE MYRTLE	24" BOX	1
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'/COMPACT SOUTHERN MAGNOLIA	15 GALLON	7
	ULMUS PROPINQUA 'EMERALD SUNSHINE'/HYBRID ELM	15 GALLON	4
	AGAVE X. 'BLUE GLOW'/BLUE GLOW AGAVE	15 GALLON	16
	CHONDROPETALUM ELEPHANTINUM/CAPE RUSH	5 GALLON	4
	CISTUS COBARIENSIS 'LITTLE MISS SUNSHINE'/YELLOW ROCKROSE	5 GALLON	3
	CAREX OSHIMENSIS 'EVEREST'/VARIEGATED JAPANESE SEDGE	1 GALLON	2
	DIANELLA REVOLUTA 'BABY BLISS'/BLACK FLAX LILY	1 GALLON	12
	DIANELLA REVOLUTA 'ALLYN-CITATION'/COOLVISTA FLAX LILY	1 GALLON	20
	ERIGERON KARVINSKIANUS/FLEABANE	1 GALLON	4
	GAZANIA X. 'MITSUA YELLOW'/GAZANIA	FLATS	44 S.F.
	GERANIUM X. CANTABRIGIENSE 'BIOKOVO'/BIOKOVO CRANESBILL	1 GALLON	6
	LOMANDRA LONGIFOLIA 'LOMLON'/LIME TUFF MAT RUSH	1 GALLON	4
	LIMONIUM PEREZII/SEA LAVENDER	1 GALLON	1
	NERIUM O. 'DWARF RED'/PETITE RED OLEANDER	5 GALLON	1
	NEPETA X. FAASSENII/CATMINT	1 GALLON	4
	PHYLLOSTACHYS AUREA/GOLDEN BAMBOO	5 GALLON	9
	PENSTEMON HETEROPHYLLUS 'MARGARITA B.O.P.'/BEARD TONGUE	1 GALLON	3
	ROSA X. 'MEIUCOS'/PINK DRIFT ROSE	2 GALLON	20

C2K

ARCHITECTURE

1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200



Garth Ruffner
Landscape Architect
(916)797-2576

4120 Douglas Blvd., Suite 306, #301
Roseville, CA 95746-5936

GarthRuffner.com
California R.L.A. #2808



CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA

PROJECT NO.: 24103 [44016]
DRAWN: GR
DATE: SEPTEMBER 23, 2024
ENTITLEMENTS
REVISION: DESCRIPTION:

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ENTITLEMENTS

SHEET TITLE:
PRELIMINARY
LANDSCAPE PLANS

SHEET NO.:
L.100

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103

DRAWN: Author

DATE: MAY 02 2025

ENTITLEMENTS

REVISION: DESCRIPTION:

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SHEET TITLE:
EXISTING SITE PLAN / DEMO
PLAN

SHEET NO.:
A.100

1. ALL STRUCTURES WITHIN PROPERTY LINE TO BE DEMOLISHED.
2. ALL TREES, PLANTS AND PLANTERS WITHIN PROPERTY LINE TO BE DEMOLISHED.
3. ALL ACCESS TO THE SITE THROUGH THE EXISTING DRIVEWAY ON 66TH ST AND ALLEY.
4. RETAIN EXISTING CURBS AND SIDEWALKS ALONG FOLSOM BLVD THROUGHOUT CONSTRUCTION.

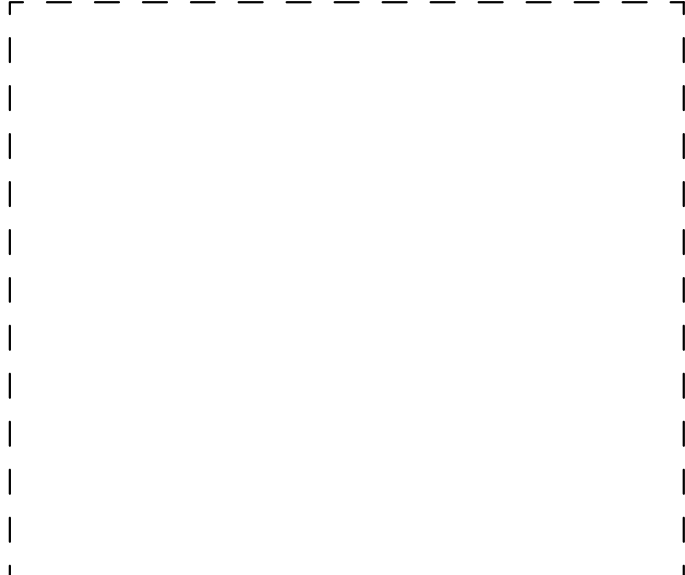
- (E) UTILITY SERVICE POLE
- (E) STREET LIGHT
- (E) PARKING LOT, TO BE REMOVED
- (E) DRIVEWAY, TO BE REMOVED
- (E) CONCRETE HARDSCAPE, TO BE REMOVED
- (E) PLANTER TO BE REMOVED
- (E) STOP SIGN
- (E) RETAIL SIGNAGE, TO BE REMOVED
- (E) ON-SITE TREE, TO BE REMOVED, SEE EXISTING TREE SCHEDULE.
- (E) SHRUB PLANTING, TO BE REMOVED
- (E) UTILITY SERVICE POLE, TO BE REMOVED
- (E) UTILITY SERVICE POLE, TO BE REPLACED BY SMUD WITH NEW STEEL POLE
- (E) OVERHEAD UTILITY LINES

ITALIAN CYPRESS (*CUPRESSUS SUMPERVIRENS*) - 15" DBH
ELM (*ULMUS* SPP.) - 4" DBH (TRUNK BRANCHES OFF AT 3' HEIGHT)
TREE-OF-HEAVEN (*AILANTHUS ALTISSIMA*) - 4" DBH

NOTE:
ALL REMAINING EXISTING PLANTINGS ARE OLEANDER SHRUBS, TO BE REMOVED
SEE KEYNOTE 10.

ENT





CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: NH
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

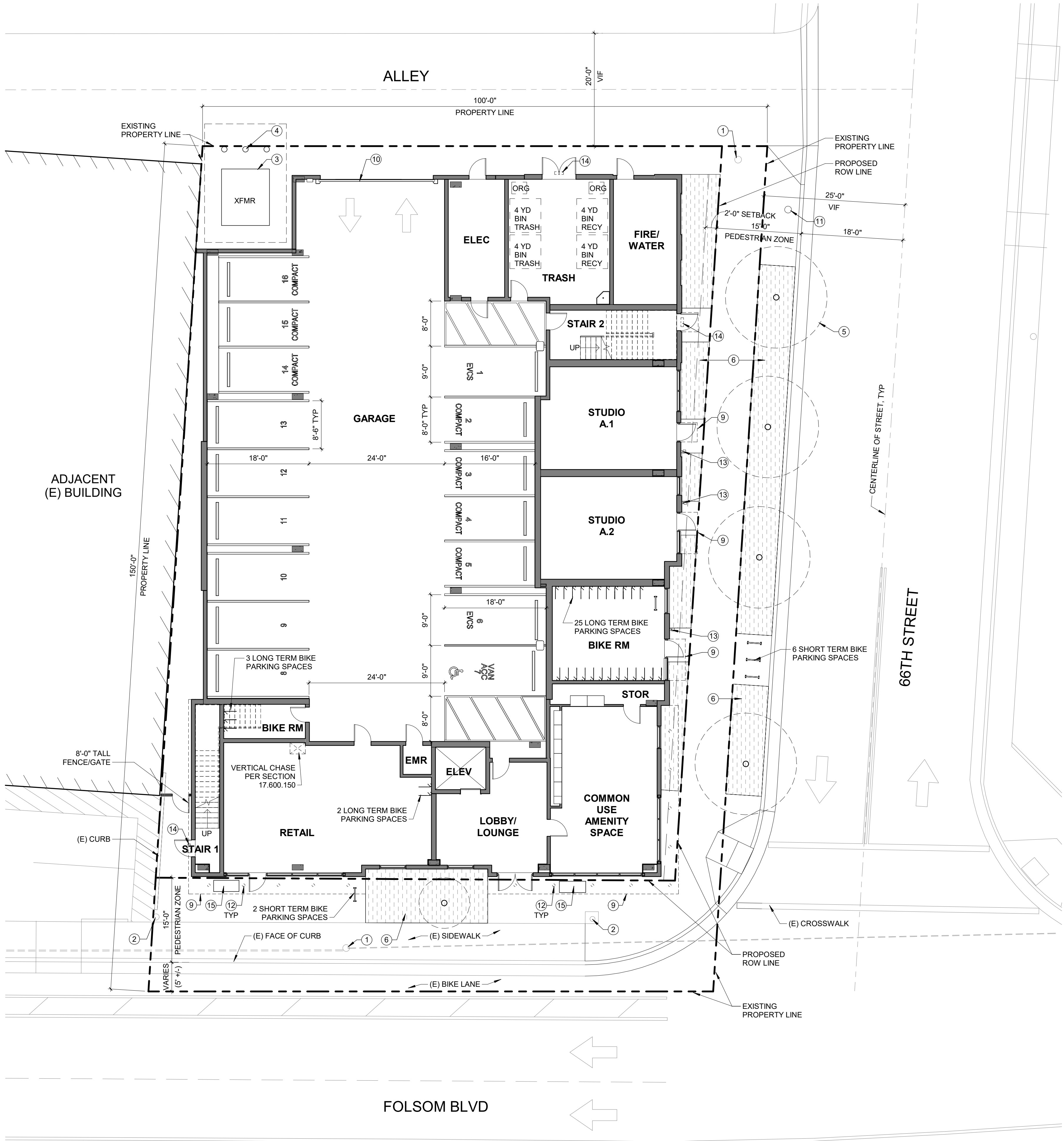
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ENTITLEMENTS

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NO.:

A.200



VEHICLE PARKING - MATRIX

TYPE	COUNT
PARKING - ADA	1
PARKING - COMPACT	7
PARKING - EVCS	2
PARKING - STANDARD	6
	16

BICYCLE PARKING - MATRIX

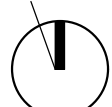
TYPE	COUNT
RESIDENTIAL LONG TERM	29
RESIDENTIAL SHORT TERM	6
RETAIL LONG TERM	2
RETAIL SHORT TERM	2
	39

KEYNOTES - SITE PLAN - PLANNING

- UTILITY SERVICE POLE
- STREET LIGHT - SEE CIVIL
- TRANSFORMER PAD
- BOLLARD - SEE CIVIL
- STREET TREE - SEE LANDSCAPE
- PLANTING AREA - SEE LANDSCAPE
- CANOPY ABOVE
- 20'-0" WIDE OVERHEAD ROLLING GARAGE DOOR
- FIRE HYDRANT - SEE CIVIL
- RECESSED LED DOWN LIGHT
- WALL MOUNTED LED DOWN LIGHT
- WALL MOUNTED LED LIGHT OVER DOOR
- REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)

1 SITE PLAN
A.200 1" = 10'-0"

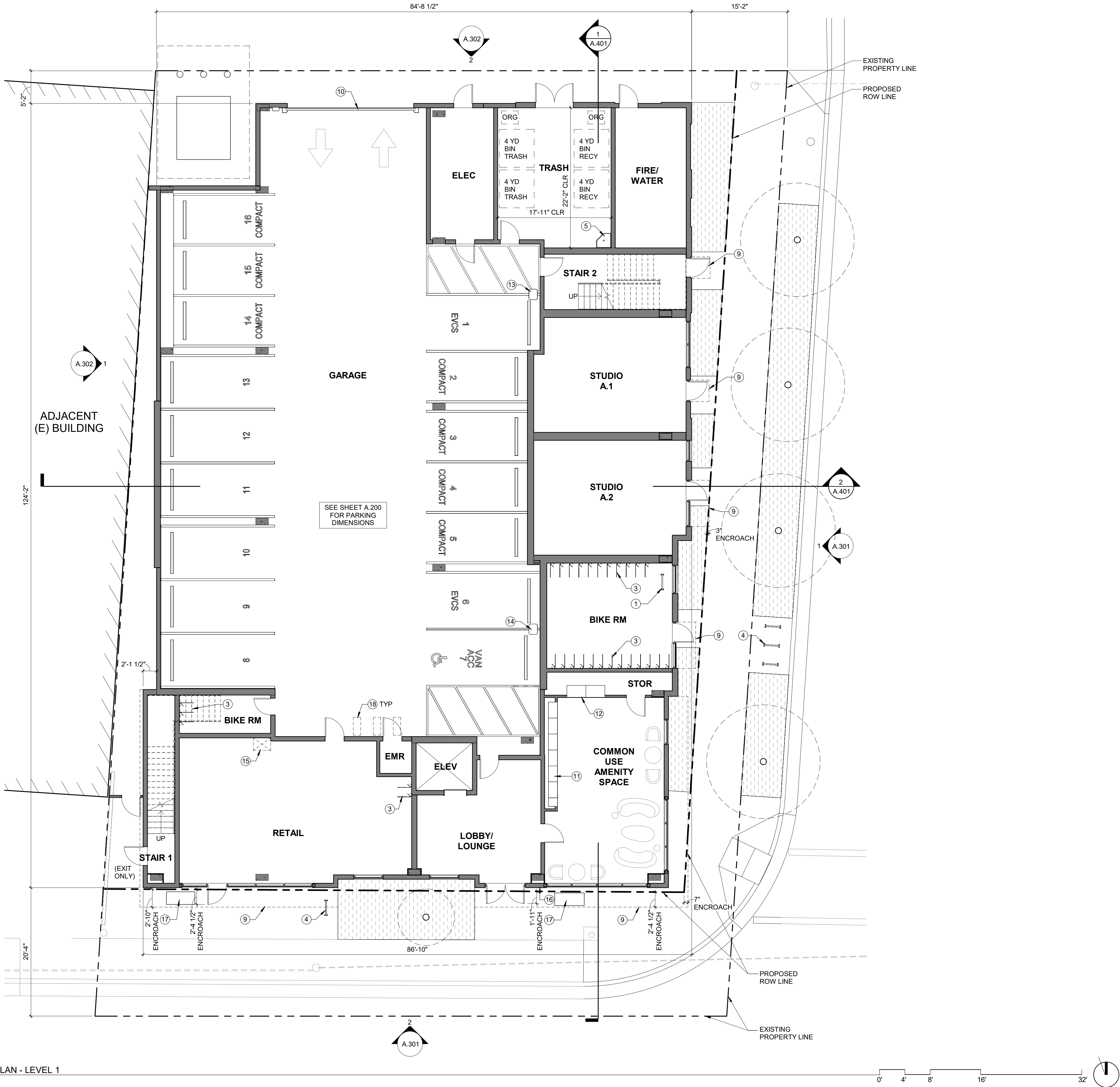
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1 FLOOR PLAN - LEVEL 1
A.201 1/8" = 1'-0"



KEYNOTES - FLOOR PLANS

- 1 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 3 WALL-MOUNTED BICYCLE RACK - 1 BIKE PER RACK
- 4 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 5 MOP SINK
- 6 2 HOUR HORIZONTAL EXIT
- 7 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 2-6
- 8 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 3-6
- 9 CANOPY ABOVE
- 10 20'-0" WIDE GARAGE DOOR
- 11 RECESSED MAILBOXES
- 12 PACKAGE LOCKER
- 13 EV CHARGING STATION, SINGLE-PORT
- 14 EV CHARGING STATION, DUAL-PORT
- 15 VERTICAL CHASE FOR MIXED-USE PROJECTS PER SECTION 17.600.150
- 16 DUAL KNOX BOX (DUAL LOCK FOR FIRE AND POLICE)
- 17 REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)
- 18 MECH UNITS ABOVE

C2K
ARCHITECTURE

1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB
APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS
REVISION: DESCRIPTION:

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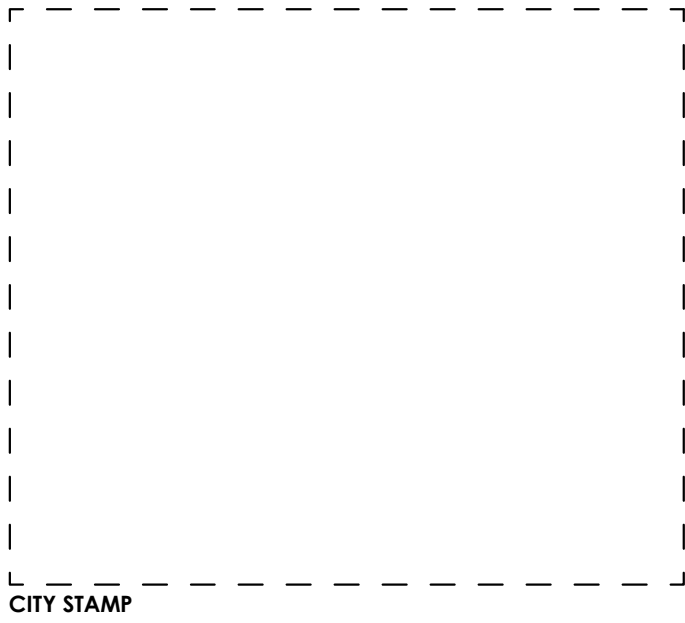
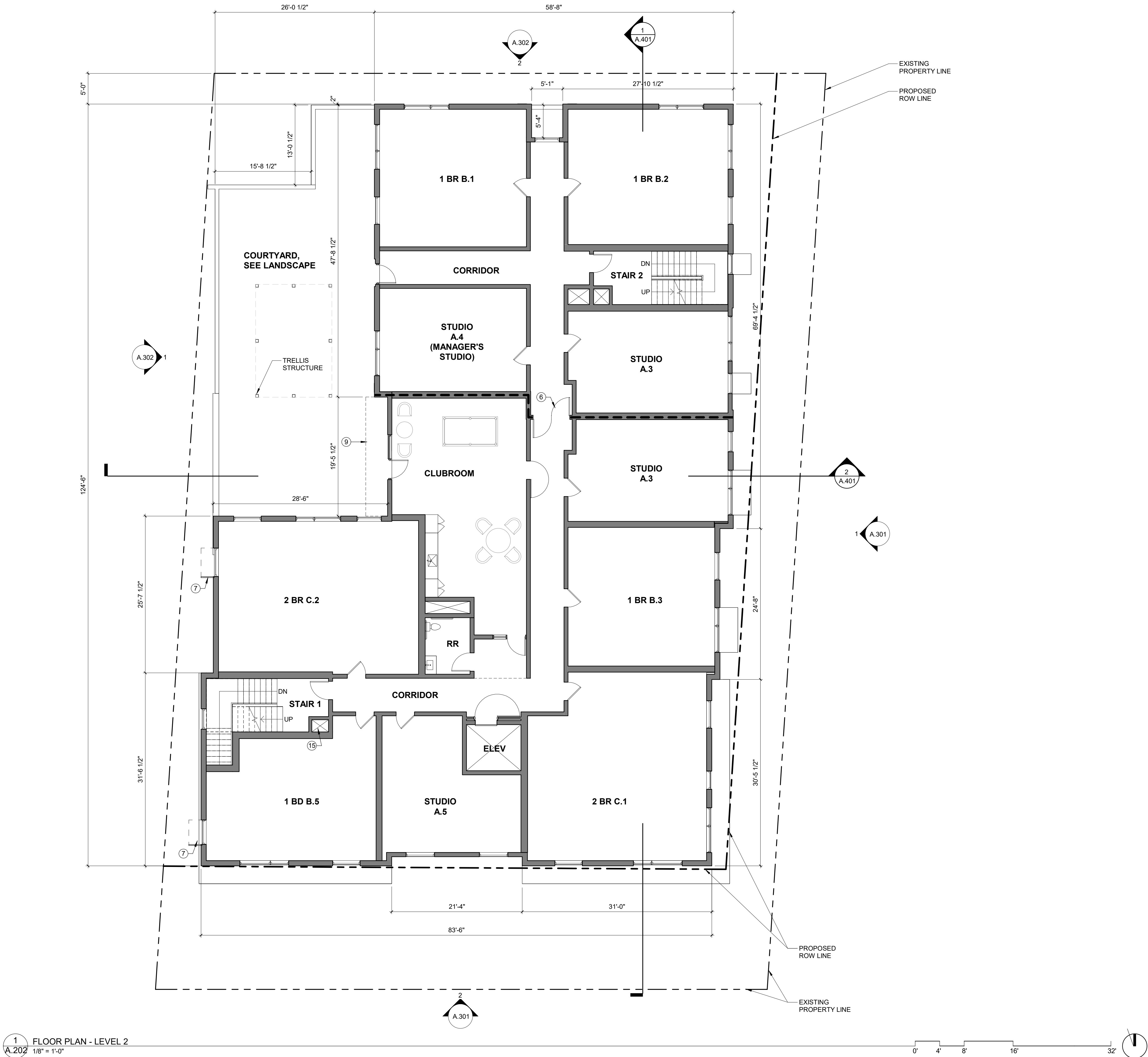
ENTITLEMENTS

SHEET TITLE:
FLOOR PLAN - LEVEL 1

SHEET NO.:
A.201

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BAOBAB
APARTMENTS

ENTITLEMENTS

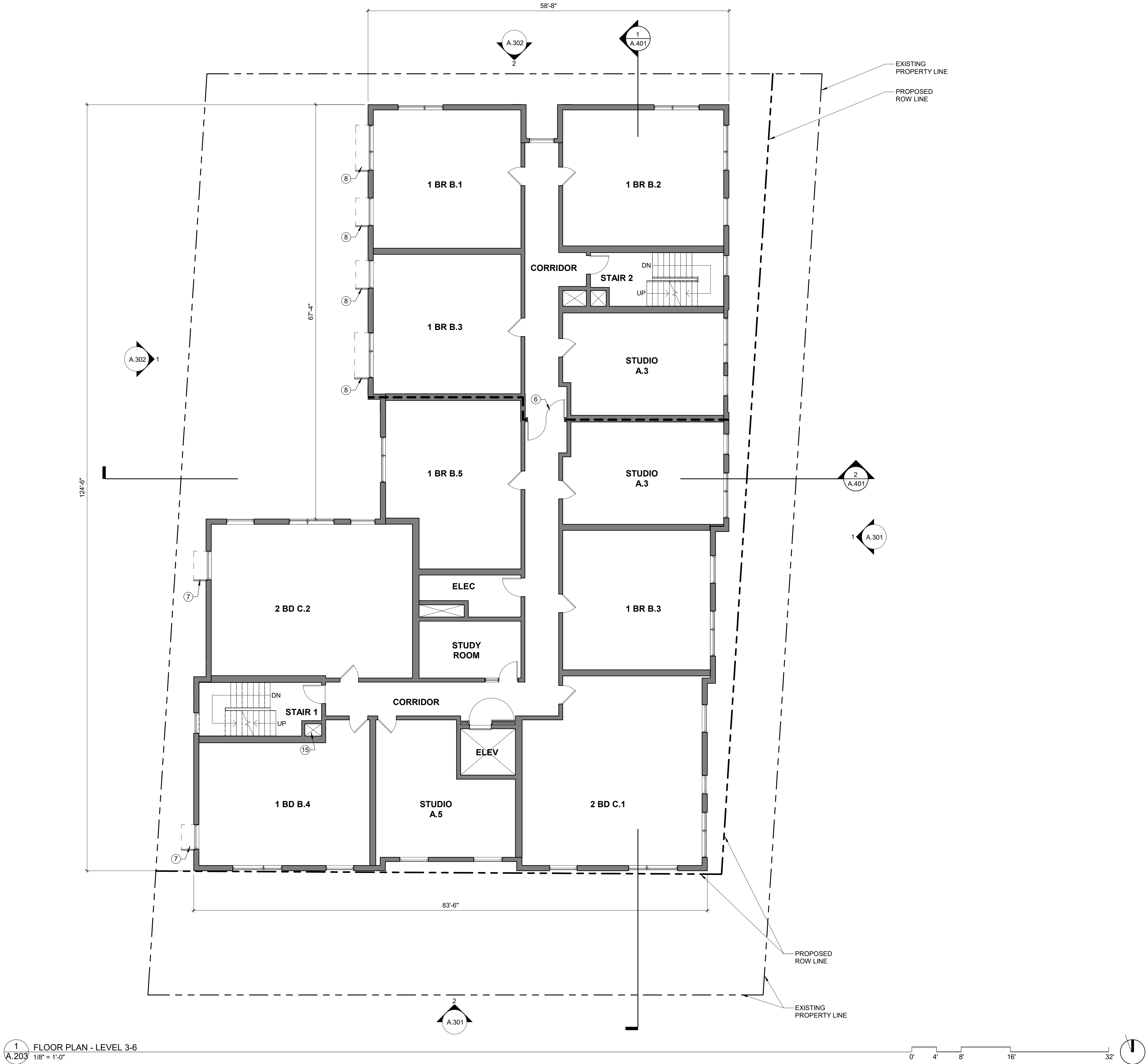
SHEET TITLE:
FLOOR PLAN - LEVEL 2

SHEET NO.:

A.202

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KEYNOTES - FLOOR PLANS

- 1 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 3 WALL-MOUNTED BICYCLE RACK - 1 BIKE PER RACK
- 4 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 5 MOP SINK
- 6 2 HOUR HORIZONTAL EXIT
- 7 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 2-6
- 8 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 3-6
- 9 CANOPY ABOVE
- 10 20'-0" WIDE GARAGE DOOR
- 11 RECESSED MAILBOXES
- 12 PACKAGE LOCKER
- 13 EV CHARGING STATION, SINGLE-PORT
- 14 EV CHARGING STATION, DUAL-PORT
- 15 VERTICAL CHASE FOR MIXED-USE PROJECTS PER SECTION 17.600.150
- 16 DUAL KNOX BOX (DUAL LOCK FOR FIRE AND POLICE)
- 17 REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)
- 18 MECH UNITS ABOVE

C2K
ARCHITECTURE
1445 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS
REVISION: DESCRIPTION:

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SHEET TITLE:
FLOOR PLAN - LEVEL 3-6

SHEET NO.:
A.203

ENTITLEMENTS



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SACRAMENTO, CA
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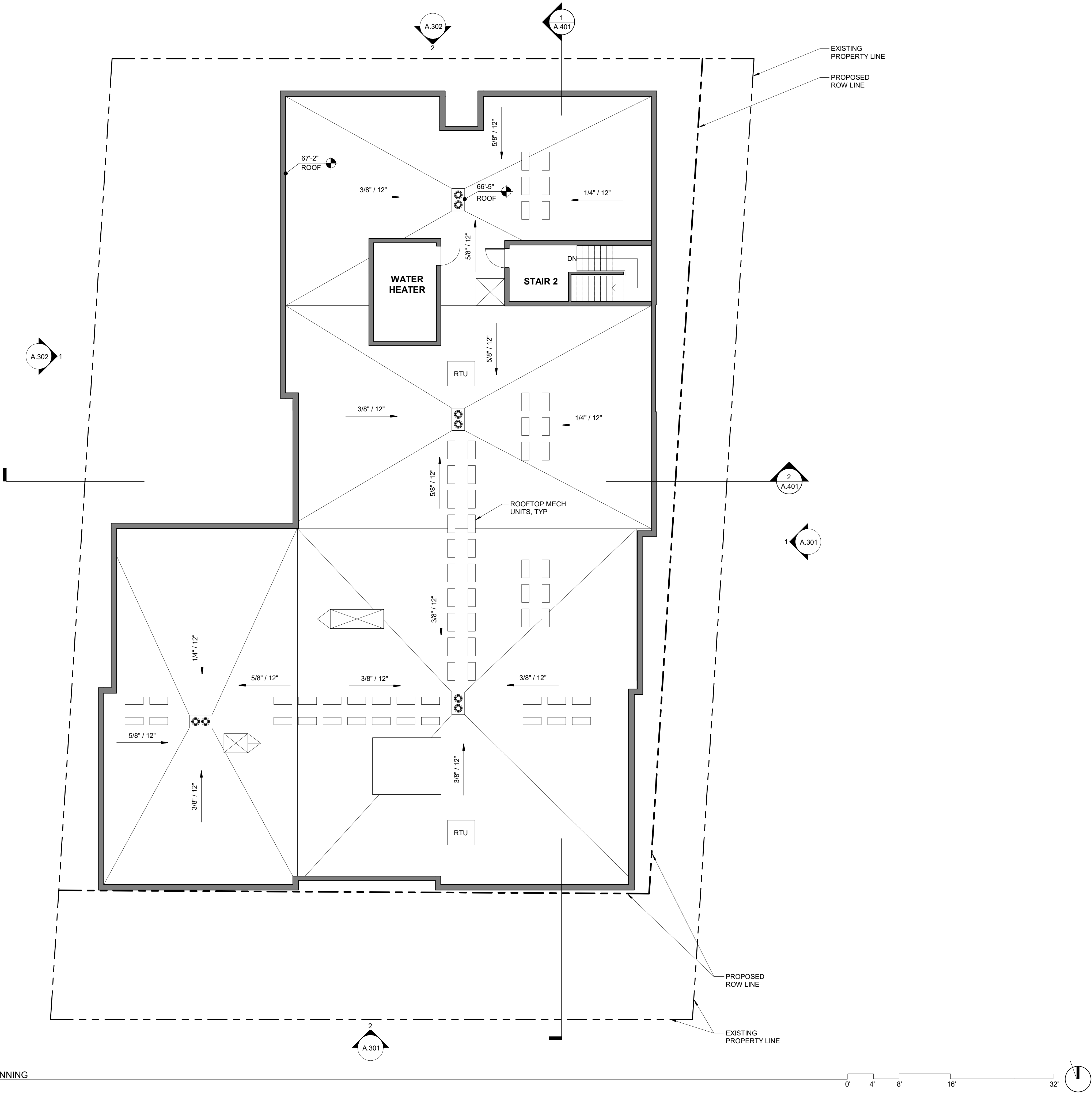
PROJECT NO.: 24103
DRAWN: Author
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ENTITLEMENTS

SHEET TITLE:
ROOF PLAN

SHEET NO.:
A.207



1
A.207 ROOF PLAN - PLANNING
1/8" = 1'-0"



FOLSOM BLVD & 66TH STREET CORNER VIEW



FOLSOM BLVD & 65TH STREET CORNER VIEW



66TH STREET & ALLEY CORNER VIEW



66TH STREET @ RESIDENTIAL UNITS



AERIAL VIEW AT ALLEY



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APARTMENTS

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BAINS PROPERTY PTY LTD

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PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS
REVISION: DESCRIPTION:

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ENTITLEMENTS

SHEET TITLE:
RENDERED VIEWS

SHEET NO.:
A.300



KEYNOTES - ELEVATIONS	
1	CANOPY
2	SUNSHADE
3	METAL PANEL - COLOR WHITE
4	METAL PANEL - COLOR COPPER
5	THIN BRICK - CLINKER; STACK BOND
6	STUCCO - COLOR DARK GRAY
7	CMU - RUNNING BOND
8	FENCE WITH DECORATIVE GATE
9	STOREFRONT ASSEMBLY - DARK BRONZE
10	20'-0" WIDE OVERHEAD ROLLING GARAGE DOOR
11	HOLLOW METAL DOOR AND FRAME
12	VINYL WINDOW, TYP (INSULATED GLAZING @ SOUTH ELEVATION TO PROVIDE MIN SHGC OF 0.27)
13	FENCE
14	FIBERGLASS DOOR
15	CAST-IN-PLACE CONCRETE
16	TALL METAL COPING
17	STANDARD METAL COPING
18	DECORATIVE HALF-HEIGHT METAL FENCE

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503 444 2200

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SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS
REVISION: DESCRIPTION:

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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:
A.301

ENTITLEMENTS



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KEYNOTES - ELEVATIONS	
1	CANOPY
2	SUNSHADE
3	METAL PANEL - COLOR WHITE
4	METAL PANEL - COLOR COPPER
5	THIN BRICK - CLINKER; STACK BOND
6	STUCCO - COLOR DARK GRAY
7	CMU - RUNNING BOND
8	FENCE WITH DECORATIVE GATE
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1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

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SACRAMENTO, CA
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PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
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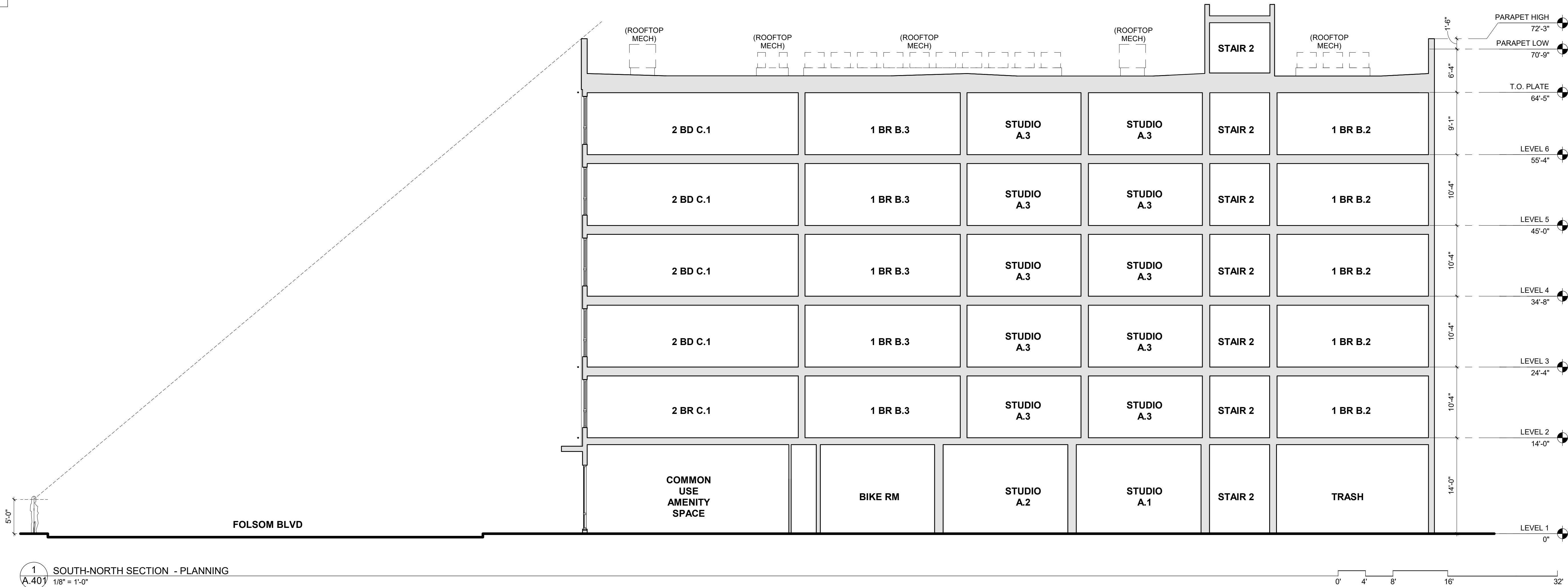
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EXTERIOR ELEVATIONS

SHEET NO.:
A.302

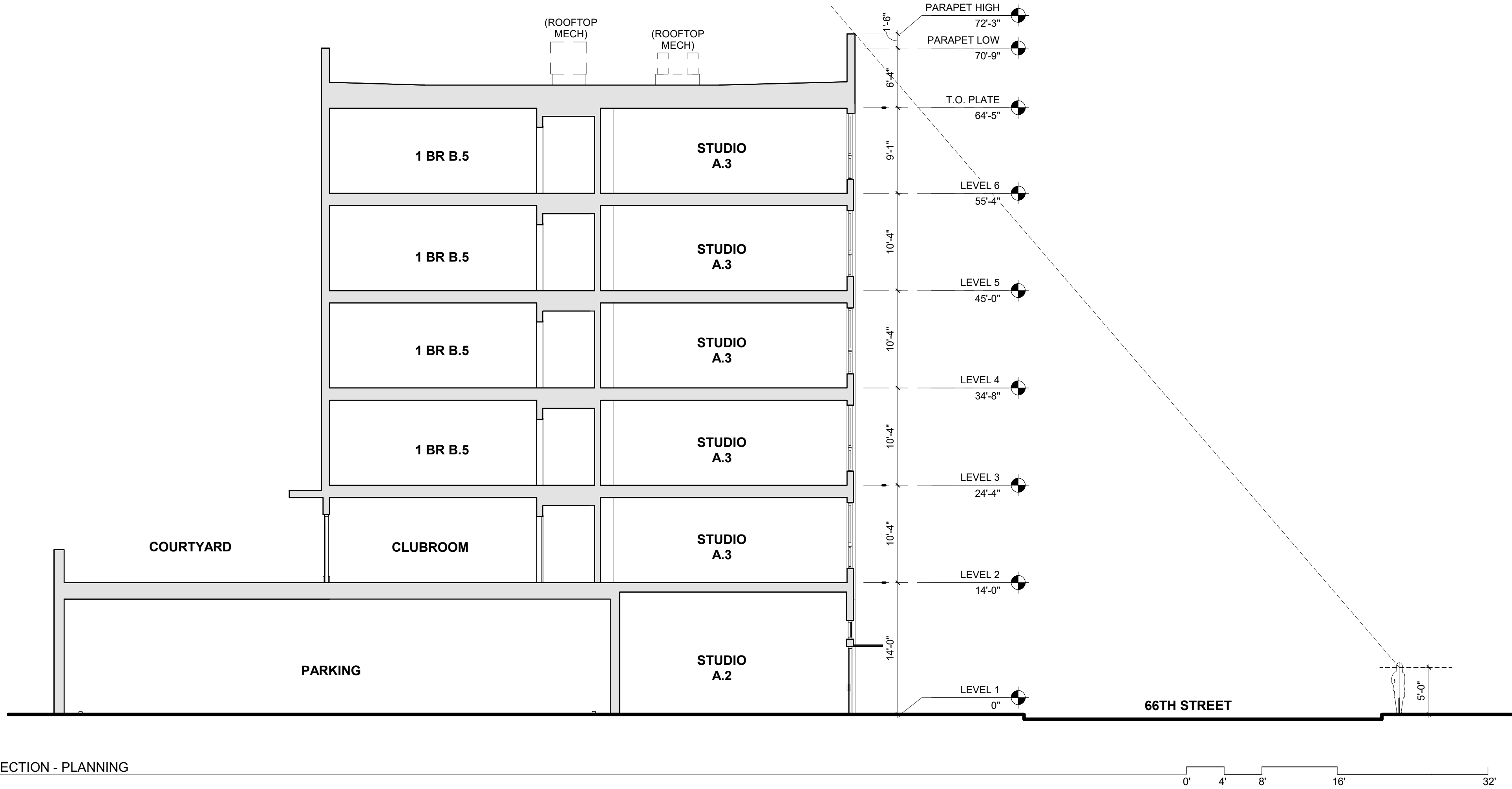


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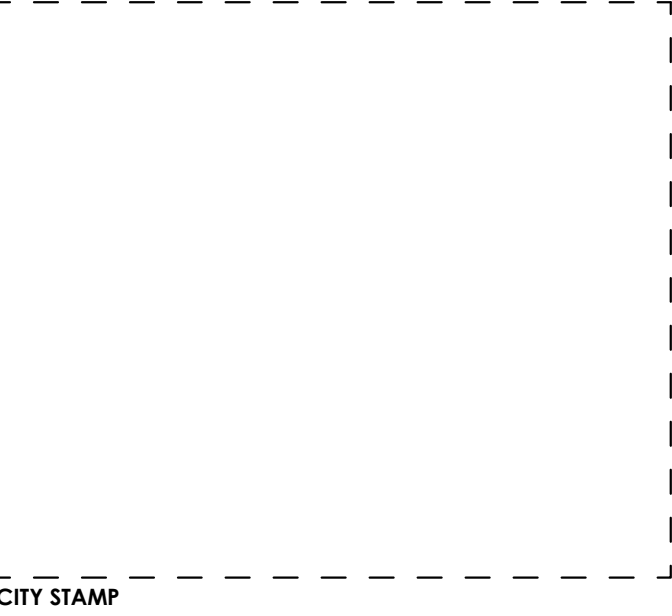
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1 SOUTH-NORTH SECTION - PLANNING
A.401 1/8" = 1'-0"



2 WEST-EAST SECTION - PLANNING
A.401 1/8" = 1'-0"



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OWNER:
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ADDRESS:
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SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
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REVISION: DESCRIPTION:

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ENTITLEMENTS

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.:
A.401

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator approve with conditions a Tentative Subdivision Map and recommends the Design Director approve with conditions the Site Plan and Design Review of the map with deviations to minimum required public street frontage, lot size, and lot depth for the project known as **P22-043**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination:** Exempt – Categorical Exemption – Class 32 (CEQA Guidelines Section 15332 – In-Fill Development).
2. **Tentative Subdivision Map** to subdivide a vacant 2.33-acre lot into 22 residential lots and 2 additional lots for a private alley, and a detention basin in the Agricultural (A) zone.
3. **Site Plan and Design Review** of the tentative subdivision map with deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth.

PROJECT INFORMATION

Location: 301 Drollet Way

Parcel Number: 237-0380-009-0000

Council District: 1 – Lisa Kaplan

Applicant: Scott Cable, S Cable Enterprises Inc.
2443 Fair Oaks Boulevard, Suite 145, Sacramento, CA 95825

Property Owner: Equity Trust CO CDN FBO Scott W Cable IRA
9851 W Harness Dr., Boise, ID 83709

Project Planner: Jose Quintanilla, Associate Planner, (916) 808-5879

Hearing Date: June 26, 2025

Land Use Information

General Plan Designation: Neighborhood (N)
Community Plan Area: North Sacramento
Specific Plan: N/A
Zoning: A (Agricultural)
Special Planning District: N/A
Planned Unit Development: N/A
Design Review Area: Citywide
Parking District: Suburban
Historic District: N/A

Surrounding Zoning and Land Uses

North:	A	Norwood Junior High School
South:	R-1; R-1A	Residential
East:	R-1; R-1A	Vacant
West:	R-1; R-1A	Residential

Site Characteristics

Existing Property Area:	101,495 square feet / 2.33 acres, 1.8 net acres
Topography:	Flat
Street Improvements:	Required
Utilities:	Required
Existing Land Use of Site:	Vacant

Other Information

Previous Files:	None
-----------------	------

ATTACHMENTS

Attachment 1: Tentative Subdivision Map

PROPOSED PROJECT AND ANALYSIS

Background

The project site is a rectangular-shaped property of approximately 2.33 gross acres within the Agricultural (A) Zone in North Sacramento. The project is immediately adjacent to Norwood Junior High school to the north. The subject site is surrounded by existing single-unit dwelling residential to the west and east. Aerial imagery indicates that the site has never been developed.

Project Details

The applicant is proposing to subdivide one 2.33-gross-acre parcel into 22 parcels for residential development and two parcels for a private alley, and a detention basin. The proposed project requires entitlements for a Tentative Subdivision Map (TSM), and Site Plan and Design Review of the tentative subdivision map with deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth. No house plans are proposed with this request. This request requires a public hearing before the Zoning Administrator and Design Director.

Zoning and 2040 General Plan Land Use Designation

The site is currently zoned Agricultural (A), restricting the use of land primarily for agriculture and farming. The 2040 General Plan designation for the entire subdivision area is Neighborhood which allows residential uses with a minimum density of 3 dwelling units per net acre. Therefore, a conflict exists between the zoning and General Plan designation for the project site because the Agricultural zone permits a single unit dwelling on a minimum lot size of 5 acres, which could not be achieved with a minimum General Plan density of 3 dwelling units per net acre.

Pursuant to Land Use Policy LUP-A.10, the City shall update the Planning and Development Code to implement the 2040 General Plan, including amendments to rezone parcels for consistency with the 2040 General Plan land use, intensity, and density. This site will be included in future City initiated rezone efforts for consistency with the General Plan. Accordingly, staff has reviewed the proposed tentative subdivision map in anticipation of the city-initiated rezone effort and has applied the development standards of the Single-Unit or Duplex Dwelling (R-1A) zone because it is consistent with the Neighborhood (N) designation and most compatible with the subdivision layout and parcel sizes.

Pursuant to Assembly Bill 821, effective January 1, 2024, if the zoning becomes inconsistent with the general plan and an application is received that is consistent with the general plan, the city is required to:

- Amend the zoning ordinance within 180 days of receipt of an application to be consistent with the general plan, or
- Process the development application. “When processing [a] development application [with conflicting zoning and General Plan], the local agency shall apply the objective general plan standards, but not inconsistent zoning standards, to the proposed development project to facilitate and accommodate development at the density allowed on the site by the general plan.” (Gov’t Code Sec. 65860(c)).

The City intends to rezone inconsistent parcels, like those within the subject subdivision, but that effort is not expected to be complete within 180 days of adoption of the 2040 General Plan. To comply with Gov’t Code Sec. 65860(c), the project is being evaluated consistent with the 2040 General Plan and the R-1A zone. Both the R-1A zone and the Neighborhood (N) designation allow residential development at the proposed density of 13.27 dwelling units per net acre. Additionally, the subject site is adjacent to R-1A zoned parcels.

Tentative Subdivision Map (TSM)

The site is bound by existing public roadways, Drollet Way and Baumgart Way, which will provide access to the new development. Within the project site, Baumgart continues northward from the intersection with Drollet Way and Christopherson Circle (as named on the Tentative Subdivision Map), a public street to be built to a City standard residential street (53-foot-wide right-of-way). The proposed street will loop through the site and connect back to Drollet Way.

The applicant is proposing to subdivide the existing parcel into 24 total parcels, including 22 residential parcels, one lot for a private detention basin, and one lot for a private alley serving Lots 1, 5, 6, 7, and 8. This map requires deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth. Applicable R-1A zone standards for new lots are shown in Table 1, below.

Table 1: R-1A Development Standards: Lot sizes, width, and depth (17.204.330)							
	Min. Lot Size (sq. ft.): 2,900 / Unit		Min. Lot Width (ft.): 20 (interior) / 38 (corner) 25 (abutting R-1)		Required Lot Depth (ft.): Min. 80 - Max. 160		Subject to Missing Middle Housing
Lot	Proposed	Deviation	Proposed	Deviation	Proposed	Deviation	
All	2,312 – 4,076	Y	31 – 55	N	68 – 93.48	Y	N/A
1 ^a	2,312	Y	34	N	68	Y	Y
2	2,325	Y	31	N	75	Y	Y
3	2,492	Y	34	N	72.30	Y	Y
4	2,406	Y	34	N	72.63	Y	Y
5 ^a	3,375	N	45	N	75	Y	N
6	2,625	Y	35	N	75	Y	Y
7	2,625	Y	35	N	75	Y	Y
8	2,578	Y	35.75	N	72.43	Y	Y
9	2,470	Y	35.7	N	72.18	Y	Y
10	2,625	Y	35	N	74.75	Y	Y
11	2,625	Y	35	N	75	Y	Y

12	2,625	Y	35	N	74.75	Y	Y
13	2,465	Y	35.7	N	72.18	Y	Y
14	2,510	Y	32	N	75.91	Y	Y
15	3,557	N	38.3	N	93.48	N	N
16	3,165	N	46	N	73.50	Y	N
17	3,362	N	45	N	73.50	Y	N
18 ^b	3,246	N	44	N	75	Y	N
19 ^b	4,072	N	55	N	75	Y	N
20 ^b	3,600	N	48	N	75	Y	N
21 ^b	3,546	N	48	N	75	Y	N
22 ^b	4,076	N	55	N	75	Y	N

^a Pursuant to Sacramento City Code section 17.204.330(B) the minimum lot width for lots abutting a lot in the R-1 zone is 25 feet. Lots 1 and 5 abut parcels in the R-1 zone and therefore a minimum lot width of 25 feet is required.

^b Pursuant to Sacramento City Code section 17.204.330(B) The minimum lot width of corner lots is 38 feet. Lots 18-22 are corner lots.

The proposed tentative subdivision map proposes to create 22 parcels that range from approximately 2,312 gross square feet to 4,076 square feet. The R-1A zone has minimum requirements for lot size, width, and depth as detailed in Table 1. Lot 5 and lots 15-22 meet the minimum lot size. All lots meet the minimum lot width. All lots, except Lot 15, require a deviation to reduce the minimum required lot depth.

Planning staff supports the proposed tentative map as the subdivision will provide for future infill residential development and the smaller lot sizes can accommodate alternative housing types such as neighborhood scale multi-family development, commonly known as Missing Middle Housing. All lots under 2,900 square feet and any lot where two or more units are proposed will have to adhere to the Missing Middle Housing Ordinance (OR 2024-0027).

The tentative subdivision map will create a remainder lot of approximately 3,375 square feet. This remainder lot contains portions of a potential seasonal wetland. This land area is small, and it is apparent that the area is not connected to any waterways. Staff has not determined whether this is subject to federal or state jurisdiction and does not feel we need to designate the wetlands since they will not be affected by the development. The property will not be able to be developed unless the owner receives the appropriate permits and environmental clearance.

Public Street Frontage

Per City Code Section 17.500.010(C) all subdivisions shall result in lots that can be used or built upon and except for lots within a planned unit development, all residentially zoned lots shall have not less than 20 feet of public street frontage, approved private street frontage, or alley frontage. This project includes a deviation request to create parcels without public street frontage.

Four of the 22 lots proposed with this subdivision require a deviation to the minimum required public street frontage of 20 feet. Lot 1 and lots 5-7 have no access to a public street and are accessed via a private alley. The remaining lots have public street frontage either at Drollet Way or Christopherson Circle.

Site Plan and Design Review (SPDR)

The purpose and intent of the Site Plan and Design Review entitlement is to ensure that the project proposal complies with the relevant subdivision standards of the underlying zone (R-1A).

The proposed tentative subdivision map contains deviations to the development standards for lot size, width, and depth (see Table 1), and public street access established in the Planning and Development Code (City Code).

There is no home construction proposed with this project request. House plans will require a separate Site Plan and Design Review approval.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to North Sacramento Chamber of Commerce, Rancho Del Paso Neighborhood Association, Robla Neighbors United, Robla Park Community Association, Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, and Sacramento Housing Alliance. Staff received no comments, only general inquiries related to the scope of the project.

All property owners and residents within 500 feet of the subject site, as well as the neighborhood association, were mailed a public hearing notification. The site was posted with project information after submittal and prior to the Public Hearing.

ENVIRONMENTAL DETERMINATION

Environmental Planning Services of the Community Development Department has reviewed this project, and the Zoning Administrator and Design Director determined the project to be exempt from review under the California Environmental Quality Act (CEQA) under Class 32, Section 15332, In-Fill Development. This exemption applies to projects that: 1) are consistent with the applicable general plan and all applicable policies, as well as all applicable zoning designations and restrictions; 2) occur within city limits on a site of no more than 5 acres and substantially surrounded by urban uses; 3) is on a site with no value, as habitat for endangered, rare or threatened species; 4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and 5) is on a site that can be adequately served by all required utilities and public services.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the city must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new developments will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016, and the SAFCA 2024 Adequate Progress Annual Report accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

FINDINGS OF FACT

A. Environmental Exemption: Exemption, (Per California Environmental Quality Act (CEQA) Guidelines, Class 32, Section 15332, In-Fill Development).

1. Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the project, the Zoning Administrator and Design Director have determined the project is exempt from review under Section 15332, In-Fill Development of the California Environmental Quality Act (CEQA) The project qualifies for this exemption for the following reasons:
 - a. the project is consistent with the Neighborhood general plan designation and the R-1A zoning designation in that the proposed project is an allowable use under the zoning designation.
 - b. the proposed development occurs within Sacramento city limits on a project site of no more than five acres that is substantially surrounded by developed urban areas.
 - c. the project has no value as habitat for endangered, rare, or threatened species.
 - d. approval of the project would not result in any significant effects regarding traffic, noise, air quality, or water quality.
 - e. the site can be adequately served by all required utilities and public services.

B. Tentative Subdivision Map to subdivide a vacant 2.33-acre lot into 22 residential lots and 2 additional lots for a private alley, and a detention basin in the Agricultural (A) zone **is approved** based on the following Findings of Fact:

1. None of the conditions described in Government Code section 66476 exist with respect to the proposed subdivision as follows:
 - a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code.
 - b. The design and improvement of the proposed subdivision is consistent with the General Plan, and all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code.
 - c. The site is physically suitable for the type of development.
 - d. The site is physically suitable for the proposed density of development.
 - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat.
 - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems.

- g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5).
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6).
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1).
5. The Zoning Administrator has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

C. **Site Plan and Design Review** of the tentative subdivision map with deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth **is approved** based on the following Findings of Fact:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan which designates the site as Neighborhood and the North Sacramento Community Plan in that the development will provide for future infill residential development. The proposal also provides a density of eight dwelling units per net acre which is consistent with the Neighborhood designation. There is no transit village plan applicable to this project.
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from design guidelines or development standards are approved, the proposed development is consistent with the purpose and intent of the applicable design guidelines and development standards. The development requires deviations to reduce the minimum required lot size and lot depth. The deviations are consistent with the purpose and intent of the Planning and Development Code in that 1) the parcels can adequately accommodate future infill development; 2) the lot sizes are consistent with surrounding development; and 3) the project otherwise meets applicable development standards within the R-1A zone.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards in that as the proposed map provides for the extension of necessary public and private utility infrastructure to meet the needs of future residential development.

4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the proposed layout accounts for safe and efficient vehicle, bicycle, and pedestrian circulation.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged in that the project ties into existing road and utility networks that will be extended to serve the new development.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that natural surveillance is considered in the layout of the proposed subdivision and the addition of new homes on a vacant and blighted lot within North Sacramento will improve the quality of life of existing residents.

CONDITIONS OF APPROVAL

- B. **Tentative Subdivision Map** to subdivide a vacant 2.33-acre lot into 22 residential lots and 2 additional lots for a private alley, and a detention basin in the Agricultural (A) zone **is approved** subject to the following Conditions of Approval:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map approved for this project (P22-043). The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

The City strongly encourages the applicant to thoroughly discuss the conditions of approval for the project with their Engineer/Land Surveyor consultants prior to Zoning Administrator approval. The improvements required of a Tentative Map can be costly and are completely dependent upon the condition of the existing improvements. Careful evaluation of the potential cost of the improvements required by the City will enable the applicant to ask questions of the City prior to project approval and will result in a smoother plan check process after project approval:

General: All Projects

- B1. This tentative map approval expires on June 26, 2028, 36 months from its approval date.

Time extensions to extend the expiration date of the tentative map may be granted as provided in [Section 17.828.170.A](#). Time extensions are discretionary and not the automatic right of the applicant.

- B2. Pursuant to City Code Section 17.500.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements

shall be subject to review and approval of the Department of Public Works after consultation with the U.S. Postal Service.

- B3. Show all continuing and proposed/required easements on the Final Map.

Public Works:

Zarah Lacson (916) 808-8494, ZLacson@cityofsacramento.org

- B4. Submit a Geotechnical Analysis prepared by a registered engineer to be used in street design. The analysis shall identify and recommend solutions for groundwater related problems, which may occur within both the subdivision lots and public right-of-way. Construct appropriate facilities to alleviate those problems. As a result of the analysis street sections shall be designed to provide for stabilized subgrades and pavement sections under high groundwater conditions.
- B5. Construct standard subdivision improvements as noted in these conditions pursuant to section 17.504.050 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
- B6. The applicant shall install stop signs at intersections, and additional street signs per City standards to the satisfaction of the Department of Public Works.
- B7. Dedicate and construct Christopherson Circle as shown on the tentative map to a 53- ft right-of-way local residential street section per City standards to the satisfaction of the Department of Public Works.
- B8. Dedicate sufficient additional right-of-way and construct city standard elbows along Christopherson Circle as shown on the tentative map per City standards to the satisfaction of the Department of Public Works.
- B9. Dedicate sufficient additional right-of-way and construct Drollet Way adjacent to the subject property to match existing improvements to the east. Any new sidewalks shall be at least 5-ft in width. The design and construction of any portion of Drollet Way including the transition areas shall be per City standards to the satisfaction of the Department of Public Works.
- B10. The applicant shall dedicate sufficient additional right-of-way and construct ADA compliant ramps at the intersections of Drollet Way and Christopherson Circle adjacent to the subject property per City standard to the satisfaction of the Department of Public Works.
- B11. The applicant shall install street name signs per City standards to the satisfaction of the Department of Public Works.
- B12. The applicant shall relocate any utility pole(s) that are in conflict with any of the required frontage improvements per City standards to the satisfaction of the Department of Public Works and the concerned agency.

- B13. All right-of-way and street improvement transitions that result from changing the right- of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
- B14. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the Department of Public Works.
- B15. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.

Electrical:

John Matoba (916) 808-7891, JMatoba@cityofsacramento.org

- B16. This project will require the installation of streetlights on all public streets to the satisfaction of Public Works. This will require the electrical design plans to be prepared and stamped by a registered civil or electrical engineer submitted with the major encroachment permit application. The Developer will determine the quantity and locations of streetlights based upon the City Lighting Standards. In general, the City Lighting Standard for illumination is the following: the illumination levels are 0.10 footcandles minimum for residential applications. The illumination levels for crosswalks and signalized intersections shall meet the American National Standard Institute (ANSI)/Illuminating Engineering Society (IES) RP-8 guidelines. A photometric analysis is required for the first Cycle submission. Residential lighting shall be the City Standard ornamental streetlights.

Urban Forestry:

Kevin A. Hocker (916) 808-4996, KHocker@cityofsacramento.org

Erica Allen, (916) 808-6943, EAllen@cityofsacramento.org

- B17. The applicant shall design all street planters to have shade trees with an expected mature canopy diameter of 35 feet, planted 40 feet on center with consideration given to driveways and underground and above ground utilities to the satisfaction of the Urban Forestry.

Sacramento Municipal Utilities District (SMUD):

Ellen Springer, (916) 732-5989, Ellen.Springer@smud.org

- B18. SMUD has existing underground 12kV facilities along the south side of Drollet Way that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- B19. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- B20. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
- B21. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
- B22. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.
- B23. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.

- B24. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
- B25. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways.
- B26. The Applicant shall dedicate any private drive and/or ingress and egress easement as a public utility easement for overhead and underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.
- B27. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.

Department of Utilities (DOU):

Saraí Jimenez (916) 808-5426, SJimenez@cityofsacramento.org

- B28. All existing easements and all existing rights-of-way shall be shown on the Final Map, except for all abandoned easements and rights-of-way
- B29. The applicant shall grant and reserve easements as needed, for water, drainage and sanitary sewer facilities, and for surface storm drainage, at no cost at or before the time of sale or other conveyance of any parcel or lot. A note stating the following shall be placed on the Final Map: "Reciprocal easements for utilities, drainage, water and sanitary sewer facilities, and surface storm drainage shall be granted and reserved, as necessary and at no cost, at or before the time of sale or conveyance of any parcel shown in this map."
- B30. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval.
- B31. Easements for water meters within the proposed private alley on Lot B shall be dedicated to the City and shall include language assuring unrestricted access at all times for DOU personnel and maintenance vehicles.
- B32. Construct new water, sewer, and drainage main extensions and appurtenances per the approved water, sewer, and drainage studies within the proposed public street to the satisfaction of the DOU. The public mains shall be located within the asphalt section of the public right-of-way.
- B33. Provide separate sanitary sewer services to each parcel to the satisfaction of the DOU.

- B34. Prior to or concurrent with the submittal of the building permit application, the applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,000 cubic feet of detention must be provided per each additional acre of impervious area including the proposed public streets. The maximum discharge rate must be limited to an estimated 0.2 cfs/acre. The drainage study shall be consistent with the latest basin 157 drainage model for the project area. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
- B35. The onsite water, sewer, and storm drainage systems located within the private alley, Lot B, shall be private systems maintained by the association, property owner or other approved entity.
- B36. All on-site drainage systems shall be designed to the standards specified in the DOU onsite design manual.
- B37. Prior to the initiation of any water, sewer, and storm drainage services to the project, a homeowner association (HOA), or a privately funded maintenance district shall be formed and C.C. & R.s shall be approved by the City and recorded assuring maintenance of water, sewer, and storm drainage facilities within the private property. Private easements shall be dedicated for these facilities. The CC&Rs must provide that the City-approved provisions regarding water, sewer, and surface and subsurface private storm drainage facilities may not be revised without City consent. If required by the DOU, the responsible maintenance agency shall enter into and record an agreement with the City regarding the maintenance of these facilities. The agreement shall be to the satisfaction of the DOU and the City Attorney.
- B38. Finished floor elevations shall be a minimum of 1-foot above the 100-year HGL or 1.5-feet above the overland flow release elevation, whichever is higher or as approved by the DOU.
- B39. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- B40. Lot A shall be a privately owned and privately maintained detention basin. The design, construction, and location of the basin shall be to the satisfaction of the DOU. (Note: A maintenance agreement will be required for the proposed detention and stormwater features.)
- B41. The developer shall dedicate a drainage easement overlying Lot A to the City for drainage purposes.

- B42. All lots shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.
- B43. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- B44. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- B45. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B46. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is in an area not served by an existing regional water quality control facility, and is less than 20-acres; therefore, only source control, Low Impact Development (LID) measures are required. Improvement plans must include the measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" Chapter 4 for appropriate source control measures and chapter 5 for appropriate LID measures.
- B47. A maintenance agreement will be required for LID measures. Contact DOU for a list of accepted measures considered for LID. Construction drawings must include all proposed source controls, LID measures. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

Fire Department:

King Tunson (916) 808-1358, KTunson@sfd.cityofsacramento.org

- B48. Provide the required fire hydrants in accordance with California Fire Code Section 507 and Appendix C, Section C102.1 as amended the Sacramento City Code Section 507.5.1.

Park Planning and Development Services (PPDS):

Dana Repan (916) 808-2762, DRepan@cityofsacramento.org

- B49. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
- B50. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or

annexation to a parks maintenance district. (Contact Infrastructure Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org).

Miscellaneous

- B51. Form a Homeowner's Association with CC&R's for Lots A and B to be approved by the City. CC&R's shall be recorded assuring maintenance of the private alley, detention basin, lights, sewer services, drop inlets, drain leads, landscaping, irrigation and noise barriers.

Advisory Notes:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- B52. If unusual amounts of bone, stone, or artifacts are uncovered, work, in the area within the distance required by federal and state regulations, will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.

Public Works

- B53. House plans shall comply with City Code Chapter 17.508 Driveways.

Recycling & Solid Waste

- B54. There must be sufficient space to store three cans (garbage, mixed recycling, and organics recycling) on each parcel. The space needed is approximately 35 inches by 87 inches and be screened from the public right-of-way, per City Code Chapter 13.10.100 C.
- a. Future development plans must show where cans will be stored on each parcel.

Department of Utilities

- B55. Water meters shall be located at the point of service, which is back of curb for separated sidewalks, back of walk for connected sidewalks.
- B56. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- B57. Any proposed private stormwater quality treatment areas will require a maintenance agreement with the city.
- B58. Private drainage taps to the back of public drain inlets are not allowed.
- B59. The applicant shall contact the Army Corp of Engineers for all wetland requirements.
- B60. This project is served by the Separated Sewer System. Therefore, the developer/property owner will be required to pay the Separated Sewer System Development Fee prior to the issuance of building permit per City Council Resolution 2023-0338. The fee will be used to upsize City sewer mains and sewer pumps. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-7890 for a separated sewer fee estimate.

- B61. This project is in Drainage Basin 157 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368.

SacSewer

Robb Armstrong, (916) 876-6104, armstrongro@sacsewer.com

Chika Oya, (916) 875-9810, Okac@sacsewer.com

- B62. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Regional San Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.
- B63. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the City collection system to the Sacramento Regional Wastewater Treatment Plant (SRWTP).

SMUD

- B64. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre- engineering meeting with all utilities to ensure property clearances are maintained.
- B65. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- B66. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>. Applicant shall coordinate individual service panel location placement with SMUD Design Department.

Park Planning and Development Services

- B67. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
- a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$25,080. This is based on the creation of 22 new residential lots at an average land value of \$100,000 per acre for the North Sacramento Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of finalizing conditions on the final map. The Department of Public Works is the lead for resolving the conditions on the map, including the invoicing and payment of the in-lieu fee.
 - b. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is based on the Housing Incentive Zone Rate of \$2.20 per square foot for residential projects, with a minimum rate of \$1,634 for units under 750 square feet and a maximum of \$4,360 for units over 2,000 square feet. Any change in these factors will change the amount of the PIF due.

The fee is calculated using factors at the time that the project is submitted for building permit.

- c. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

- C. **Site Plan and Design Review** of the tentative subdivision map with deviations to minimum required public street frontage and to reduce the minimum required lot size and lot depth **is approved** subject to the following Conditions of Approval:

Planning & Design Review:

Jose R. Quintanilla (916) 808-5879, JQuintanilla@cityofsacramento.org

General

- C1. This approval expires on June 26, 2028, three (3) years from the effective date of approval
Time extensions to establish a use, construct a development project, or to demolish a structure may be granted as provided in Section 17.808.400.B. Time extensions are discretionary and not the automatic right of the applicant.
- C2. This approval is for the subdivision of one parcel into 22 residential lots, and two additional lots for a detention basin and private alley as shown on the approved Tentative Subdivision Map.
- C3. Development of the site shall be in compliance with the approved plans and these conditions of approval. Any modification(s) to the project shall be subject to review and approval by Planning staff (and may require additional entitlements) prior to the issuance of building permits.
- C4. No building permit shall be applied for until after the expiration of the 10-day appeal period, unless approved through a concurrent review. If an appeal is filed, no permit shall be issued until final approval is received.
- C5. The applicant shall obtain all necessary building and encroachment permits prior to commencement of construction.

Electrical:

John Matoba (916) 808-7891, JMatoba@cityofsacramento.org

- C6. This project will require the installation of streetlights on all public streets to the satisfaction of Public Works. This will require the electrical design plans to be prepared and stamped by a registered civil or electrical engineer submitted with the major encroachment permit application. The Developer will determine the quantity and locations of streetlights based upon the City Lighting Standards. In general, the City Lighting Standard for illumination is the following: the illumination levels are 0.10 footcandles minimum for residential applications. The illumination levels for crosswalks and signalized intersections shall meet the American National Standard Institute (ANSI)/Illuminating Engineering Society (IES) RP-8 guidelines. A photometric analysis is required for the first Cycle submission. Residential lighting shall be the City Standard ornamental streetlights.

Urban Forestry:

Kevin A. Hocker (916) 808-4996, KHocker@cityofsacramento.org

Erica Allen, (916) 808-6943, EAllen@cityofsacramento.org

- C7. The applicant shall design all street planters to have shade trees with an expected mature canopy diameter of 35 feet, planted 40 feet on center with consideration given to driveways and underground and above ground utilities to the satisfaction of the Urban Forestry.

Sacramento Municipal Utilities District (SMUD):

Ellen Springer, (916) 732-5989, Ellen.Springer@smud.org

- C8. SMUD has existing underground 12kV facilities along the south side of Drollet Way that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- C9. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- C10. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
- C11. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
- C12. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.
- C13. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.
- C14. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
- C15. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways.
- C16. The Applicant shall dedicate any private drive and/or ingress and egress easement as a public utility easement for overhead and underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.
- C17. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.

Department of Utilities (DOU):

Saraí Jimenez (916) 808-5426, SJimenez@cityofsacramento.org

- C18. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU.
- C19. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval.
- C20. Construct new water, sewer, and drainage main extensions and appurtenances per the approved water, sewer, and drainage studies within the proposed public street to the satisfaction of the DOU. The public mains shall be located within the asphalt section of the public right-of-way.
- C21. Provide separate sanitary sewer services to each parcel to the satisfaction of the DOU.
- C22. Prior to or concurrent with the submittal of the building permit application, the applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,000 cubic feet of detention must be provided per each additional acre of impervious area including the proposed public streets. The maximum discharge rate must be limited to an estimated 0.2 cfs/acre. The drainage study shall be consistent with the latest basin 157 drainage model for the project area. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
- C23. The onsite water, sewer, and storm drainage systems located within the private alley, Lot B, shall be private systems maintained by the association, property owner or other approved entity.
- C24. All on-site drainage systems shall be designed to the standards specified in the DOU onsite design manual.
- C25. Prior to the initiation of any water, sewer, and storm drainage services to the project, a homeowner association (HOA), or a privately funded maintenance district shall be formed and

C.C. & R.s shall be approved by the City and recorded assuring maintenance of water, sewer, and storm drainage facilities within the private property. Private easements shall be dedicated for these facilities. The CC&Rs must provide that the City-approved provisions regarding water, sewer, and surface and subsurface private storm drainage facilities may not be revised without City consent. If required by the DOU, the responsible maintenance agency shall enter into and record an agreement with the City regarding the maintenance of these facilities. The agreement shall be to the satisfaction of the DOU and the City Attorney.

- C26. Finished floor elevations shall be a minimum of 1-foot above the 100-year HGL or 1.5-feet above the overland flow release elevation, whichever is higher or as approved by the DOU.
- C27. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- C28. Lot A shall be a privately owned and privately maintained detention basin. The design, construction, and location of the basin shall be to the satisfaction of the DOU. (Note: A maintenance agreement will be required for the proposed detention and stormwater features.)
- C29. All lots shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.
- C30. A grading plan showing existing and proposed elevations is required. Adjacent off- site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- C31. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- C32. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- C33. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is in an area not served by an existing regional water quality control facility, and is less than 20-acres; therefore, only source control, Low Impact Development (LID) measures are required. Improvement plans must include the measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" Chapter 4 for appropriate source control measures and chapter 5 for appropriate LID measures.

- C34. A maintenance agreement will be required for LID measures. Contact DOU for a list of accepted measures considered for LID. Construction drawings must include all proposed source controls, LID measures. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

Fire Department:

King Tunson (916) 808-1358, KTunson@sfd.cityofsacramento.org

- C35. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. California Fire Code Section 501.4
- C36. Private Alley (Lot B) used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; Christopher Circle is less than 30 feet in width and shall be marked "No Parking Fire Lane" on one side.
- C37. Provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org California Fire Code Section 507.4
- C38. Per the most recently adopted California Residential Code, all new residential construction including 1 and 2 family dwellings and townhouses shall be provided with an approved NFPA 13 D sprinkler system.

Park Planning and Development Services (PPDS):

Dana Repan (916) 808-2762, DRepan@cityofsacramento.org

- C39. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
- C40. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Infrastructure, Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org).

Recycling & Solid Waste (RSW):

Adam Roitman, (916) 808-3508, aroitman@cityofsacramento.org

- C41. Project must meet the requirements outlined in City Code Chapter 13.10.
- C42. There must be sufficient space to store a minimum of one garbage, one mixed recycling, and one organics recycling container per parcel. The space needed is approximately 35 inches by 87 inches per unit. The containers shall be placed out of view from any street, sidewalk, or other public right-of-way by fence, landscaping, building, or other barrier or immediately adjacent to the residential building per City Code Chapter 13.10.100.

- C43. There must be sufficient space to set out three containers (garbage, mixed recycling, and organics recycling) in front of each parcel and remain in compliance with City Code Chapter 13.10.100. Depending on service levels, this may mean up to 8 feet of curb space required.
- Future development plans must show where cans will be stored on each parcel.
 - Applicant shall install no parking signs on service day in front of lots 4, 8, 9, and 10 to allow lots located in the private alley to place their containers out for service.
- C44. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and containers safely. Containers must be placed along the curb closest to the property for collection.

Advisory Notes:

Public Works

- C45. House plans shall comply with City Code Chapter 17.508 Driveways.

Recycling & Solid Waste

- C46. Standard Bin and Can Dimensions

Size	Height	Depth	Width
32 gal. can	39 in.	24 in.	19 in.
64 gal. can	40 in.	30 in.	28 in.
96 gal. can	47 in.	35 in.	29 in.
1 yd. bin	4 ft.	2 ft., 9 in.	6 ft., 10 in.
2 yd. bin	4 ft., 5 in.	4 ft.	6 ft., 10 in.
3 yd. bin	5 ft., 1 in.	3 ft., 7 in.	6 ft., 10 in.
4 yd. bin	5 ft., 9 in.	4 ft., 8 in.	6 ft., 10 in.
5 yd. bin	5 ft., 3 in.	5 ft., 9 in.	6 ft., 10 in.
6 yd. bin	6 ft.	5 ft., 10 in.	6 ft., 10 in.

- C47. Standard Truck Dimensions

Type	Height Clearance	Length	Width	Inside Turning Circle Diameter	Pickup Clearance
Side Loader	13 ft.	32 ft.	10 ft.	62 ft.	17 ft.
Rear Loader	13 ft.	35 ft.	10 ft.	47 ft.	13 ft.
Front Loader	14 ft.	33 ft.	10 ft.	49 ft.	25 ft.

Department of Utilities

- C48. Water meters shall be located at the point of service, which is back of curb for separated sidewalks, back of walk for connected sidewalks.
- C49. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMS). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.

- C50. Any proposed private stormwater quality treatment areas will require a maintenance agreement with the city.
- C51. Private drainage taps to the back of public drain inlets are not allowed.
- C52. The applicant shall contact the Army Corp of Engineers for all wetland requirements.
- C53. This project is served by the Separated Sewer System. Therefore, the developer/property owner will be required to pay the Separated Sewer System Development Fee prior to the issuance of building permit per City Council Resolution 2023-0338. The fee will be used to upsize City sewer mains and sewer pumps. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-7890 for a separated sewer fee estimate.
- C54. This project is in Drainage Basin 157 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368.

SacSewer

Robb Armstrong, (916) 876-6104, armstrongro@sacsewer.com

Chika Oya, (916) 875-9810, Okac@sacsewer.com

- C55. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Regional San Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.
- C56. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the City collection system to the Sacramento Regional Wastewater Treatment Plant (SRWTP).

Park Planning and Development Services

- C57. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
- a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$25,080. This is based on the creation of 22 new residential lots at an average land value of \$100,000 per acre for the North Sacramento Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of finalizing conditions on the final map. The Department of Public Works is the lead for resolving the conditions on the map, including the invoicing and payment of the in-lieu fee.
 - b. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is based on the Housing Incentive Zone Rate of \$2.20 per square foot for residential projects, with a minimum rate of \$1,634 for units under 750 square feet and a maximum of \$4,360 for units over 2,000 square feet. Any change in these factors will change the amount of the PIF due.

The fee is calculated using factors at the time that the project is submitted for building permit.

- c. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.



Jose Quintanilla
Associate Planner



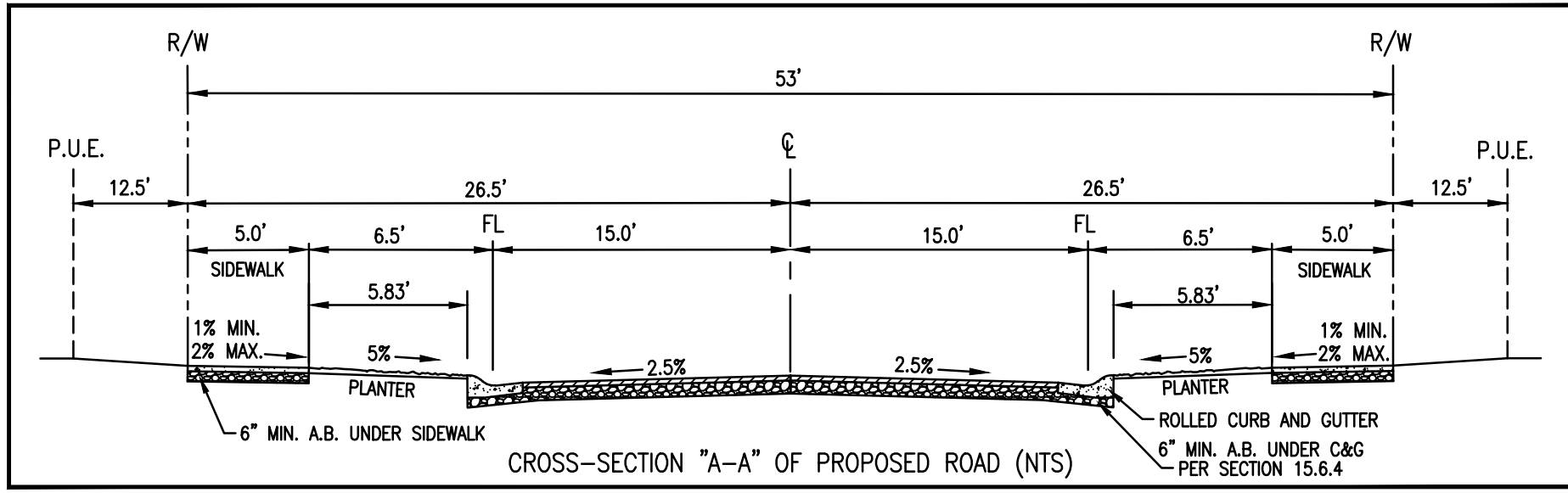
Garrett Norman
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map. A discretionary permit expires and is thereafter void if the use or development project for which the discretionary permit has been granted is not established within the applicable time period. The applicable time period is either three years from the effective date of approval of the discretionary permit; or the time specified by the decision-maker, if so stated in a condition of approval of the discretionary permit. A use or development project that requires a building permit is established when the building permit is secured for the entire development project and construction is physically commenced.

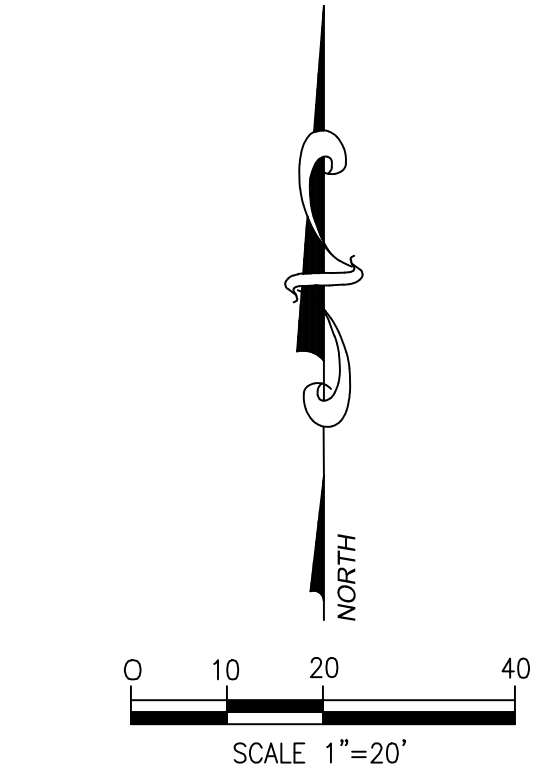
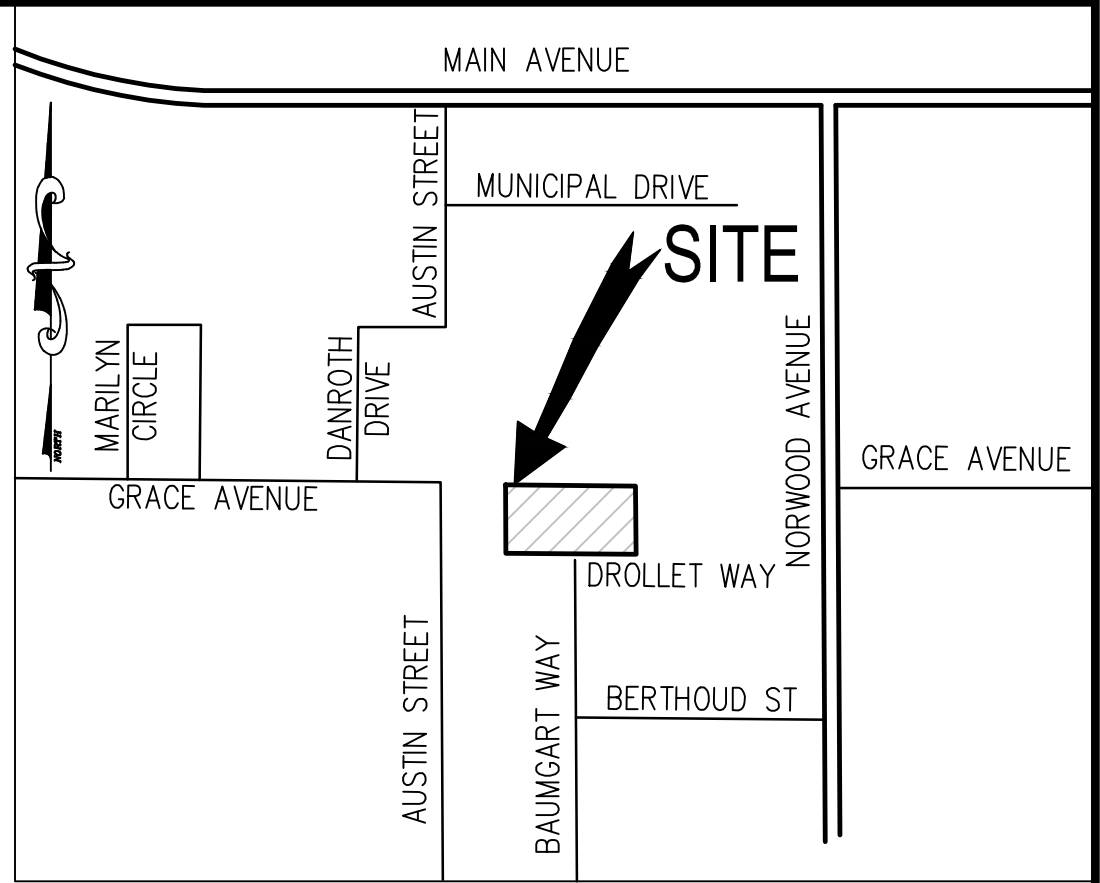
SURVEY NOTES

- 1) A PRELIMINARY TITLE REPORT WAS PROVIDED BY PLACER TITLE COMPANY, DATED JANUARY 8, 2025, ORDER NO. P-653863, FOR THE PREPARATION OF THIS EXHIBIT.
- 2) THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.
- 3) THIS IS NOT A BOUNDARY SURVEY. ADDITIONAL FIELD SURVEY AND RESEARCH WILL BE REQUIRED TO ESTABLISHED THE ACTUAL BOUNDARY.
- 4) THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. JTS ENGINEERING CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES WHICH ARE NOT WITHIN THE RECORD EASEMENT.
- 5) NO MONUMENTS WERE SET AS A PART OF THIS EXHIBIT.
- 6) NO ARBORIST REPORT WAS PROVIDED FOR THE PREPARATION OF THIS EXHIBIT.



NOTES

- 1) "LOT A" IS THE WATER QUALITY DETENTION BASIN TO SERVE THE ENTIRE SUBDIVISION. PRELIMINARY CONCEPTUAL SCHEMATIC ALLOW DETENTION BASIN TO ACCOMMODATE WATER QUALITY REQUIREMENTS AS WELL AS 10-YEAR AND 100-YEAR DEVELOPMENT RUNOFF STORAGE. SEE PRELIMINARY CONCEPTUAL DESIGN SCHEMATIC ON NEXT SHEET.
- 2) "LOT B" IS PROPOSED AS A PRIVATE ALLEY WAY WHICH WILL BE MAINTAINED PRIVATELY.

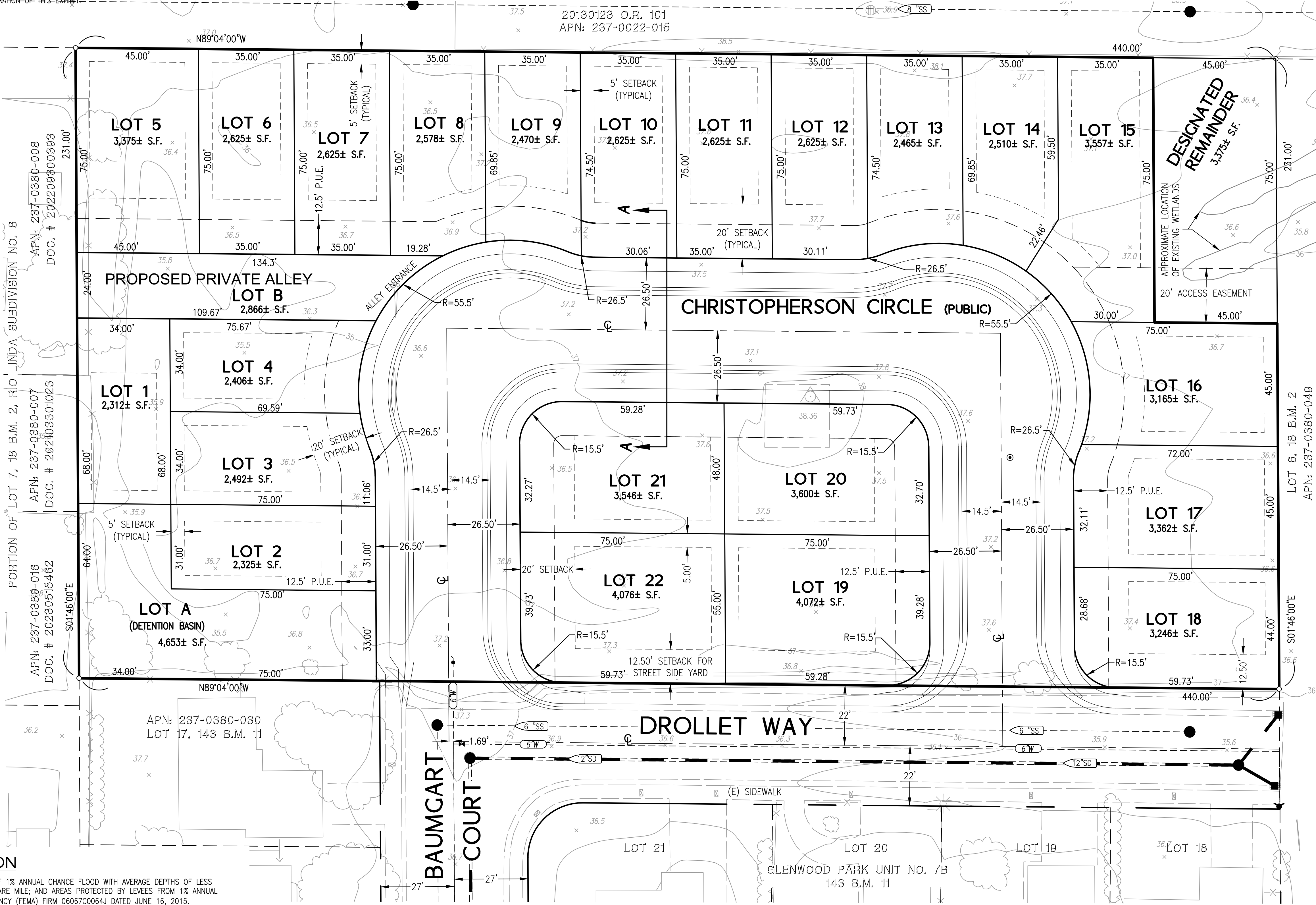


LEGEND

- MANHOLE
DRAIN INLET
WATER LINE
DRAIN LINE
SEWER LINE
GAS LINE
FIRE HYDRANT
WATER VALVE
SEWER CLEAN OUT
WATER METER
FIRE DEPT. CONNECTION
BACK FLOW PREVENTER
CONCRETE CURB
PARKING LIGHT
STREET SIDEYARD
FRONT YARD
REAR YARD
PULL BOX
GAS VALVE
UTILITY POLE
GAS METER
OVER HEAD WIRE
UTILITY POLE W/GUY
PUBLIC STREET LIGHT
SIGN
FENCE
WALL
GUARD POST
VAULT
TRANSFORMER
PROPERTY LINE
RIGHT OF WAY LINE
ADJACENT PROPERTY LINE
ROAD CENTERLINE
EASEMENT
DIMENSION POINT

FLOOD ZONE DESIGNATION

ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FIRM 06067C0064J DATED JUNE 16, 2015.



EXISTING LEGAL DESCRIPTION:

THE NORTH 231 FEET OF THE EAST 440 FEET OF LOT 7, AS SHOWN ON THE "PLAT OF RIO LINDA SUBDIVISION NO. 8", RECORDED IN BOOK 18 OF MAPS, MAP NO. 2, RECORDS OF SAID COUNTY

APN: 237-0380-009

OWNER/
APPLICANT:

EQUITY TRUST COMPANY CUSTODIAN FBO
SCOTT W. CABLE IRA
CONTACT: SCOTT CABLE
2443 FAIR OAKS BLVD, SUITE 145
SACRAMENTO, CA 95825
TEL: (916) 240-0846
EMAIL: scott@cableenterprises.com

ENGINEER:

JTS ENGINEERING CONSULTANTS INC.
1808 J STREET
SACRAMENTO, CA 95811
TEL: (916) 441-6708
FAX: (916) 441-5336
CONTACT: JAVED T. SIDDIQUI, P.E.
EMAIL: javed.siddiqui@jtsengineering.com

PROJECT ADDRESS: 301 DROLLET WAY, SACRAMENTO, CA 95838

EXISTING PROPOSED
A - AGRICULTURE R-1A

ZONING:

GENERAL NO CHANGE

USE:

PARCELS: 1 22 RESIDENTIAL LOTS
1 DETENTION BASIN: LOT A

AREA: 101,640 ±SF (2,333 ±AC) AS SHOWN

SCHOOL DISTRICT: TWIN RIVERS UNIFIED

- REQUEST:
- TO SUBDIVIDE A SINGLE PARCEL TO 22 LOTS, 1 DETENTION BASIN LOT, AND 1 PRIVATE ALLEY LOT
 - TO REZONE EXISTING DESIGNATION FROM A - AGRICULTURE TO R-1A
 - FOR LOTS 1-4 AND LOTS 6-14 TO DEVIATE FROM R-1A ZONING MINIMUM LOT SIZE REQUIREMENT OF 2,900 SQUARE FEET.
 - FOR ALL LOTS TO DEVIATE FROM R-1A ZONING MINIMUM LOT DEPTH REQUIREMENT OF 80 FEET.

UTILITY CONTACTS

TELEPHONE	AT&T	CONNOR FISHER (916) 484-2388
GAS	PG&E	DON HENDRICKS (916) 386-5469
ELECTRICITY	SMUD	RICK BETANCOURT (916) 732-5700
WATER	CITY OF SAC	SARAI OCHOA (916) 808-5426
CABLE	COMCAST	STEVE ABELIA (916) 830-6751
DRAINAGE	CITY OF SAC	SARAI OCHOA (916) 808-5426
SEWER	CITY OF SAC	SARAI OCHOA (916) 808-5426
FIRE	CITY OF SAC	KING TANSON (916) 808-1358
UNDERGROUND SERVICE ALERT	UNDERGROUND SERVICE ALERT	(800) 227-2600

BENCHMARK ELEV. 30.179'
BM 277-H1B
MILTI NAIL LIGHT BASE SW CORNER
NORWOOD AVENUE & BELL AVENUE
FIELD BOOK NO. PG.

JTS ENGINEERING CONSULTANTS, INC.
1808 J STREET
SACRAMENTO CALIFORNIA 95811 (916) 441-6708

DESIGNED: N/A
DRAWN: FMA/MAD
CHECKED: JTS
SUBMITTED: JAVED T. SIDDIQUI RCE: 25924

SCALE:
1"= 20'



NO	DATE	REVISION	APPROVAL	BY

TENTATIVE SUBDIVISION MAP
NORWOOD PLACE
301 DROLLET WAY
APN: 237-0380-009
CITY OF SACRAMENTO
CALIFORNIA
DATE: 4/4/2025
SHEET 1 OF 2

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator approve with conditions a Tentative Parcel Map and recommends the Design Director approve with conditions the Site Plan and Design Review of the map with deviations to the minimum required public street frontage and to reduce the minimum required lot width for the project known as **Z24-101**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination:** Exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 32, Section Number 15332, In-Fill Development.
2. **Tentative Parcel Map** to subdivide one 0.5-acre parcel into 3 residential lots.
3. **Site Plan and Design Review** for review of the map with deviations to the minimum required public street frontage and to reduce the minimum required lot width in the single-unit dwelling (R-1) zone.

PROJECT INFORMATION

Location: 465 Bowman Avenue

Parcel Number: 262-0121-017-0000

Council District: 3 – Karina Talamantes

Applicant/Property Owner: Ahsan Sana, Rising Investment Properties Inc.
1409 Grace Ave,
Sacramento, CA 95838

Project Planner: Jose Quintanilla, Associate Planner, (916) 808-5879

Hearing Date: June 26, 2025

Land Use Information

General Plan Designation: Neighborhood (N)

Community Plan Area: South Natomas

Specific Plan: N/A

Zoning: R-1 (Single-Unit Dwelling)

Special Planning District: N/A

Planned Unit Development: N/A

Design Review Area: Citywide

Parking District: Suburban

Historic District: N/A

Existing Land Use of Site: Vacant

Surrounding Zoning and Land Uses

North:	R-1	Residential
South:	R-1	Residential
East:	R-1	Residential
West:	R-1; RMX-SPD	Residential; Commercial

Site Characteristics

Existing Property Area:	21,780 square feet / 0.5 acres
Topography:	Flat
Street Improvements:	Required
Utilities:	Required

Other Information

Previous Files:	W6559 (Demolition of Residential Building)
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ATTACHMENTS

Attachment 1: Tentative Parcel Map

Attachment 2: Driveway Variance, DRV25-0012

PROPOSED PROJECT AND ANALYSIS

Background

The project site (North ½ of Lot 63, Gardenland Subdivision No. 2, April 1926) is a rectangular-shaped property in the Gardenland area of South Natomas. Aerial imagery and building permit records indicate that there was once a dwelling on the site that was demolished in October 1973. There has been no development on the site since, with the site being used as storage space for the adjacent property.

The project site is landlocked with access from Bowman Avenue available through a 15-foot-wide easement on the neighboring property at 455 Bowman Ave (APN: 262-0121-018-0000). The property adjacent to the subject site, 501 Bowman Ave (APN: 262-0121-016-0000) is similarly landlocked, with access also available through the subject site and 455 Bowman, except that this property has a 20-foot-wide access easement as opposed to the 15-foot-wide easement benefiting the subject site.

There is no home construction proposed with this application and any future request to develop the parcel with dwellings will require review and approval of a separate Site Plan and Design Review entitlement.

Project Details

The project proposes the subdivision of one 0.5-gross-acre parcel into three residential parcels. The proposed project requires entitlements for a Tentative Parcel Map (TPM), and Site Plan and Design Review with deviations to the minimum required public street frontage and to reduce the minimum required lot width. No house plans are proposed with this request.

This request requires a public hearing before the Zoning Administrator and Design Director.

Tentative Parcel Map (TPM) and Site Plan and Design Review (SPDR)

The applicant is proposing to subdivide the existing parcel into three residential parcels with easements for shared driveways. This map requires deviations to the minimum required public street frontage and to reduce the minimum required lot width. Applicable R-1 zone standards for new lots are shown in Table 1, below. Staff supports the deviation requests as the parcels can accommodate

residential development and adequate access, and turnaround areas have been provided on site through a private driveway.

Table 1: R-1 Development Standards: Lot sizes, width, and depth (17.204.230)							
Lot	Min. Lot Size (sq. ft.): 5,200 / 6,200 (corner)		Min. Lot Width (ft.): 52 (interior) / 62 (corner)		Required Lot Depth (ft.): Min. 80 - Max. 160		Street Frontage
	Proposed	Deviation	Proposed	Deviation	Proposed	Deviation	Deviation
All	5,949 – 9,885	N	48.94 - 97.89	Y	100.95 – 121.61	N	Y
1	9,885	N	97.89	N	100.95	N	Y
2	5,949	N	48.94	Y	121.61	N	Y
3	5,949	N	48.94	Y	121.61	N	Y

Because of the existing narrow easement that this development will use to access the new parcels, the Fire Department and Recycling and Solid Waste have provided conditions of approval necessary to safely serve the site. The Fire Department has conditioned any future residential development to include fire sprinklers beyond those typically required of this type of development. Specifically, fire sprinklers are required in bathrooms, closets, and attics. Recycling and Solid waste has indicated that a garbage truck cannot access the site and has provided an advisory informing the applicant that all trash service for this development will be on Bowman Avenue, meaning that residents will need to wheel their trash bins to Bowman Avenue because of the narrow access easement.

Site Access

As mentioned above, access to the site is from Bowman Avenue through a 15-foot-wide easement on the neighboring property at 455 Bowman Ave (APN: 262-0121-018-0000). Because of the narrowness of the easement, a driveway variance was required by the Department of Public Works. City Code requires that driveways serving two or more units be 24-foot-wide and be located more than 5 feet away from the side property line. The approved variance (DRV25-0012) will allow the existing 15-foot driveway, which is located at the property line, to serve the proposed development.

Public Street Frontage

Per City Code Section 17.500.010(C) all subdivisions shall result in lots that can be used or built upon and except for lots within a planned unit development, all residentially zoned lots shall have not less than 20 feet of public street frontage, approved private street frontage, or alley frontage. This project includes a deviation request to create parcels without public street frontage. All of the proposed lots require a deviation to this requirement. Staff is supportive of this deviation as adequate access to the site has been provided.

Subdivision Review Committee

The proposed map was heard at the Subdivision Review Committee on May 21, 2025. During the meeting, the proposed conditions of approval for the TPM were accepted by the applicant and forwarded by the Committee. The resulting conditions are provided in the Conditions of Approval.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to Benito Juarez Neighborhood Association, Gardenland/Northgate Neighborhood Association, Natomas Chamber of Commerce, Natomas Community Association, Rancho Del Paso Neighborhood Association, South Natomas Improvement Association, South Natomas United, Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders. Staff received comments from the immediate neighbor inquiring about the scope of

the project and expressing concerns about the access easement on his property which benefits the project site.

All property owners and residents within 500 feet of the subject site, as well as the neighborhood association, were mailed a public hearing notification. The site was posted with project information after submittal and prior to the Public Hearing.

ENVIRONMENTAL DETERMINATION

Environmental Planning Services of the Community Development Department has reviewed this project and determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15332, In-Fill Development. The project is consistent with the Neighborhood general plan designation and the R-1 zone. The site is within city limits on a 0.5-acre parcel that is substantially surrounded by developed urban areas. The project has no value as habitat for endangered, rare, or threatened species. Lastly, the site can be adequately served by all required utilities and public services, and approval of the project would not result in any significant effects regarding traffic, noise, air quality, or water quality.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the city must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new developments will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016, and the SAFCA 2024 Adequate Progress Annual Report accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

FINDINGS OF FACT

A. Environmental Exemption: Exemption, (Per California Environmental Quality Act (CEQA) Guidelines, Class 32, Section 15332, In-Fill Development).

1. Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the project, the Zoning Administrator and Design Director have determined the project is exempt from review under Section 15332, In-Fill Development of the California Environmental Quality Act (CEQA) The project qualifies for this exemption for the following reasons:
 - a. the project is consistent with the Neighborhood general plan designation and the R-1 zoning designation in that the proposed project is an allowable use under the zoning designation.

- b. the proposed development occurs within Sacramento city limits on a project site of no more than five acres that is substantially surrounded by developed urban areas.
- c. the project has no value as habitat for endangered, rare, or threatened species.
- d. approval of the project would not result in any significant effects regarding traffic, noise, air quality, or water quality.
- e. the site can be adequately served by all required utilities and public services.

B. Tentative Parcel Map to subdivide one 0.5-acre parcel into 3 residential lots **is approved** based on the following Findings of Fact:

1. None of the conditions described in Government Code section 66476 exist with respect to the proposed subdivision as follows:
 - a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code.
 - b. The design and improvement of the proposed subdivision is consistent with the General Plan, and all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code.
 - c. The site is physically suitable for the type of development.
 - d. The site is physically suitable for the proposed density of development.
 - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat.
 - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems.
 - g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5).
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6).
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1).

5. The City has considered the effect of the approval of this tentative parcel map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

C. **Site Plan and Design Review** for review of the map with deviations to the minimum required public street frontage and to reduce the minimum required lot width in the single-unit dwelling (R-1) zone **is approved** based on the following Findings of Fact:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan designation of Neighborhood, in that this designation allows for single-unit dwelling subdivisions at a density between three to eight dwelling units per net acre; and
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from design guidelines or development standards are approved, the proposed development is consistent with the purpose and intent of the applicable design guidelines and development standards. This development requires deviations to reduce the minimum required lot width. The deviations are consistent with the purpose and intent of the Planning and Development Code in that 1) the two deviating parcels are of equal size and width and can adequately accommodate future infill development; and 2) the project otherwise meets applicable development standards within the R-1 zone; and
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards in that the proposed private driveway has been reviewed by the Department of Public Works and a Driveway Variance has been processed for the driveway's narrow width and proximity to the interior side property line; and
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the proposed layout accounts for safe and efficient vehicle, bicycle, and pedestrian circulation; and
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged in that the proposed project must comply with CalGreen Building Code regulations; and
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that this project develops a vacant and underutilized property.

CONDITIONS OF APPROVAL

- B. **Tentative Subdivision Map** to subdivide one 0.5-acre parcel into 3 residential lots **is approved** subject to the following Conditions of Approval:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map approved for this project (Z24-101). The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

The City strongly encourages the applicant to thoroughly discuss the conditions of approval for the project with their Engineer/Land Surveyor consultants prior to Zoning Administrator approval. The improvements required of a Tentative Map can be costly and are completely dependent upon the condition of the existing improvements. Careful evaluation of the potential cost of the improvements required by the City will enable the applicant to ask questions of the City prior to project approval and will result in a smoother plan check process after project approval:

General: All Projects

- B1. This tentative map approval expires on June 26, 2028, 36 months from its approval date.

Time extensions to extend the expiration date of the tentative map may be granted as provided in [Section 17.828.170.A](#). Time extensions are discretionary and not the automatic right of the applicant.

- B2. Private reciprocal ingress, egress, and maneuvering easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement for Conveyance of Easements with the City stating that a private reciprocal ingress/egress, and maneuvering easement shall be conveyed to and reserved from appropriate parcels at no cost, at the time of sale or other conveyance of either parcel.

- B3. Show all continuing and proposed/required easements on the Final Parcel Map.

Public Works:

Zarah Lacson (916) 808-8494, ZLacson@cityofsacramento.org

- B4. Construct standard subdivision improvements as noted in these conditions pursuant to section 17.504.050 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards.
- B5. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City

Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.

Sacramento Municipal Utilities District (SMUD):

Ellen Springer, (916) 732-5989, Ellen.Springer@smud.org

- B6. SMUD has existing overhead secondary facilities on the project site that will need to remain. SMUD also has existing overhead 12kV and low voltage/secondary facilities on the north side of Lot 2 and Lot 3 that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- B7. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. Applicant shall be responsible for confirming with SMUD appropriate/acceptable landscaping including placement within the easement area.
- SMUD reserves the right to prune & remove trees that encroach into the easement area. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval. New landscaping improvements shall be restricted to a maximum height of fifteen feet tall at full maturity.
- B8. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal. Applicant is further made aware that the proposed location of any relocated facilities will be subject to SMUD's vegetation management practices including restrictions of 15 feet high at full maturity and placement of trees within SMUD easements. Applicant shall bear cost to remove vegetation or trees located within proposed new facilities area and SMUD retains the right to engage in customary vegetation management practices at proposed new location after facility relocation. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- B9. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs, including but not limited to vegetation management, tree pruning or removal, weed abatement and application of weed abatement material, and a height restriction of fifteen feet tall at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- B10. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the County's IOD. Landscaping improvements placed within the IOD or 12.5-foot PUE shall be subject to SMUD's landscaping and tree placement guidelines and SMUD's regular vegetation management practices including but not limited to restriction of 15 feet high at maturity and spacing as well as tree pruning, removal, or other standard vegetation management activities.

Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.

- B11. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.
- B12. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
- B13. The Applicant shall dedicate 2.5-feet of Lot 2 and 2.5' of Lot 3 along the shared property line of Lot 2 and Lot 3 as a public utility easement for underground facilities and appurtenances. The PUE area shall be subject to SMUD's landscaping and tree placement guidelines within the easement area and such landscaping shall be subject to SMUD's vegetation management practices including but not limited to tree pruning, removal, a height limit of fifteen feet tall at full maturity and weed abatement. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- B14. Maintain proper clearance for bioretention/detention basins from PUE and/or SMUD easements.

SacSewer

Robb Armstrong, (916) 876-6104, armstrongro@sacsewer.com

- B15. Prior to the RECORDATION OF THE PARCEL SPLIT: The legal description of the newly created parcels must include dedication of a private sewer easement. A note must be placed upon the plans stating, "A private sewer easement for the installation and or maintenance of a private sanitary sewer line across any of the parcels to serve another parcel shall be dedicated upon the close of escrow."
- B16. Prior to RECORDATION OF THE FINAL MAP: Permanent structures, walls, signs and footings will not be permitted within the SacSewer easement area or private sewer easement area unless express written permission is obtained from SacSewer.
- B17. Prior to the APPROVAL OF IMPROVEMENT PLANS: Installation of a public cleanout is required at the right-of-way. These improvements must be shown on the plans.
- B18. Prior to the APPROVAL OF IMPROVEMENT PLANS: The minimum size for public sewer mainlines is 8-inch diameter. Public sewer must be located in the right-of-way when possible. The design engineer must satisfactorily demonstrate that placing the main line within a road ROW is not possible before locating a main line in a dedicated public sewer easement as approved by SacSewer. These improvements must be shown on the plans.
- B19. Prior to the APPROVAL OF IMPROVEMENT PLANS: To obtain sewer service, construction of SacSewer sewer infrastructure will be required. Current SacSewer Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.
- B20. Prior to the APPROVAL OF IMPROVEMENT PLANS: The proposed onsite sewer crossing parcel boundaries is prohibited.

- B21. Prior to the APPROVAL OF IMPROVEMENT PLANS: SacSewer requires each building on each lot with a sewage source to have a separate connection to SacSewer's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line upstream of any connection to the SacSewer sewer. Buildings on separate parcels must have a separate connection to a private or public sewer main line collector built to SacSewer's standards. This includes pipes designed at a minimum of 8-inches in diameter and 48-inch manholes as needed. If a private sewer main line is desired, a Private Sewer Maintenance Agreement must be executed with SacSewer before plan approval to ensure the private owner properly maintains the private main line collector. These improvements must be shown on the plans.
- B22. Prior to the APPROVAL OF IMPROVEMENT PLANS: Private sewer main lines shall meet SacSewer Standards for collectors. A Private Sewer Maintenance Agreement shall be executed between SacSewer and the owner(s) of all lots to be served by the private sewer main line to ensure that the owner(s) will be solely responsible for the operation and maintenance of the onsite sewer, including the private main line.
- B23. Prior to the APPROVAL OF IMPROVEMENT PLANS: Sewer easements will be required to service this parcel. All public sewer easements will be dedicated to SacSewer in a form approved by the District Engineer. All public sewer easements will be at least 20 feet in width and will require continuous access for installation and maintenance. SacSewer will only provide maintenance in public right-of-ways and SacSewer dedicated sewer easements. No awning or overhang may encroach on the easement area. At minimum, an all-weather access road must be provided to all manholes.
- B24. Prior to the APPROVAL OF IMPROVEMENT PLANS: Construction of sewer mainlines are prohibited within 100-year flood plains. The location of the 100-year flood plain must be shown on the improvement plan.
- B25. Prior to the APPROVAL OF IMPROVEMENT PLANS: All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.
- B26. Prior to the APPROVAL OF IMPROVEMENT PLANS: All manholes not within public right of way must be accessible with an all-weather access road.
- B27. Prior to the APPROVAL OF IMPROVEMENT PLANS: Alignment of all main lines and structures must provide a minimum of 1 foot vertical clearance and 5 feet horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.
- B28. Prior to the SUBMITTAL OF IMPROVEMENT PLANS: For this project, SacSewer requires a Level 3 sewer study prior to the submittal of improvement plans for plan check to SacSewer. The sewer study shall demonstrate the quantity of discharge and any "flow through sewage" along with appropriate pipe sizes and related appurtenances from this subject and other upstream areas and shall be done in accordance with SacSewers' most recent "Minimum Sewer Study Requirements". The study shall be done on a no "Shed-Shift" basis unless approved by SacSewer in advance and in compliance with SacSewer Design Standards.

- B29. Prior to the APPROVAL OF IMPROVEMENT PLANS. Any landscaping within easement areas is limited to lawn or similar groundcover, or plant species that are not environmentally protected and whose mature growth does not exceed five feet in height. When planting, place a root barrier system, such as trifluralin fabric, between the main lines or laterals and any trees or shrubs planted within the easement area.

Department of Utilities (DOU):

Saraí Jimenez, (916) 808-5426, SJimenez@cityofsacramento.org

- B30. All existing easements and all existing right-of-ways shall be shown on the Final Map, except for all abandoned easements and right-of-ways.
- B31. The applicant shall grant and reserve easements, as needed for private drainage facilities and surface storm drainage, at no cost at or before the time of sale or other conveyance of any parcel or lot. A note stating the following shall be placed on the Final Map: "Reciprocal easements for drainage facilities and surface storm drainage shall be granted and reserved, as necessary and at no cost, at or before the time of sale or conveyance of any parcel shown in this map. A private maintenance agreement specifying future maintenance requirements and cost sharing for any common private utilities shall be recorded prior to the sale of any parcel shown on this map."
- B32. Easements for water meters shall be dedicated to the City and shall include language assuring unrestricted access at all times for DOU personnel and maintenance vehicles.
- B33. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval. (Note: A water service agreement is required for the proposed common private water line and shall be to the satisfaction of the DOU.)
- B34. Prior to or concurrent with the submittal of the building permit application, the applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,600 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to an estimated 0.18 cfs/acre. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage

study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)

- B35. This project is in Drainage Basin 102 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368.
- B36. The onsite storm drainage and water systems shall be private systems operated and maintained by the property owners. Prior to the initiation of any storm drainage services to the project, C.C. & R.s approved by the City shall be recorded that outlines the operation, maintenance, and repair of the onsite storm drainage facilities within the project in accordance with all applicable provisions of Title 13 of the Sacramento City Code. The CC&Rs must provide that the City-approved provisions regarding surface and subsurface storm drainage facilities may not be revised without City consent.
- B37. Finished floor elevations shall be a minimum of 1-foot above the most downstream adjacent City drainage inlet or 1.5-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
- B38. All lots shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.
- B39. A grading plan showing existing and proposed elevations is required. Adjacent off- site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- B40. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B41. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area.
- B42. The proposed project is located in a Special Flood Hazard Area (SFHA), designated as A99 zone by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). As of July 1, 2024, new regulations to this area apply as contained in the current Comprehensive Flood Management Plan (CFMP). Any new construction of and/or substantial improvement to any structure must have the lowest floor, including the basement, elevated at least 12-inches above the highest adjacent 100-year event HGL of the City's drainage system and at least 18-inches above the Controlling Overland Release Point in the public right-of-way. Also, a Hold Harmless Agreement, and an Elevation or Floodproofing Certificate or both (commercial properties have the option of floodproofing if elevation is not feasible) will be required.

Fire Department:

King Tunson (916) 808-1358, KTunson@sfd.cityofsacramento.org

- B43. Dead ends exceeding 150 feet in length require an approved Fire Department turnaround (45' radius cul-de-sac or city standard hammerhead). California Fire Code Section 503.2.5 ***The proposed turn-around appears to have an inside radius of only 25' instead of the required 35'.***
- B44. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. California Fire Code Section 503.2.1 ***The first 228' of the entrance drive is shown as having only 15' of ingress/egress easement with fencing that reduces the overall drive lane down to approximately 13' 9". An approved Alternate Means or Method for compliance may be required if the minimum required width of 20' is not obtainable.***
- Per agreement with the City of Sacramento Fire Department, a modified 13D sprinkler system that includes sprinkler coverage required to be provided in bathrooms, closets, garages and attics, etc. will be considered an approved Alternate Means or Method of compliance.***
- B45. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. California Fire Code Section 503.2.3 ***Access roads shall be designed and maintained to support the imposed loads of fire apparatus (70,000 Lbs) and shall be provided with a roadbed consisting of material unaffected by the introduction of water based upon fire flow or rain based on 25-year storm and a surface consisting of a minimum of a single layer of asphalt.***
- B46. Provide the required fire hydrants in accordance with California Fire Code Section 507 and Appendix C, Section C102.1 as amended the Sacramento City Code Section 507.5.1. ***An onsite fire hydrant is required if the distance from a public fire hydrant exceeds 250' to the farthest portion of a residence.***
- B47. Fire service mains shall not cross property lines unless a reciprocal easement agreement is provided.
- B48. Maintenance agreements shall be provided for the interior roadways of the proposed complex and for the fire protection systems. The agreement shall be record with the Public Records Office having jurisdiction and shall provide for the following:
- a. Provisions for the necessary repair and maintenance of the roadway surface
 - b. Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") and/or width of twenty feet (20')
 - c. Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping
 - d. Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems
 - e. Unrestricted use of and access to the roadways covered by the agreements.
 - f. Provisions for the control of vehicle parking in prohibited areas and a mechanism for the removal of vehicles illegally parked.

- g. Maintenance and timely repair of all fire protection systems, including but not limited to hydrants, fire alarm systems and fire sprinklers.

Park Planning and Development Services (PPDS):

Dana Repan (916) 808-2762, DRepan@cityofsacramento.org

- B49. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
- B50. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (*Contact Infrastructure Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org*)

Miscellaneous

- B51. CC&R's shall be approved by the City and recorded assuring maintenance of private roadway(s), shared driveways, lights, landscaping, sewers, drains and water systems.

Advisory Notes:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- B52. If unusual amounts of bone, stone, or artifacts are uncovered, work, in the area within the distance required by federal and state regulations, will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.

Public Works

- B53. The subject property has been granted a driveway variance permit (DRV25-0012) to allow a driveway serving more than two residential units to be less than 24-ft in width and to be located within 10-ft of the side property line.

Department of Utilities

- B54. The proposed development is located within Sacramento Area Sewer District (SacSewer). Satisfy all SacSewer requirements.
- B55. The applicant is responsible for obtaining all necessary permits, easements, and approvals from federal, state, and local agencies for the construction of this project.
- B56. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

SacSewer

- B57. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Regional San Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.
- B58. ONGOING: Any use of SacSewer sewer easements, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of SacSewer sanitary sewer(s), must not be allowed. Each proposed use must be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes landscaping.

SMUD

- B59. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre- engineering meeting with all utilities to ensure property clearances are maintained.
- B60. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- B61. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>. Applicant shall coordinate individual service panel location placement with SMUD Design Department.

Park Planning and Development Services

- B62. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
 - a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$4,617. This is based on the subdivide to create three lots at an average land value of \$135,000 per acre for the South Natomas Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment. The fee is due at the time of the final map.
 - b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

Recycling and Solid Waste

- B63. Applicant to provide a trash management plan detailing the storage of containers on each parcel and the placement of containers for collection on Bowman Avenue when submitting building plans.
- B64. The Recycling and Solid Waste Division reserves the right to mandate bin (dumpster) service to ensure efficient collection.

- C. **Site Plan and Design Review** for review of the map with deviations to the minimum required public street frontage and to reduce the minimum required lot width in the single-unit dwelling (R-1) zone **is approved** subject to the following Conditions of Approval:

Planning & Design Review:

Jose R. Quintanilla (916) 808-5879, JQuintanilla@cityofsacramento.org

General

- C1. This discretionary permit expires on June 26, 2028, three (3) years from the effective date of approval
- Time extensions to establish a use, construct a development project, or to demolish a structure may be granted as provided in Section 17.808.400.B. Time extensions are discretionary and not the automatic right of the applicant.
- C2. This approval is for the subdivision of one parcel into 3 residential lots as shown on the approved Tentative Parcel Map.
- C3. Development of the site shall be in compliance with the approved plans and these conditions of approval. Any modification(s) to the project shall be subject to review and approval by Planning staff (and may require additional entitlements) prior to the issuance of building permits.
- C4. No building permit shall be applied for until after the expiration of the 10-day appeal period, unless approved through a concurrent review. If an appeal is filed, no permit shall be issued until final approval is received.
- C5. The applicant shall obtain all necessary building and encroachment permits prior to commencement of construction.

Sacramento Municipal Utilities District (SMUD):

Ellen Springer, (916) 732-5989, Ellen.Springer@smud.org

- C6. SMUD has existing overhead secondary facilities on the project site that will need to remain. SMUD also has existing overhead 12kV and low voltage/secondary facilities on the north side of Lot 2 and Lot 3 that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- C7. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
- C8. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. Applicant shall be responsible for confirming with SMUD appropriate/acceptable landscaping including placement within the easement area.
- SMUD reserves the right to prune & remove trees that encroach into the easement area. Applicant shall submit landscape improvement plans with tentative or final map as a condition

of approval. New landscaping improvements shall be restricted to a maximum height of fifteen feet tall at full maturity.

- C9. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal. Applicant is further made aware that the proposed location of any relocated facilities will be subject to SMUD's vegetation management practices including restrictions of 15 feet high at full maturity and placement of trees within SMUD easements. Applicant shall bear cost to remove vegetation or trees located within proposed new facilities area and SMUD retains the right to engage in customary vegetation management practices at proposed new location after facility relocation. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- C10. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs, including but not limited to vegetation management, tree pruning or removal, weed abatement and application of weed abatement material, and a height restriction of fifteen feet tall at full maturity. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- C11. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- C12. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the County's IOD. Landscaping improvements placed within the IOD or 12.5-foot PUE shall be subject to SMUD's landscaping and tree placement guidelines and SMUD's regular vegetation management practices including but not limited to restriction of 15 feet high at maturity and spacing as well as tree pruning, removal, or other standard vegetation management activities. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.
- C13. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
- C14. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.
- C15. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.
- C16. The Applicant shall dedicate 2.5-feet of Lot 2 and 2.5' of Lot 3 along the shared property line of Lot 2 and Lot 3 as a public utility easement for underground facilities and appurtenances. The PUE area shall be subject to SMUD's landscaping and tree placement guidelines within the

easement area and such landscaping shall be subject to SMUD's vegetation management practices including but not limited to tree pruning, removal, a height limit of fifteen feet tall at full maturity and weed abatement. Applicant shall submit landscape improvement plans with tentative or final map as a condition of approval.

- C17. Maintain proper clearance for bioretention/detention basins from PUE and/or SMUD easements.

SacSewer

Robb Armstrong, (916) 876-6104, armstrongro@sacssewer.com

- C18. Prior to the RECORDATION OF THE PARCEL SPLIT: The legal description of the newly created parcels must include dedication of a private sewer easement. A note must be placed upon the plans stating, "A private sewer easement for the installation and or maintenance of a private sanitary sewer line across any of the parcels to serve another parcel shall be dedicated upon the close of escrow."
- C19. Prior to RECORDATION OF THE FINAL MAP: Permanent structures, walls, signs and footings will not be permitted within the SacSewer easement area or private sewer easement area unless express written permission is obtained from SacSewer.
- C20. Prior to the APPROVAL OF IMPROVEMENT PLANS: Installation of a public cleanout is required at the right-of-way. These improvements must be shown on the plans.
- C21. Prior to the APPROVAL OF IMPROVEMENT PLANS: The minimum size for public sewer mainlines is 8-inch diameter. Public sewer must be located in the right-of-way when possible. The design engineer must satisfactorily demonstrate that placing the main line within a road ROW is not possible before locating a main line in a dedicated public sewer easement as approved by SacSewer. These improvements must be shown on the plans.
- C22. Prior to the APPROVAL OF IMPROVEMENT PLANS: To obtain sewer service, construction of SacSewer sewer infrastructure will be required. Current SacSewer Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.
- C23. Prior to the APPROVAL OF IMPROVEMENT PLANS: The proposed onsite sewer crossing parcel boundaries is prohibited.
- C24. Prior to the APPROVAL OF IMPROVEMENT PLANS: SacSewer requires each building on each lot with a sewage source to have a separate connection to SacSewer's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line upstream of any connection to the SacSewer sewer. Buildings on separate parcels must have a separate connection to a private or public sewer main line collector built to SacSewer's standards. This includes pipes designed at a minimum of 8-inches in diameter and 48-inch manholes as needed. If a private sewer main line is desired, a Private Sewer Maintenance Agreement must be executed with SacSewer before plan approval to ensure the private owner properly maintains the private main line collector. These improvements must be shown on the plans.

- C25. Prior to the APPROVAL OF IMPROVEMENT PLANS: Private sewer main lines shall meet SacSewer Standards for collectors. A Private Sewer Maintenance Agreement shall be executed between SacSewer and the owner(s) of all lots to be served by the private sewer main line to ensure that the owner(s) will be solely responsible for the operation and maintenance of the onsite sewer, including the private main line.
- C26. Prior to the APPROVAL OF IMPROVEMENT PLANS: Sewer easements will be required to service this parcel. All public sewer easements will be dedicated to SacSewer in a form approved by the District Engineer. All public sewer easements will be at least 20 feet in width and will require continuous access for installation and maintenance. SacSewer will only provide maintenance in public right-of-ways and SacSewer dedicated sewer easements. No awning or overhang may encroach on the easement area. At minimum, an all-weather access road must be provided to all manholes.
- C27. Prior to the APPROVAL OF IMPROVEMENT PLANS: Construction of sewer mainlines are prohibited within 100-year flood plains. The location of the 100-year flood plain must be shown on the improvement plan.
- C28. Prior to the APPROVAL OF IMPROVEMENT PLANS: All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.
- C29. Prior to the APPROVAL OF IMPROVEMENT PLANS: All manholes not within public right of way must be accessible with an all-weather access road.
- C30. Prior to the APPROVAL OF IMPROVEMENT PLANS: Alignment of all main lines and structures must provide a minimum of 1 foot vertical clearance and 5 feet horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.
- C31. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees are to be paid prior to the issuance of building permits.
- C32. Prior to the SUBMITTAL OF IMPROVEMENT PLANS: For this project, SacSewer requires a Level 3 sewer study prior to the submittal of improvement plans for plan check to SacSewer. The sewer study shall demonstrate the quantity of discharge and any “flow through sewage” along with appropriate pipe sizes and related appurtenances from this subject and other upstream areas and shall be done in accordance with SacSewers’ most recent “Minimum Sewer Study Requirements”. The study shall be done on a no “Shed-Shift” basis unless approved by SacSewer in advance and in compliance with SacSewer Design Standards.
- C33. Prior to the APPROVAL OF IMPROVEMENT PLANS. Any landscaping within easement areas is limited to lawn or similar groundcover, or plant species that are not environmentally protected and whose mature growth does not exceed five feet in height. When planting, place a root barrier system, such as trifluralin fabric, between the main lines or laterals and any trees or shrubs planted within the easement area.

Department of Utilities (DOU):

Saraí Jimenez, (916) 808-5426, SJimenez@cityofsacramento.org

- C34. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU.
- C35. Easements for water meters shall be dedicated to the City and shall include language assuring unrestricted access at all times for DOU personnel and maintenance vehicles.
- C36. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval. (Note: A water service agreement is required for the proposed common private water line and shall be to the satisfaction of the DOU.)
- C37. Prior to or concurrent with the submittal of the building permit application, the applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual and/or the Design and Procedures Manual, for review and approval by the DOU. Per the current DOU Onsite Design Manual, either a static or dynamic analysis for mitigating sizing and drainage system design may be used. Using the static analysis and per the DOU onsite project storage method, an estimated 7,600 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to an estimated 0.18 cfs/acre. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
- C38. This project is in Drainage Basin 102 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368.
- C39. The onsite storm drainage and water systems shall be private systems operated and maintained by the property owners. Prior to the initiation of any storm drainage services to the project, C.C. & R.s approved by the City shall be recorded that outlines the operation, maintenance, and repair of the onsite storm drainage facilities within the project in accordance with all applicable provisions of Title 13 of the Sacramento City Code. The CC&Rs must provide that the City-approved provisions regarding surface and subsurface storm drainage facilities may not be revised without City consent.

- C40. Finished floor elevations shall be a minimum of 1-foot above the most downstream adjacent City drainage inlet or 1.5-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
- C41. All lots shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.
- C42. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- C43. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- C44. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area.
- C45. The proposed project is located in a Special Flood Hazard Area (SFHA), designated as A99 zone by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). As of July 1, 2024, new regulations to this area apply as contained in the current Comprehensive Flood Management Plan (CFMP). Any new construction of and/or substantial improvement to any structure must have the lowest floor, including the basement, elevated at least 12-inches above the highest adjacent 100-year event HGL of the City's drainage system and at least 18-inches above the Controlling Overland Release Point in the public right-of-way. Also, a Hold Harmless Agreement, and an Elevation or Floodproofing Certificate or both (commercial properties have the option of floodproofing if elevation is not feasible) will be required.

Fire Department:

King Tunson (916) 808-1358, KTunson@sfd.cityofsacramento.org

- C46. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. California Fire Code Section 501.4
- C47. Upon submitting improvement plans for review, provide means of identifying that the farthest projection of the exterior wall of a building shall be accessible from within 200 ft of an approved Fire Department access road (minimum 20' wide) and 250' approved water supply as measured by an unobstructed route around the exterior of the building. (California Fire Code Sections 503.1.1 & 507.5.1)
- C48. Upon submitting improvement plans for review, identify that roads used for Fire Department access less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

- C49. Upon submitting improvement plans for review, identify that Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. California Fire Code Section 503.2.3 ***Access roads shall be designed and maintained to support the imposed loads of fire apparatus (70,000 Lbs) and shall be provided with a roadbed consisting of material unaffected by the introduction of water based upon fire flow or rain based on 25-year storm and a surface consisting of a minimum of a single layer of asphalt.***
- C50. Upon submitting improvement plans for review, provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org California Fire Code Section 507.4
- C51. Per the most recently adopted California Residential Code, all new residential construction including 1 and 2 family dwellings and townhouses shall be provided with an approved NFPA 13 D sprinkler system.
- Per agreement with the City of Sacramento Fire Department, a modified 13D sprinkler system that includes sprinkler coverage required to be provided in bathrooms, closets, garages and attics, etc. will be required.***

Park Planning and Development Services (PPDS):

Dana Repan (916) 808-2762, DRepan@cityofsacramento.org

- C52. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
- C53. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Infrastructure, Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org).

Recycling and Solid Waste:

Adam Roitman, (916) 808-3508, aroitman@cityofsacramento.org

- C54. Project must meet the requirements outlined in City Code Chapter 13.10.
- C55. There must be sufficient space to store a minimum of one garbage container and one mixed recycling container per unit and one organics recycling container per parcel. The space needed is approximately 35 inches by 87 inches per unit. The containers shall be placed out of view from any street, sidewalk, or other public right-of-way by fence, landscaping, building, or other barrier or immediately adjacent to the residential building per City Code Chapter 13.10.100.
- C56. There must be sufficient space to set out three containers (garbage, mixed recycling, and organics recycling) in front of each parcel and remain in compliance with City Code Chapter 13.10.100. Depending on service levels, this may mean up to 8 feet of curb space required.

C57. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and containers safely. Containers must be placed along the curb closest to the property for collection.

a. All containers shall be placed on Bowman Avenue for service.

Advisory Notes:

Building Division

C58. The plans are required to comply with the California Building Standards Code (California Code of Regulations Title 24 Volumes 1-12)

Fire Department

C59. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. California Fire Code Section 503.2.1 The first 228' of the entrance drive is shown as having only 15' of ingress/egress easement with fencing that reduces the overall drive lane down to approximately 13' 9". An approved Alternate Means or Method for compliance may be required if the minimum required width of 20' is not obtainable.

Per agreement with the City of Sacramento Fire Department, a modified 13D sprinkler system that includes sprinkler coverage required to be provided in bathrooms, closets, garages and attics, etc. will be considered an approved Alternate Means or Method of compliance.

Recycling & Solid Waste

C60. Applicant to provide a trash management plan detailing the storage of containers on each parcel and the placement of containers for collection on Bowman Avenue when submitting building plans.

C61. The Recycling and Solid Waste Division reserves the right to mandate bin (dumpster) service to ensure efficient collection.

C62. Standard Bin and Can Dimensions

Size	Height	Depth	Width
32 gal. can	39 in.	24 in.	19 in.
64 gal. can	40 in.	30 in.	28 in.
96 gal. can	47 in.	35 in.	29 in.
1 yd. bin	4 ft.	2 ft., 9 in.	6 ft., 10 in.
2 yd. bin	4 ft., 5 in.	4 ft.	6 ft., 10 in.
3 yd. bin	5 ft., 1 in.	3 ft., 7 in.	6 ft., 10 in.
4 yd. bin	5 ft., 9 in.	4 ft., 8 in.	6 ft., 10 in.
5 yd. bin	5 ft., 3 in.	5 ft., 9 in.	6 ft., 10 in.
6 yd. bin	6 ft.	5 ft., 10 in.	6 ft., 10 in.

C63. Standard Truck Dimensions

Type	Height Clearance	Length	Width	Inside Turning Circle Diameter	Pickup Clearance
Side Loader	13 ft.	32 ft.	10 ft.	62 ft.	17 ft.
Rear Loader	13 ft.	35 ft.	10 ft.	47 ft.	13 ft.
Front Loader	14 ft.	33 ft.	10 ft.	49 ft.	25 ft.

Department of Utilities

- C64. The proposed development is located within Sacramento Area Sewer District (SacSewer). Satisfy all SacSewer requirements.
- C65. The applicant is responsible for obtaining all necessary permits, easements, and approvals from federal, state, and local agencies for the construction of this project.
- C66. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

Urban Forestry

Kevin A. Hocker (916) 808-4996, KHocker@cityofsacramento.org

Erica Allen, (916) 808-6943, EAllen@cityofsacramento.org

- C67. Urban Forestry recognizes that there are existing trees on site that meet the definition of a private protected tree. The creation of this tentative map itself does not necessitate the removal of any of the private protected trees on site.

When future applications are submitted for site plan and design review of the individual parcels, the applicant will need to obtain any necessary tree removal permits through the entitlements process at that time.

No tree removal permits have been issued at this time. Private protected trees shall not be removed before a tree removal permit has been issued.

SacSewer

- C68. ONGOING: Any use of SacSewer sewer easements, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of SacSewer sanitary sewer(s), must not be allowed. Each proposed use must be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes landscaping.

Park Planning and Development Services

C69. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

- a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$4,617. This is based on the subdivide to create three lots at an average land value of \$135,000 per acre for the South Natomas Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment. The fee is due at the time of the final map.
- b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.



Jose Quintanilla
Associate Planner

Garrett Norman

Garrett Norman
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map. A discretionary permit expires and is thereafter void if the use or development project for which the discretionary permit has been granted is not established within the applicable time period. The applicable time period is either three years from the effective date of approval of the discretionary permit; or the time specified by the decision-maker, if so stated in a condition of approval of the discretionary permit. A use or development project that requires a building permit is established when the building permit is secured for the entire development project and construction is physically commenced.

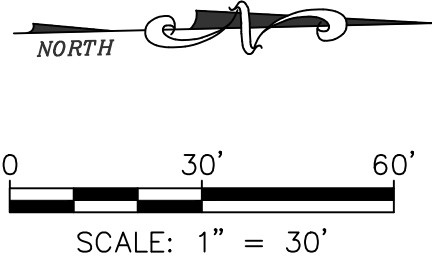
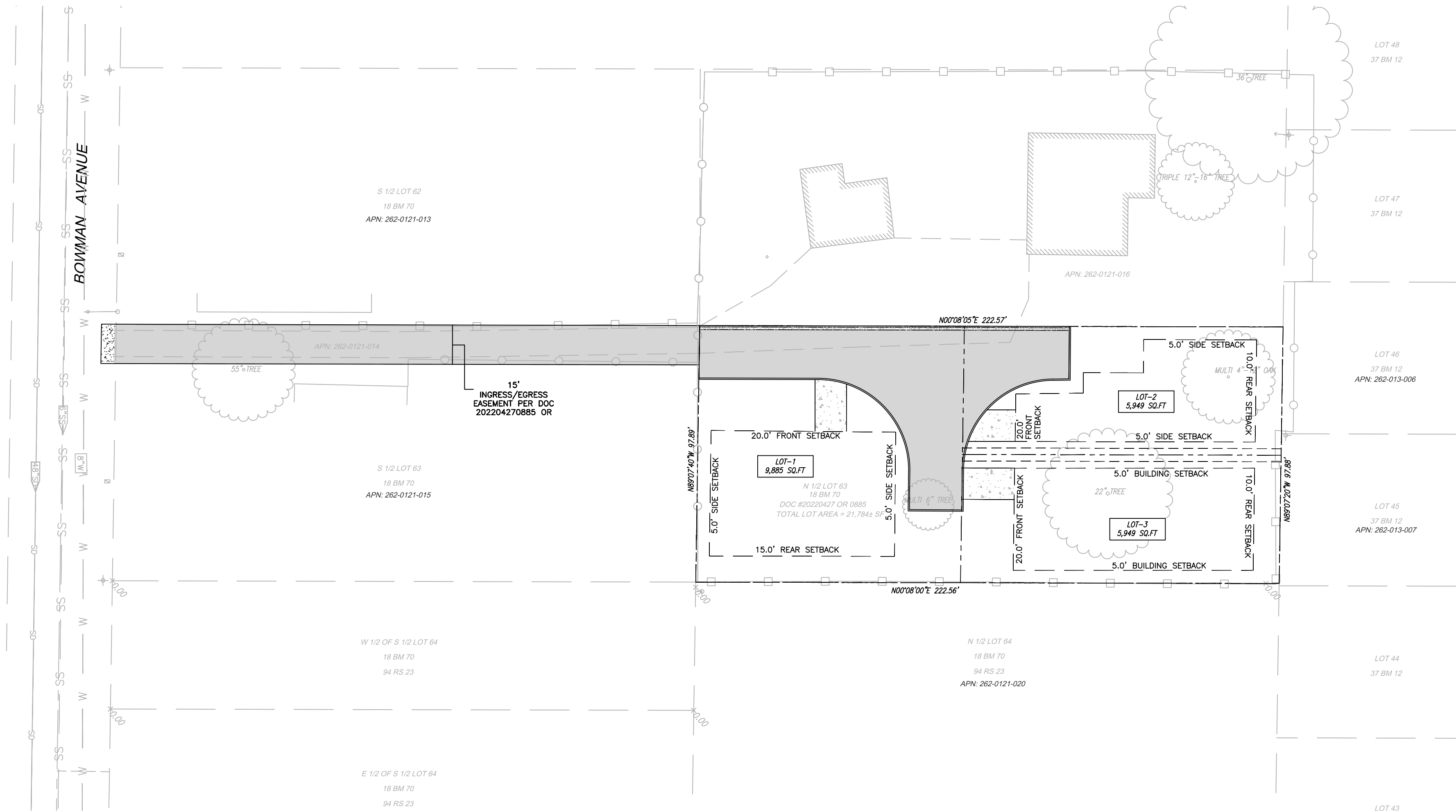
LEGEND

	PROPERTY BOUNDARY
	EX BUILDING
	ASPHALT
	CONCRETE
	EX CONCRETE
	ASPHALT
	EX FENCE
	EX TREE
	(N) FIRE ACCESS LANE
	EX WATER LINE
	EX SANITARY SEWER
	EX OVERHEAD LINE
	EX STORM DRAIN
	WATER PIPE
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	WATER METER
	BACKFLOW PREVENTION
	FIRE HYDRANT

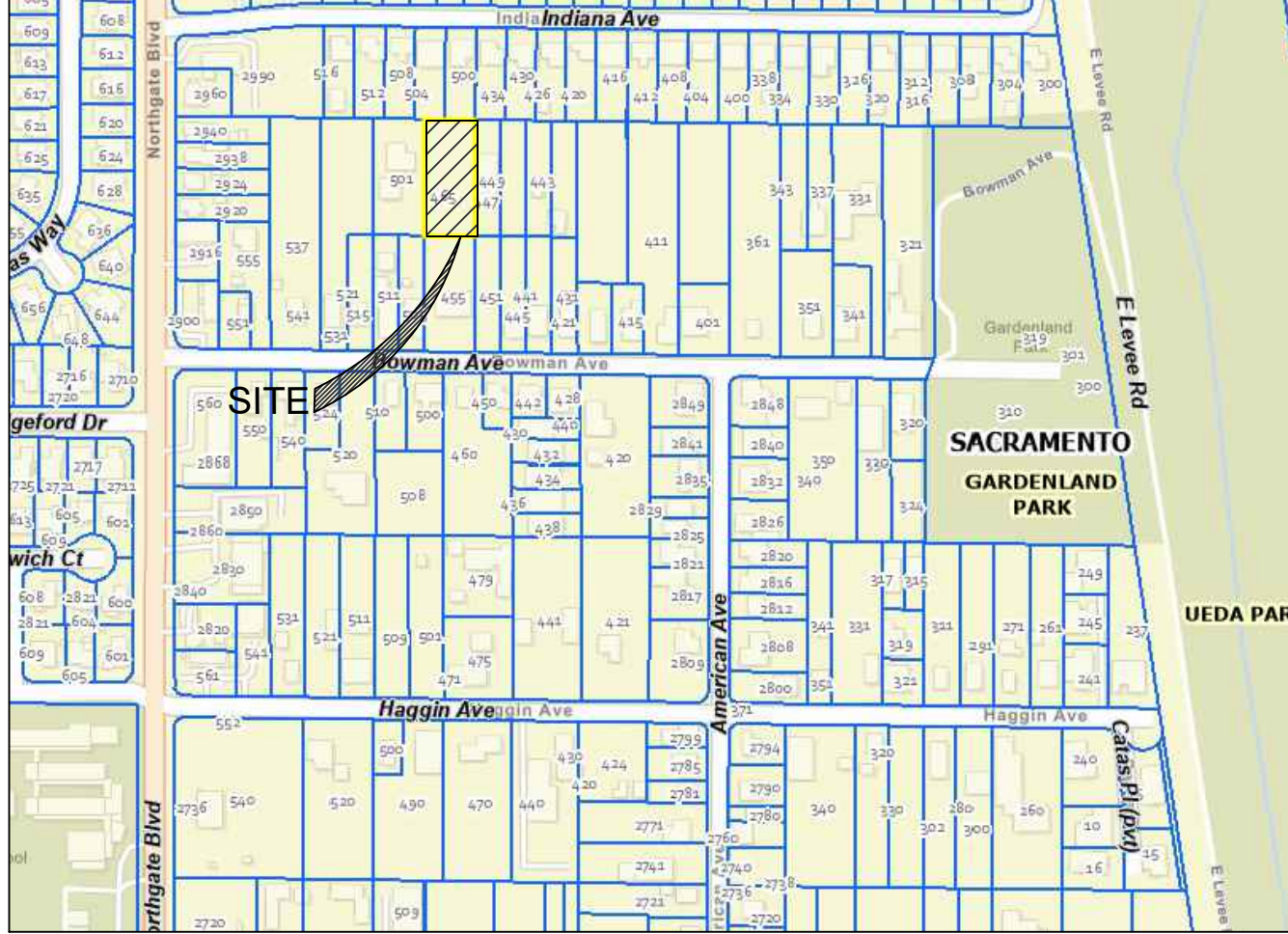
ABBREVIATIONS

A.P.N.	ASSESSOR'S PARCEL NUMBER
AC PAVE	ASPHALT CONCRETE PAVEMENT
AD	AREA DRAIN
CATV	CABLE TELEVISION
CBX	COMMUNICATION BOX
CO	CLEAN OUT
CB	CATCH BASIN
CONC	CONCRETE
E	EAST
ELEV	ELEVATION
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GM	GAS METER
GS FF	GARAGE SLAB FINISH FLOOR
HP	HIGH POINT
INV	INVERT
LG	LIP OF GUTTER
LS	LANDSCAPE SURFACE
(N)	NEW
P.L.	PROPERTY LINE
SS	SANITARY SEWER
SD	STORM DRAIN
SW	SIDEWALK
TW	TOP OF WALL
12" TREE	TREE W/SIZE
W	WATER LINE
WM	WATER METER
WV	WATER VALVE
+-	PLUS OR MINUS (NOT EXACT)
W/	WITH

TENTATIVE PARCEL MAP FOR
465 BOWMAN AVE
SACRAMENTO, CA 95833
APN: 262-0121-017



VICINITY MAP
N.T.S.



SHEET INDEX (CIVIL)

C-1.0	COVER SHEET
C-1.1	NOTE SHEET
C-2.0	TOPOGRAPHIC SURVEY
C-3.0	PROPOSED TENTATIVE PARCEL MAP
C-4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C-5.0	PRELIMINARY UTILITY PLAN

PROPERTY DETAILS

APN	262-0121-017
AREA	0.50 AC
ZONING	R1
ADDRESS	465 BOWMAN SACRAMENTO, CA 95833

OWNER CONTACT

RIISING INVESTMENT PROPERTIES, INC.
Phone: 916-370-7774
Email: -ahsankana@yahoo.com

CIVIL ENGINEER OF RECORD

ROBERT LILLY, PE
EMAIL: -navjot@roseseng.com
PH: (916)-761-0642

REVISIONS

NO.	DESCRIPTION	DATE	BY

BENCH MARK 277-F5D ELEV. 21.631' (NAVD88)
RANSET NAIL IN LIGHT BASE SW CORNER BOWMAN AVE AND
AMERICAN AVE (CITY OF SACRAMENTO BENCHMARK - NAVD88
DATUM)

FIELD BOOK

SCALE:
AS NOTED

CITY OF SACRAMENTO

DRAWN BY: N.S.	DESIGNED BY: N.S.	PROJECT MANAGER: B.L.
DATE: 2/26/2025	DATE: 2/26/2025	R.C.E. 55812 DATE: 2/26/2025

COVER SHEET

465 BOWMAN AVENUE

APN#: 262-0121-017

SACRAMENTO COUNTY



PREPARED BY:
ROSE'S ENGINEERING
ENGINEERING PLANNING SURVEYING
9612 KENT STREET
ELK GROVE, CA 95624
(916) 837-6058

SHEET

C-1.0

GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED NOVEMBER 2020 AND ALL APPLICABLE ADDENDA.
2. THE CONTRACTOR SHALL BE IN RECEIPT OF CITY ACCEPTED PLANS PRIOR TO BEGINNING CONSTRUCTION WITHIN THE STREET RIGHT-OF-WAY. ACCEPTANCE OF PLANS BY THE CITY OF SACRAMENTO IS BASED ON INFORMATION CONTAINED ON THE PLANS AND SUPPORTING DOCUMENTS, AND DOES NOT SUBROGATE THE DESIGN ENGINEER'S RESPONSIBILITY FOR THIS PROJECT. ANY AND/OR ALL ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER.
3. CONTACT THE CITY OF SACRAMENTO CONSTRUCTION SECTION AT 808-8300 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN
5. RESPONSIBILITY FOR FINAL ACCEPTANCE OF LINE AND GRADE BY THE CITY OF SACRAMENTO WILL BE ASSUMED ONLY IF CONSTRUCTION STAKES ARE SET BY THE CITY SURVEY CREWS OR THEIR DESIGNATED REPRESENTATIVE. CITY WILL SET CONSTRUCTION STAKES ONLY IF SO INDICATED ON THE "NOTICE TO PROCEED" WITH CONSTRUCTION ISSUED FOR THIS PROJECT. CONTACT CITY OF SACRAMENTO CONSTRUCTION SECTION TWO (2) WORKING DAYS IN ADVANCE FOR CONSTRUCTION STAKES WITHIN PUBLIC RIGHT-OF-WAY.
6. FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY (2424 ARDEN WAY, SUITE 165, SACRAMENTO --PHONE 916-263-2800) PRIOR TO BEGINNING ANY EXCAVATION.A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND FURNISH, INSTALL, AND MAINTAIN TEMPORARY SIGNS, BRIDGES, BARRICADES, FLAGMEN, AND OTHER FACILITIES TO ADEQUATELY SAFEGUARD THE GENERAL PUBLIC AND WORK, AND TO PROVIDE FOR THE PROPER ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC. CONSTRUCTION OPERATIONS SHALL COMPLY WITH THE WORK AREA AND TRAFFIC CONTROL HANDBOOK (WATCH). THE CONTRACTOR SHALL PROVIDE TO THE CITY TRAFFIC ENGINEER FOR REVIEW, A PLAN SHOWING TRAFFIC CONTROL MEASURES AND/OR DETOURS FOR VEHICLES AFFECTED BY THE CONSTRUCTION WORK. THE APPROVED PLAN SHALL BE DELIVERED TO THE CONSTRUCTION INSPECTOR PRIOR TO THE IMPLEMENTATION OF TRAFFIC CONTROL MEASURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS FOR ALL WORK THROUGHOUT THE COURSE OF CONSTRUCTION. SUCH DRAWINGS SHALL RECORD THE LOCATION AND GRADE (CITY DATUM) OF ALL UNDERGROUND IMPROVEMENTS CONSTRUCTED AND SHALL BE DELIVERED TO THE CONSTRUCTION INSPECTOR PRIOR TO, AND IN CONSIDERATION, OF THE CITY'S ACCEPTANCE OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
11. IF UNUSUAL AMOUNTS OF BONE, STONE OR ARTIFACTS ARE UNCOVERED, WORK WITHIN 50 METERS OF THE AREA SHALL CEASE IMMEDIATELY AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED TO DEVELOP, IF NECESSARY, MITIGATION MEASURES TO REDUCE ANY ARCHAEOLOGICAL IMPACT TO A LESS THAN SIGNIFICANT EFFECT BEFORE CONSTRUCTION RESUMES IN THE AREA.
12. COST TO REMOVE AND REPLACE EXISTING PAVEMENT OVER UTILITY LINE TRENCHES SHALL BE INCLUDED IN THE BID PRICE. TRENCHES SHALL BE BACKFILLED AND PAVEMENT SHALL BE REPLACED PER CITY DETAIL T-80. PAVEMENT SHALL BE REPLACED IN KIND (MINIMUM OF 4"AC ON 12"AB) AS DETERMINED IN THE FIELD BY THE CITY INSPECTOR. ALL STRIPING AND PAVEMENT MARKINGS SHALL BE RESTORED (IN THERMOPLASTIC).
13. PAVEMENT REPAIR NECESSARY DUE TO SUBSIDENCE RESULTING FROM TRENCH FAILURE OR OTHER DEFECTS IN WORKMANSHIP SHALL CONSIST OF KEY CUTTING AND OVERLAYING BETWEEN THE TWO NEAREST INTERSECTIONS, AS DETERMINED BY THE CITY INSPECTOR
14. SIDEWALK RAMPS SHALL BE CONSTRUCTED AT THE CENTER OF ALL ROUND CORNERS UNLESS OTHERWISE SHOWN. RAMPS SHALL COMPLY WITH THE MOST RECENT CITY STANDARD RAMP DETAILS, WHICH ARE AVAILABLE FROM THE CITY INSPECTOR.
15. PIPE AND MANHOLE DIMENSIONS ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED.
16. ALL TAPS 24 INCHES AND SMALLER INTO SEWER & DRAIN MANHOLES SHALL BE CORE BORED WITH KOR-N-SEAL TAPS OR APPROVED EQUAL.
17. ANY WATER ENTERING THE SANITARY SEWER SYSTEM TO BE CONSTRUCTED UNDER THESE PLANS SHALL NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES AS NECESSARY TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICES TO EXISTING CONNECTIONS. MORTAR OR BRICK PLUGS MUST BE USED, INFLATABLE DEVICES ARE NOT SATISFACTORY.
18. UNLESS OTHERWISE APPROVED, DRAIN PIPE MATERIAL SHALL BE EITHER REINFORCED CONCRETE PIPE CONFORMING TO ASTM, DESIGNATION C76 Class III, IV, V OR PVC SDR-35 OR AS SPECIFIED ON PLANS. USE RCP CLASS III OR PVC SDR-35 WITH 18" OR MORE MINIMUM COVER, RCP CLASS IV WITH 12" - 18" MINIMUM COVER, RCP CLASS IV ENCASED IN CDF WITH 6" - 12" MINIMUM COVER, AND CLASS 150 CEMENT MORTAR LINED DUCTILE IRON PIPE CONFORMING TO AWWA C151 ENCASED IN CDF WITH 0" - 6" MINIMUM COVER. IN ALL CASES, PROVIDE RUBBER GASKETED JOINTS. (NOTE: MINIMUM COVER IS FROM TOP OF AB TO TOP OUTSIDE DIAMETER OF DRAIN PIPE)
19. DI INLET LEADS SHALL BE RCP CLASS III OR PVC SDR-35 WITH 18" OR MORE MINIMUM COVER, PVC C-900 CLASS 150 OR RCP CLASS IV WITH 12" - 18" MINIMUM COVER, RCP CLASS IV OR PVC C-900 BOTH ENCASED IN CDF WITH 6" - 12" MINIMUM COVER, OR DUCTILE IRON PIPE ENCASED IN CDF WITH 0" - 6" MINIMUM COVER. IN ALL CASES, PROVIDE RUBBER GASKETED JOINTS. (NOTE: MINIMUM COVER IS FROM TOP OF AB TO TOP OUTSIDE DIAMETER OF DRAIN PIPE)
20. SANITARY SEWER PIPE MAINS SHALL BE CONSTRUCTED OF V.C.P., A.B.S. OR PVC UNLESS OTHERWISE SPECIFIED ON THE PLANS.

21. ALL SEWER SERVICES SHALL BE CONSTRUCTED OF A.B.S. PIPE PER CITY STANDARD DRAWINGS S-260 AND S-265, UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEWER SERVICES SHALL BE 4"DIAMETER UNLESS OTHERWISE NOTED.
23. AGGREGATE SUBBASE SHALL CONFORM TO CALTRANS SPECIFICATIONS DATED: 2010, SECTION 25.
24. THE CONTRACTOR SHALL VIDEO RECORD ALL DRAIN AND SEWER PIPES PER CITY STANDARD SPECIFICATIONS.
25. UNLESS OTHERWISE APPROVED, THE CONTRACTOR SHALL BALL AND FLUSH ALL SEWER AND DRAIN SYSTEMS PRIOR TO VIDEO RECORDING. THESE SYSTEMS SHALL BE FREE OF DEBRIS PRIOR TO ACCEPTANCE OF WORK.
26. A STORM WATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE OF ONE (1) OR MORE ACRES. THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, STORM WATER PERMIT UNIT, P.O. BOX 1977, SACRAMENTO, CA 95812-1977, SHALL BE CONTACTED TO OBTAIN THE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
27. IF WORK SHOWN ON THESE PLANS HAS NOT COMMENCED WITHIN TWO YEARS FROM THE DATE OF THE CITY'S ACCEPTANCE OF THE PLANS, A SUBSEQUENT PLAN REVIEW AT THE CITY'S DISCRETION AND THE DEVELOPER'S EXPENSE MAY BE NECESSARY.
28. CONTRACTOR SHALL COMPLY WITH THE CITY OF SACRAMENTO ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING/EROSION AND SEDIMENT CONTROL.
29. CONSTRUCT SURVEY MONUMENT WELL PER STD. DWG. T-350 AT LOCATIONS INDICATED ON THE FINAL MAP.
30. CONCRETE RESTORATION: COLOR OF NEW CONCRETE SHALL MATCH ADJACENT EXISTING CONCRETE BY ADDING LAMP BLACK.
31. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS.

GRADING NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARDS.
2. CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS DATED: NOVEMBER 2020 AND ALL APPLICABLE ADDENDA.
3. ALL GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOIL AND GEOLOGICAL INVESTIGATION PREPARED BY (NAME OF FIRM AND DATE OF REPORT).
4. ALL SLOPE BANKS ARE 2:1 MAXIMUM UNLESS OTHERWISE NOTED.
5. MAXIMUM TOLERANCE FROM PAD ELEVATIONS SHALL BE +/- 0.2'.
6. ANY GRADING OPERATIONS OUTSIDE OF SUBDIVISION BOUNDARY SHALL REQUIRE A RIGHT-OF-ENTRY.
7. ALL GRADING SHALL BE IN CONFORMANCE WITH THE CITY OF SACRAMENTO GRADING, EROSION, AND SEDIMENT CONTROL ORDINANCE (ORD.NO.93-068).
8. NO GRADING, TRENCHING, CUTTING AND/OR FILLING WITHIN THE DRIP LINE OF THOSE TREES, DESIGNATED ON THE SITE PLAN FOR PRESERVATION, SHALL OCCUR. NO ACTIONS SHALL BE TAKEN THAT WILL HARM THE HEALTH, VITALITY OR LONGEVITY OF THOSE TREES IDENTIFIED ON THE SITE PLAN FOR PRESERVATION.

LANDSCAPING NOTES

LANDSCAPE MAINTENANCE:

1. THE DEVELOPER / OWNER IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING A MINIMUM 6 MONTHS UPON COMPLETION OF INSTALLATION OF LANDSCAPING.
2. THE DEVELOPER'S / OWNER/S MAINTENANCE PERIOD STARTS FROM THE DATE NOTICE OF COMPLETION IS ISSUED.
3. THE DURATION OF MAINTENANCE PERIOD SHALL BE PER THE SUBDIVISION AGREEMENT.
4. THE MAINTENANCE PERIODS WILL BE A MINIMUM OF SIX MONTHS OR A MAXIMUM OF 2 YEARS FROM NOTICE OF COMPLETION.
5. FOR STREETSCAPES THAT ARE INDEPENDENT FROM SUBDIVISIONS, MAINTENANCE PERIODS WILL BEGIN AT NOTICE OF COMPLETION.
6. THE CITY WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE DURING THE MONTHS OF JANUARY OR JULY.
7. THE DEVELOPER / OWNER SHALL NOTIFY THE ASSIGNED CITY INSPECTOR TO SCHEDULE FINAL INSPECTION WITH CITY STREETSCAPES ONE MONTH PRIOR TO CITY ACCEPTANCE.


SANITARY SEWER NOTES

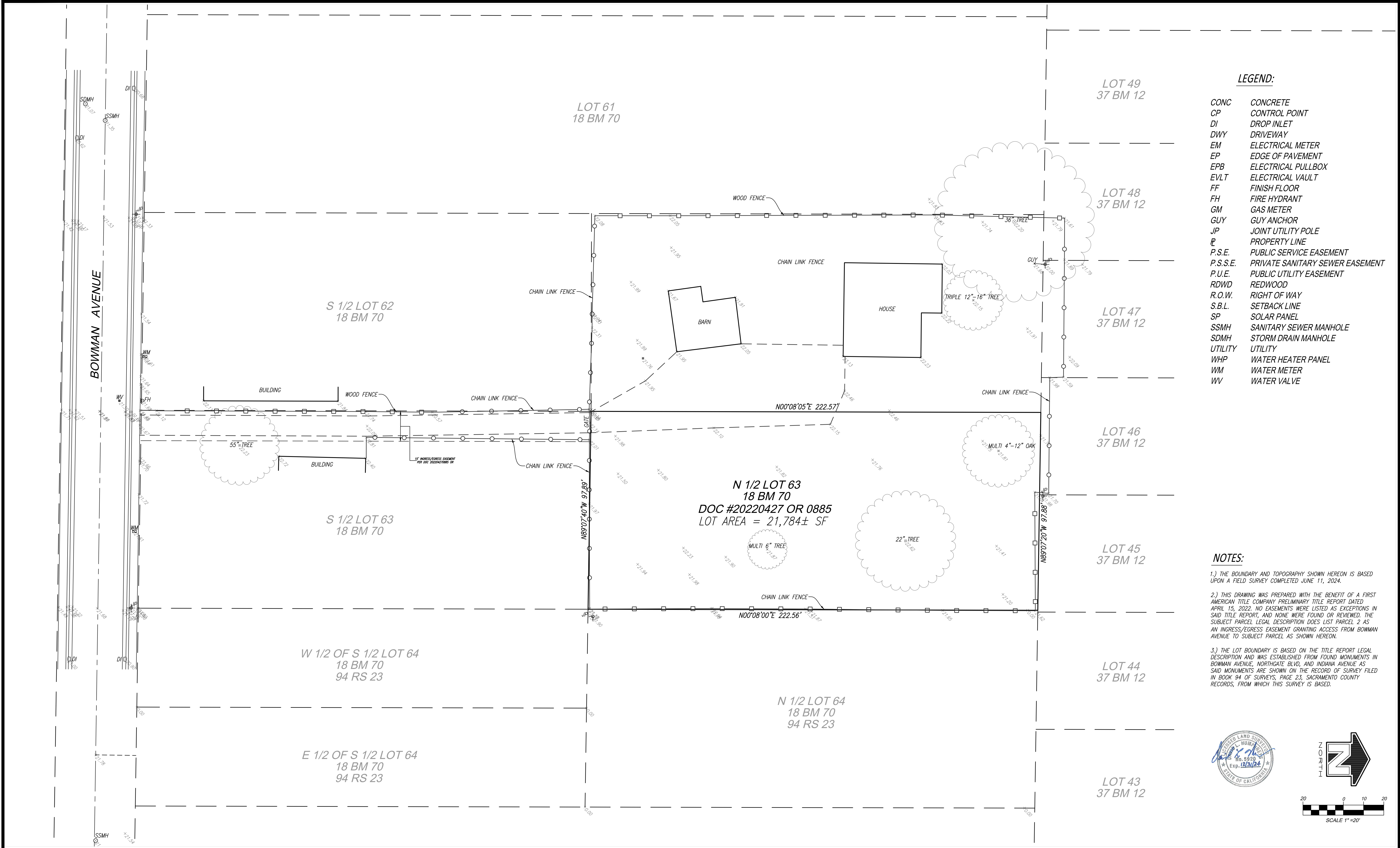
REVISED 01/26/2022

1. ALL CONSTRUCTION AND MATERIALS USED WITHIN THE PIPE ZONE MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SASD STANDARDS AND SPECIFICATIONS (STANDARDS). THE LATEST STANDARDS EDITION AT THE TIME OF PLAN APPROVAL WILL TAKE PRECEDENCE. THE CONTRACTOR MUST USE ALL APPLICABLE ADDENDUMS. INTERMEDIATE BACKFILL, FINAL BACKFILL, AND ALL ROAD SECTIONS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING JURISDICTION STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE CONTRACTOR MUST NOTIFY THE APPROPRIATE INSPECTION OFFICE AT LEAST FIVE WORKING DAYS IN ADVANCE OF BEGINNING WORK:
- a.FOR COLLECTOR LINES (GENERALLY SMALLER THAN 12-INCH DIAMETER)
- i. CONTACT THE SACRAMENTO COUNTY CONSTRUCTION MANAGEMENT AND INSPECTION DIVISION AT 916-875-2700 FOR PROJECTS LOCATED WITHIN THE UNINCORPORATED COUNTY AND CITIES OF CITRUS HEIGHTS, RANCHO CORDOVA, AND ELK GROVE.
- ii. CONTACT THE PUBLIC UTILITIES DEPARTMENT AT 916-808-6810 FOR PROJECTS LOCATED WITHIN THE CITY OF SACRAMENTO.
- b.FOR PUMP STATIONS, FORCE MAINS, AND TRUNK LINES (GENERALLY 12-INCH DIAMETER AND LARGER)
- i. CONTACT THE SACRAMENTO COUNTY CONSTRUCTION MANAGEMENT AND INSPECTION DIVISION AT 916-875-2700.
3. PLANS MUST BE RESUBMITTED FOR APPROVAL IF CONSTRUCTION OF SEWER FACILITIES HAS NOT STARTED WITHIN ONE YEAR FROM THE PLAN APPROVAL DATE.
4. ALL WORK MUST BE INSPECTED BY THE SASD INSPECTOR BEFORE BACKFILLING THE PIPE ZONE.
5. DIMENSIONS SHOWN ON PLANS ARE TO THE CENTERLINE OF PIPES AND OR MANHOLES UNLESS OTHERWISE NOTED.
6. TYPE II OR TYPE III BEDDING AND BACKFILL IS REQUIRED UNLESS OTHERWISE NOTED.
7. MAXIMUM STANDARD LENGTH PIPE SECTIONS MUST BE USED EXCEPT WHERE OTHERWISE SPECIFIED ON THE PLANS OR STANDARD DRAWINGS.
8. GRAVITY LOWER LATERALS MUST BE CONSTRUCTED OF EXTRA STRENGTH VCP, ABS SCHEDULE 40, HDPE DR 17, PVC C900, OR PVC SDR 26, AND BEDDED AND CONSTRUCTED PER STANDARD DRAWINGS P-01 AND LL-01A, RESPECTIVELY. PLANS MUST SPECIFY THE PIPE MATERIAL.
9. CONSTRUCTION OF A CLEANOUT TO GRADE FOR ALL LOWER LATERALS IS REQUIRED PER STANDARD DRAWING LL-02.
10. ANY WATER ENTERING THE SEWER SYSTEM CONSTRUCTED UNDER THESE PLANS MUST NOT BE DISCHARGED TO THE EXISTING SEWER SYSTEM. APPROPRIATE WATERTIGHT PLUGS MUST BE INSTALLED AS NECESSARY IN EXISTING PIPES. ALL WATER AND DEBRIS IN NEW SYSTEMS MUST BE REMOVED BEFORE FIELD ACCEPTANCE. CARE MUST BE EXERCISED IN PLACING PLUGS TO AVOID INTERRUPTING SERVICE CONNECTIONS. MECHANICAL PLUGS OR BRICK AND MORTAR MUST BE USED. INFLATABLE PLUGS ARE NOT ALLOWED.
11. SASD REQUIRES TELEVISION INSPECTION OF ALL CONSTRUCTED MAIN LINES IN ACCORDANCE WITH SECTION 331 OF THE STANDARDS. THE SASD INSPECTOR MUST SIGN PLANS ON PROVIDED SIGNATURE BLOCK "OK TO SUBMIT FOR GRID NUMBERING" AFTER INSTALLATION OF ALL SEWER FACILITIES BEFORE OBTAINING GRID NUMBERS FOR TELEVISION INSPECTION.
12. FOR THE CURRENT LIST OF SASD APPROVED TV CONTRACTORS GO TO https://www.sacsewer.com/sites/main/files/file-attachments/sasd_approved_tv_contractors_2019_list_-_new_assets.pdf?1604447584 OR CALL 916-876-PLAN (7526)
13. DEWATERING MUST BE PERFORMED AS NECESSARY TO PROVIDE A STABLE TRENCH BOTTOM FOR PLACEMENT OF SEWER FACILITIES. BEFORE THE CONTRACTOR PLACES MATERIALS IN THE TRENCH, THE BOTTOM OF THE TRENCH MUST BE CERTIFIED BY A GEOTECHNICAL ENGINEER VERIFYING THAT THE TRENCH MEETS THE REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. ADDITIONAL REQUIREMENTS FOR UNSTABLE CONDITIONS MUST BE AT THE WRITTEN DIRECTION OF THE PROJECT GEOTECHNICAL ENGINEER OF RECORD AND APPROVED BY SASD. GEOTEXTILE FABRIC IS REQUIRED AS SHOWN AND DETAILED IN STANDARD DRAWING P-01.
14. AT LEAST 72 HOURS BEFORE STARTING CONSTRUCTION, THE CONTRACTOR MUST POTHOLE EXISTING CONNECTION POINTS AND CRITICAL UTILITY CROSSINGS IF THESE CONNECTION POINTS AND CRITICAL UTILITY CROSSINGS WERE NOT POTHOLED DURING DESIGN. NOTIFY SASD INSPECTOR OF ANY CHANGES FROM THE APPROVED PLANS. CHANGES FROM THE APPROVED PLANS MUST BE SUBMITTED TO AND APPROVED BY SASD AS A PLAN REVISION BEFORE CONSTRUCTION MAY START.

REQUIRED TREE PRESERVATION MEASURES FOR CITY AND PRIVATE PROTECTED TREES

1. THIS PROJECT SHALL CONTRACT WITH A PROJECT ARBORIST EXPERIENCED WITH TREE PROTECTION AND CONSTRUCTION THAT IS REQUIRED TO:
- i. ATTEND THE PRE CONSTRUCTION MEETINGS TO APPROVE OF AND INFORM CONTRACTORS OF ALL TREE PROTECTION MEASURES.
- ii . VISIT THE SITE BEFORE AND AFTER DEMOLITION, GRADING AND LANDSCAPING AS WELL AS AT LEAST TWICE EACH MONTH DURING CONSTRUCTION TO ENSURE THAT TREE PROTECTION MEASURES ARE IMPLEMENTED AND MAINTAINED.
- iii. BE RESPONSIBLE FOR CORRECTING ANY SITE CONDITIONS THAT MAY NEGATIVELY IMPACT THE TREES AND REVISIT THE SITE TO ENSURE CORRECTIVE ACTION WAS PROPERLY IMPLEMENTED.
- iv. THE PROJECT ARBORIST SHALL REPORT IN WRITING TO URBAN FORESTRY ALL VIOLATIONS AND TREE PROTECTION FAILURES ALONG WITH CORRECTIVE ACTION TAKEN AND EXPECTED OUTCOMES.
2. ALL CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE RETAINED THROUGHOUT CONSTRUCTION TO PROTECT THE 2 ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES
- i. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE. WHERE THERE ARE NO EXISTING DRIVEWAYS, ACCESS SHALL BE LIMITED TO A ONE OR TWO LOCATIONS OUTSIDE THE DRIPLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITH THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY 3/4-INCH PLYWOOD OR TRENCH PLATES, GEOTEXTILE FABRIC COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
3. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX-FOOT HIGH CHAIN LINK FENCE THAT SHALL REMAIN THROUGHOUT THE DURATION OF THE PROJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
4. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDSCAPE OR BRIDGED OVER THE TREE PROTECTION ZONE OR PLANTER SO AS NOT TO COMPACT SOIL.
5. ANY REGULATED WORK WITHIN THE DRIPLINE OR TREE PROTECTION ZONE OF A REGULATED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A CERTIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A CERTIFIED ARBORIST TO URBANFORESTRY@CITYOFSACRAMENTO.ORG AND REFER TO THE PLANNING PROJECT NUMBER OR OFF-SITE PROJECT NUMBER.
6. ALL EXCAVATION, GRADING, OR TRENCHING WITHIN THE DRIPLINE OF A PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION, PNEUMATIC EXCAVATION, OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A CERTIFIED ARBORIST.
7. THERE SHALL BE NO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIPLINE OF PROTECTED TREES.
8. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIPLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE ACCOMMODATED ONSITE.
9. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIPLINE OF PROTECTED TREES.
- 10 THERE SHALL BE NO NON-NATIVE SOIL, NON-ORGANIC MATTER OR STRUCTURAL SOIL ADDED TO THE RIGHT-OF- WAY PLANTER.
11. THE FOLLOWING IS A LIST OF ACTIVITIES THAT REQUIRE A TREE PERMIT IF THEY ARE TO OCCUR OR BE USED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR WITHIN THE TREE PROTECTION ZONE OF PROTECTED TREES: ANY REGULATED WORK AS DEFINED IN SCC 12.56, EXCAVATION, GRADE CHANGES, TRENCHES, ROOT OR CANOPY PRUNING, OR BORING.
12. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES: PEDESTRIAN AND EQUIPMENT TRAFFIC THAT COULD COMPACT THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, PAINT, CEMENT, FUEL OR OTHER POTENTIALLY DAMAGING LIQUIDS, AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
13. ALL TREES SHALL BE WATERED REGULARLY ACCORDING TO THE RECOMMENDATION OF THE PROJECT ARBORIST.
14. THE APPLICANT SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO CITY TREES ASSOCIATED WITH THE PROJECT. ACCIDENTAL OR NEGLIGENT ACTIONS THAT DAMAGE CITY TREES MAY RESULT IN A PENALTY. THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BRING THE TREE IN QUESTION TO A STATE OF COMPARABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

REVISIONS				BENCH MARK 277-F5D ELEV. 21.631' (NAV088)	FIELD BOOK	CITY OF SACRAMENTO			NOTES SHEET			PREPARED BY: ROSE'S ENGINEERING ENGINEERING PLANNING SURVEYING 9612 KENT STREET ELK GROVE, CA 95624 (916) 837-6058	I	I	I	SHEET C-1.1				
NO.	DESCRIPTION	DATE	BY																	
				RAMSET NAIL IN LIGHT BASE SW CORNER BOWMAN AVE AND AMERICAN AVE (CITY OF SACRAMENTO BENCHMARK - NAV088 DATUM)	SCALE: AS NOTED	DRAWN BY: <u>N.S</u> DATE <u>2/26/2025</u>			DESIGNED BY: <u>N.S</u> DATE <u>2/26/2025</u>			PROJECT MANAGER <u>B.L</u> R.C.E. <u>55812</u> DATE <u>2/26/2025</u>			APN#: 262-0121-017			SACRAMENTO COUNTY		

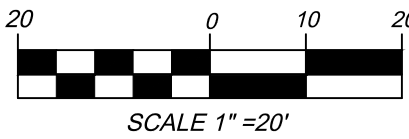



LEGEND:

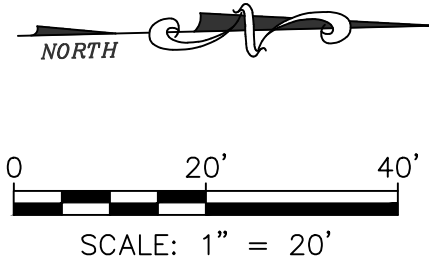
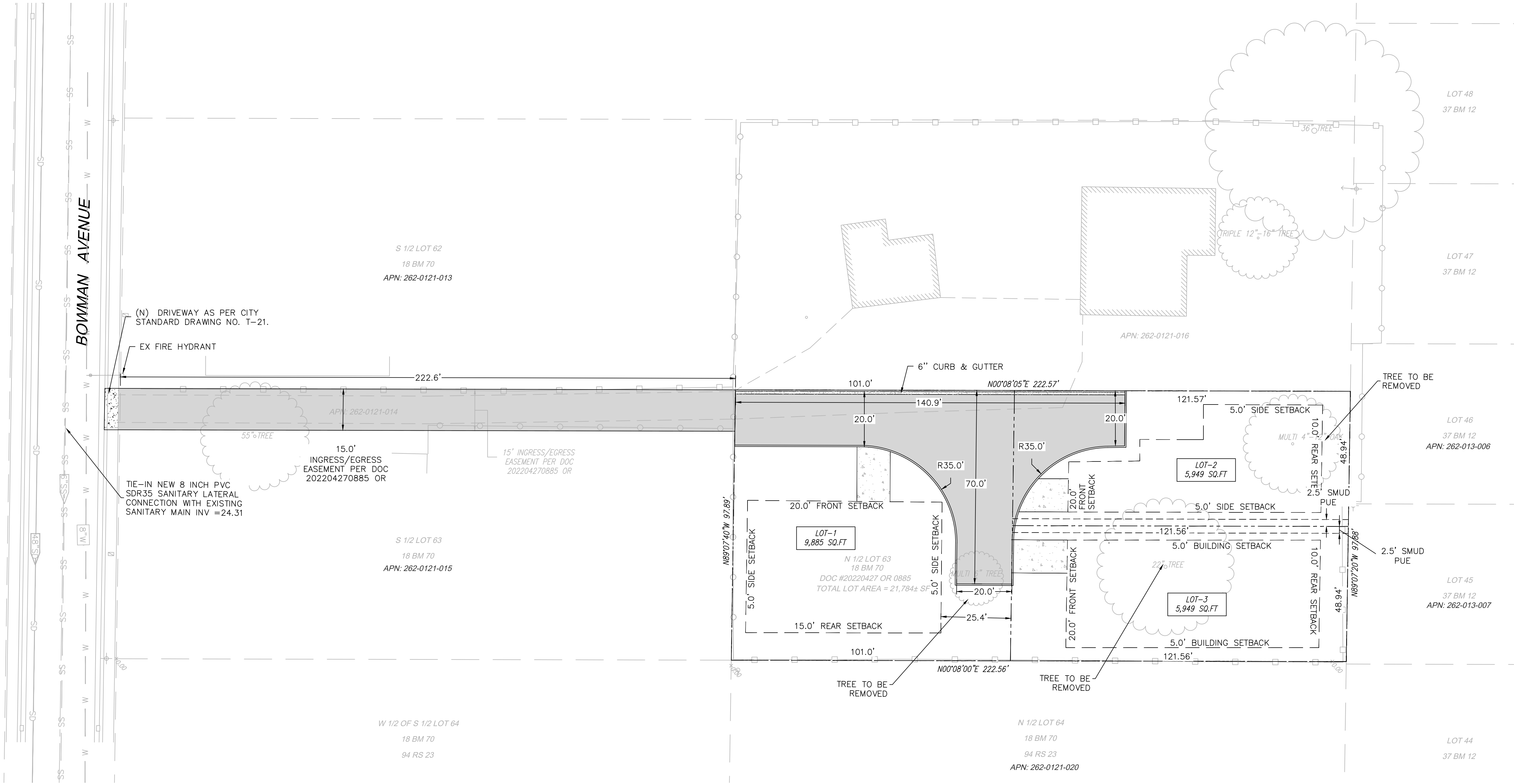
CONC	CONCRETE
CP	CONTROL POINT
DI	DROP INLET
DWY	DRIVEWAY
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
EPB	ELECTRICAL PULLBOX
EVL	ELECTRICAL VAULT
FF	FINISH FLOOR
FH	FIRE HYDRANT
GM	GAS METER
GUY	GUY ANCHOR
JP	JOINT UTILITY POLE
PL	PROPERTY LINE
P.S.E.	PUBLIC SERVICE EASEMENT
P.S.S.E.	PRIVATE SANITARY SEWER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
RDWD	REDWOOD
R.O.W.	RIGHT OF WAY
S.B.L.	SETBACK LINE
SP	SOLAR PANEL
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
UTILITY	UTILITY
WHP	WATER HEATER PANEL
WM	WATER METER
WV	WATER VALVE

NOTES:

- 1.) THE BOUNDARY AND TOPOGRAPHY SHOWN HEREON IS BASED UPON A FIELD SURVEY COMPLETED JUNE 11, 2024.
- 2.) THIS DRAWING WAS PREPARED WITH THE BENEFIT OF A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT DATED APRIL 15, 2022. NO EASEMENTS WERE LISTED AS EXCEPTIONS IN SAID TITLE REPORT, AND NONE WERE FOUND OR REVIEWED. THE SUBJECT PARCEL LEGAL DESCRIPTION DOES LIST PARCEL 2 AS AN INGRESS/EGRESS EASEMENT GRANTING ACCESS FROM BOWMAN AVENUE TO SUBJECT PARCEL AS SHOWN HEREON.
- 3.) THE LOT BOUNDARY IS BASED ON THE TITLE REPORT LEGAL DESCRIPTION AND WAS ESTABLISHED FROM FOUND MONUMENTS IN BOWMAN AVENUE, NORTHGATE BLVD, AND INDIANA AVENUE AS SAID MONUMENTS ARE SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 94 OF SURVEYS, PAGE 23, SACRAMENTO COUNTY RECORDS, FROM WHICH THIS SURVEY IS BASED.



REVISIONS			BENCH MARK 277-F50 ELEV. 21.631' (NAVD88)		FIELD BOOK		CITY OF SACRAMENTO			TOPOGRAPHIC SURVEY 465 BOWMAN AVENUE				PREPARED BY: ROSE'S ENGINEERING ENGINEERING PLANNING SURVEYING 9612 KENT STREET ELK GROVE, CA 95624 (916) 837-6058		SHEET 1					
NO.	DESCRIPTION	DATE	BY	RAMSET NAIL IN LIGHT BASE SW CORNER BOWMAN AVE AND AMERICAN AVE (CITY OF SACRAMENTO BENCHMARK - NAVD88 DATUM)		SCALE: 1" = 20'		DRAWN BY: <u>DLH</u> DATE <u>06/16/23</u>			DESIGNED BY: _____ DATE _____			PROJECT MANAGER _____ R.C.E. _____ DATE _____			APN#: 262-0121-017		SACRAMENTO COUNTY		



LEGEND

- PROPERTY BOUNDARY
- (N) ASPHALT
- (N) CONCRETE
- EX CHAIN LINK FENCE
- EX CHAIN LINK FENCE
- EX TREE TO BE REMOVED

LOT AREA

LOT-1	
GROSS AREA=	9,885 SQ.FT
NET AREA=	6,727 SQ.FT
LOT-2	
GROSS AREA=	5,949 SQ.FT
NET AREA=	4,898 SQ.FT
LOT-3	
GROSS AREA=	5,949 SQ.FT
NET AREA=	5,949 SQ.FT

REVISIONS			
NO.	DESCRIPTION	DATE	BY

BENCH MARK 277-F5D ELEV. 21.631' (NAVD88)
RANSET NAIL IN LIGHT BASE SW CORNER BOWMAN AVE AND AMERICAN AVE (CITY OF SACRAMENTO BENCHMARK - NAVD88 DATUM)

FIELD BOOK
SCALE:
AS NOTED

CITY OF SACRAMENTO			
DRAWN BY: N.S.	DESIGNED BY: N.S.	PROJECT MANAGER: B.L.	
DATE: 2/26/2025	DATE: 2/26/2025	R.C.E. 55812 DATE: 2/26/2025	

PROPOSED TENTATIVE MAP
465 BOWMAN AVENUE
APN#: 262-0121-017
SACRAMENTO COUNTY



PREPARED BY:
ROSE'S ENGINEERING
ENGINEERING PLANNING SURVEYING
9612 KENT STREET
ELK GROVE, CA 95624
(916) 837-6058
SHEET
C-2.0



LEGEND

- PROPERTY BOUNDARY
- (N) ASPHALT
- (N) CONCRETE
- EX CHAIN LINK FENCE
- EX CHAIN LINK FENCE
- EX TREE
- EX STORM DRAIN
- EX WATER LINE
- EX SANITARY SEWER
- WATER PIPE
- SANITARY SEWER PIPE
- SANITARY SEWER MANHOLE
- WATER METER
- BACKFLOW PREVENTION
- FIRE HYDRANT

PRELIMINARY ONSITE DRAINAGE DETENTION/RETENTION CALCULATIONS

STORAGE REQUIRED

Lot-1		
Proposed pervious area (landscape)	=	4,287 sq. ft.
Proposed impervious area (building/roof)	=	2,200 sq. ft.
Proposed impervious area (concrete)	=	241 sq. ft.
Proposed impervious area (asphalt)	=	3,157 sq. ft.
Total area	=	9,885 sq. ft.

Total proposed impervious area	=	5,598 sq. ft.
Drainage detention requirement for proposed impervious area	=	7,600 cu ft/acre City's requirement

Required drainage detention for proposed impervious area.	=	977 cu ft
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Lot-2		
Proposed pervious area (landscape)	=	2,750 sq. ft.
Proposed impervious area (building/roof)	=	2,200 sq. ft.
Proposed impervious area (concrete)	=	63 sq. ft.
Proposed impervious area (asphalt)	=	936 sq. ft.
Total area	=	5,949 sq. ft.

Total proposed impervious area	=	3,199 sq. ft.
Drainage detention requirement for proposed impervious area	=	7,600 cu ft/acre City's requirement

Required drainage detention for proposed impervious area.	=	558 cu ft
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Lot-3		
Proposed pervious area (landscape)	=	3,508 sq. ft.
Proposed impervious area (building/roof)	=	2,200 sq. ft.
Proposed impervious area (concrete)	=	241 sq. ft.
Total area	=	5,949 sq. ft.

Total proposed impervious area	=	2,441 sq. ft.
Drainage detention requirement for proposed impervious area	=	7,600 cu ft/acre City's requirement

Required drainage detention for proposed impervious area.	=	426 cu ft
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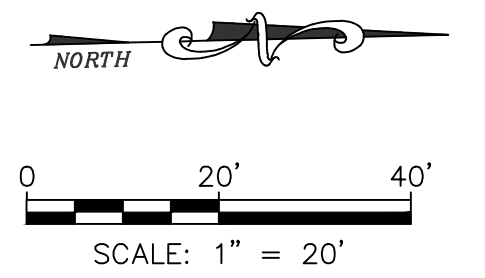
BIORETENTION VOLUME CALCULATIONS

BIORETENTION-1 VOLUME				
	SF	DEPTH (FT)	VOID RATIO	CF
PONDING AREA	695	0.5	1	347.5
SOIL MEDIA (25%)	695	1.5	0.25	261
GRAVEL (40%)	695	1.5	0.4	417
TOTAL VOLUME				1025

BIORETENTION-2 VOLUME				
	SF	DEPTH (FT)	VOID RATIO	CF
PONDING AREA	400	0.5	1	200
SOIL MEDIA (25%)	400	1.5	0.25	150
GRAVEL (40%)	400	1.5	0.4	240
TOTAL VOLUME				590

BIORETENTION-3 VOLUME				
	SF	DEPTH (FT)	VOID RATIO	CF
PONDING AREA	300	0.5	1	150
SOIL MEDIA (25%)	300	1.5	0.25	113
GRAVEL (40%)	300	1.5	0.4	180
TOTAL VOLUME				443

REVISIONS			CITY OF SACRAMENTO			PRELIMINARY GRADING AND DRAINAGE PLAN			ROSE'S ENGINEERING			C-3.0			
NO.	DESCRIPTION	DATE	BY	BENCH MARK 277-F5D ELEV. 21.631' (NAVD88)			465 BOWMAN AVENUE			ENGINEERING PLANNING SURVEYING			9612 KENT STREET		
				RAMSET NAIL IN LIGHT BASE SW CORNER BOWMAN AVE AND AMERICAN AVE (CITY OF SACRAMENTO BENCHMARK - NAVD88 DATUM)			APN#: 262-0121-017			ELK GROVE, CA 95624			(916) 837-6058		
				SCALE: AS NOTED			SACRAMENTO COUNTY								
				DRAWN BY: N.S. DATE: 2/26/2025			DESIGNED BY: N.S. DATE: 2/26/2025			PROJECT MANAGER: B.L. DATE: 2/26/2025					
				R.C.E. 55812											

[illegible]

Transportation Division

*City Hall
915 I Street, 2nd Floor
Sacramento, CA
95814-2604
916-808-8494*

04/17/2025

DRV25-0012

NOTICE OF APPROVAL OF DRIVEWAY PERMIT VARIANCE FOR 465 BOWMAN AVENUE

Dear Property Owner:

This notice serves to inform you that the City of Sacramento has received a request for a variance to its "Driveway Permit Regulations" (City Code Section 17.508.040.I and 17.508.050.B) for the property located on 465 Bowman Avenue. The variance will allow a driveway serving more than two residential units to be located within 10-ft of the side property line and to be less than 24-ft in width. **This letter shall serve as notice that the City will consider this variance to be approved with the Planning Entitlement approval of Z24-101. In the event that Z24-101 is denied, withdrawn or expired, this driveway variance approval shall be considered null and void.**

Per City Code Section 17.508.140, approval of this variance may be appealed to the Director of Public Works. If you would like to file an appeal, you will need to pay the appeal fee of \$300.00 and submit a written letter within 10 days of receiving this notice. You can submit the written letter and pay the appeal fee by a check in the mail or at the Public Counter at 300 Richards Blvd, 3rd floor. If you choose to provide the written letter and check through mail, please send the documents to the address below.

City of Sacramento
Department of Public Works
Transportation Division
915 I Street, 2nd Floor
Sacramento, CA 95814

If you have any questions, comments or concerns regarding this notice, the requested variance, or your right to appeal, please call Zarah Lacson, Assistant Civil Engineer, at (916) 808-8494.

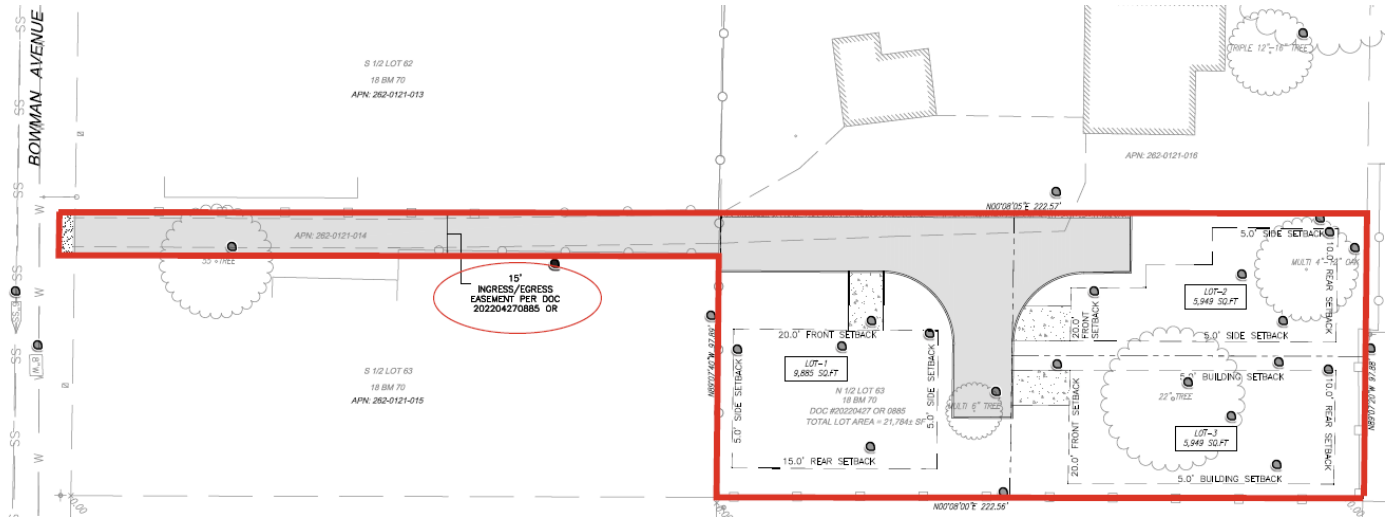
Sincerely,

Megan Carter
City Traffic Engineer
Department of Public Works

Transportation Division

City Hall
915 I Street, 2nd Floor
Sacramento, CA
95814-2604
916-808-8494

465 BOWMAN AVE
SACRAMENTO, CA 95833
APN: 262-0121-017



465 BOWMAN AVE
SACRAMENTO, CA 95833
APN: 262-0121-017

