

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, Site Plan and Design Review for the project known as **Baobab Apartments (DR24-166)**. Draft Conditions of Approval and Findings of Fact for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination** includes a modified Initial Study/15183 Checklist that supports the conclusion that the proposed project would not result in any significant impacts.
2. **Site Plan and Design Review** to construct a six-story mixed-used building with 56 multi-unit dwellings and one ground-floor commercial space with a request for deviations for setbacks, building height, and open space on a 0.27-acres parcel within the Residential Mixed Use (RMX-TO-SPD) zone, Transit Overlay (TO) zone, and Folsom Boulevard West Special Planning District (SPD).

PROJECT INFORMATION

Location:	6531 Folsom Boulevard, Sacramento, CA 95819
Parcel Number:	008-0383-025-0000
Council District:	6
Applicant/ Property Owner:	Rajpal Bains, Bains Property Pty Ltd. 78 Peter Brock Drive Eastern Creek, NSW Australia, 2766
Project Planner:	Sierra Peterson, Associate Planner
Hearing Date:	June 26, 2025

Land Use Information

General Plan:	Residential Mixed Use (RMU)
Community Plan Area:	East Sacramento
Housing Element Site:	N/A
Specific Plan:	N/A
Zoning:	Residential Mixed Use Zone (RMX-TO-SPD)
Overlay:	Transit
Special Planning District:	Folsom Boulevard West
Planned Unit Development:	N/A
Design Review Area:	Citywide Multi-Unit Dwelling
Parking District:	Urban
Historic Landmark:	No

Historic District: No

Surrounding Land Use and Zoning

North:	RMX-TO-SPD	Retail/Commercial & Residential
South:	C-2-TO-SPD	Retail/Commercial & Residential
West:	RMX-TO-SPD	Retail/Commercial
East:	RMX-TO-SPD	Retail/Commercial & Residential

Site Characteristics

Existing Property Area:	11,942 square feet / 0.274 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Land Use:	Commercial building and parking lot

Other Information

Concurrent Files:	N/A
Previous Files:	N/A

ATTACHMENTS

Attachment 1: Project Plans

PROPOSED PROJECT AND ANALYSIS

Background

The subject parcel is located at 6531 Folsom Boulevard on the northwest corner of Folsom Boulevard and 66th Street and adjacent to Elvas Avenue Folsom Boulevard Alley. The site has an existing one-story retail commercial building and surface parking lot. The site is 0.34 acres; however, the project requires a dedication on Folsom Boulevard and 66th Street resulting in a net site area of 0.274 acres. The site is surrounded by a mixture of commercial retail, restaurants, and private student housing for Sacramento State University. The site will be served by the existing public right-of-way and utilities. There are no trees onsite or in the public right-of-way.

Project Analysis

The application request includes the demolition of the existing one-story commercial building and surface parking lot, and the development of a six-story mixed-use building with 56 student-oriented multi-unit dwellings, 840 square feet of ground floor retail space, and 16 ground level parking spaces within an enclosed garage.

This entitlement request includes deviations for setbacks, building height, and open space requirements which require a director-level public hearing.

Site Plan and Design Review

Site Plan and Design Review is required for the project to ensure compliance with applicable development standards and design guidelines. The project is in the Residential Mixed Use (RMU)

General Plan land use designation, Residential Mixed Use (RMX-TO-SPD) zone, Transit Overlay (TO) zone, Folsom Boulevard West Special Planning District (SPD), and Citywide Multi-Unit Dwelling Design Review Area.

The project is consistent with the RMU General Plan land use designation, the RMX zoning designation, and TO zone because the intent is to foster vibrant, walkable areas with a high-intensity mix of residential, ground-floor commercial, office, and public uses, while also preserving the residential character of neighborhoods. The location of the building preserves the residential character of the single unit dwelling residential uses to the west and develops a site in proximity to other student oriented residential uses and commercial businesses on an arterial street. The six-story mixed-use building provides ground-floor retail and residential amenities such as a main lobby and lounge visible from Folsom Boulevard.

The Folsom Boulevard West SPD establishes a list of prohibited uses in addition to other uses prohibited within the RMX-TO zones. The project does not propose a prohibited use.

Table 1, Applicable Development Standards for the RMX-TO-SPD zone summarizes the code requirements and if the project requires a deviation from a code requirement. Deviations are discussed below in the deviation section.

Table 1: Applicable Development Standards RMX-TO-PUD Zone			
Standard	Required	Provided	Deviation?
Density	20 (min)	204	n/a
FAR	0.4 – 4.0	4.0	n/a
Height	45' – 0"	64' – 5"	Yes
Front-Yard Setback	10' – 0"	0' – 0"	Yes
Interior Side-Yard Setback	0' – 0"	0' – 0"	No
Street Side- Yard Setback	10' – 0"	2' – 0"	Yes
Alley Setback	5' – 0"	5' – 0"	No
Open Space (sq ft)	1,560	5,600	Yes

Architectural Analysis

The design of the project is consistent with the goals and policies of the Citywide Multi-Unit Design Guidelines with the high intensity mixed use building, orientation of the building to the street, active ground level uses, and vehicular access and service uses along the alley.

The proposed six-story mixed-use building includes 56 multi-unit dwellings, including 18 studios, 28 one-bedrooms, and 10 two-bedrooms, 840 square foot retail space on the first floor, and 16 parking spaces. The building is located at the corner of Folsom Boulevard and 66th Street with minimal setbacks and active ground floor uses including a commercial retail space and lobby on Folsom Boulevard, and a common use amenity space wrapping the corner of the building. The ground floor also includes two studio units with direct access to the sidewalk on 66th Street. All service uses including fire/water room, trash room, and electrical room are accessible from the alley. The commercial retail space, lobby, and amenity room have large storefront systems adjacent to Folsom Boulevard that provide activation of the building at the street-level. The studio units on 66th Avenue have floor to ceiling windows.

Floors two through six have the same floor plan adjacent to Folsom Boulevard and 66th Street and provide a rhythmic fenestration pattern. While the massing and fenestration pattern is similar on all floors, the bulk of the building is visual broken up vertically with a varied wall plane with full height vertical projections and recesses. The projections and recesses also help to break up the roof parapet with a varied roof line. The materials are applied vertically with copper and white colored metal panels that are angled at the midpoint of the building to create visual interest. The base of the building and the recessed portions are gray thin clinker brick. A band of stucco material is used at the top and bottom of each window on the portions of the building with metal paneling.

The interior side-yard and alley elevations include full building height copper and white metal panels with stucco bands at the windows. The base of the building has thin brick clinker wrapping around the corners of the building from Folsom Boulevard and 66th Street transitioning to stucco at the garage entrance on the alley. The interior side yard base of the building includes CMU block and cast in place concrete.

The second-story courtyard is adjacent to the interior side yard and wrapped by the building on the east and south and open on the west and north. The courtyard is accessible through the interior hallway and the clubroom. The courtyard includes a trellis structure, umbrellas, landscaping planters and seven trees. Staff requested a shade study to evaluate the rooftop deck at various times during the year and the usability of the open space. This was requested because the application includes a request to deviate from the required open space and the rooftop deck should be a usable area and provide sun protection in this environment. The deviation request is discussed in the deviation section of this report.

The site has existing access via a driveway off of 66th Street. The new primary vehicular access to the enclosed parking garage will be off Elvas Avenue Folsom Boulevard Alley. The project provides 16 vehicle parking spaces, where no parking spaces are required. This project meets bicycle parking requirements for multi-unit dwelling developments in the Urban Parking District with 30 long-term spaces required and provided; and eight short-term spaces required and provided.

Deviations

The proposed project requests deviations for the front and street side yard setback, building height, and open space.

The existing site has curb, gutter, and sidewalk along the frontage; however, additional right-of-way is required to be dedicated to the city along Folsom Boulevard and 66th Street. The building abuts the newly proposed property line along Folsom Boulevard with a zero-foot setback, where a minimum of 10 feet is required, and a street side yard setback on 66th Street of two-feet, where a minimum of 10 feet is required. The proposed building is in proximity to two large student-oriented apartment buildings located adjacent to the public right-of-way with minimal setbacks and that are within walking distance to California State University, Sacramento (Sacramento State). Staff find the deviation to be appropriate given the ground-floor retail and amenity spaces will activate the sidewalk and the form and massing of the building is similar to many other mixed-use projects and streetscapes throughout the city. Furthermore, it will not negatively impact public sidewalks, bike lanes, or tree canopy areas which have benefited from the right-of-way dedication requirements. Moving the building closer to the public right-of-way and reducing the setbacks helps the building engage pedestrians at street level which is a goal of TO zone developments.

The 45-foot maximum height standard of the RMX-TO zone is the same as the base RMX zone,

and is set at a more conservative height to ensure compatibility citywide between new development proposed in the zone and adjacent uses. However, the General Plan designation for this site is RMU which allows a FAR up to a 4.0 along the Folsom Boulevard corridor. The proposal is consistent with these urban form characteristics in the General Plan. The building is within the scale of envisioned development for this transit area of the City and within the proximity to Sacramento State University.

Recently built mixed-use projects in the area include those at 1325 65th Street (Academy 65), 1500 67th Street (The Wexler), 6601 Folsom Boulevard, and 1420 65th Street (F65), each of which include buildings of three to six stories and contribute to the redevelopment of the 65th Street and Folsom Boulevard corridors. These projects along with the proposed project represent a more transit supportive scale for this area of the city. Staff finds that the increase in height at this site will maintain a sensitive transition with the single-unit dwellings on 64th Street to the west of the project site and the height deviation is appropriate given the purpose and intent of the applicable design guidelines and development standards. Staff finds that although the base zoning has a lower standard height, the site is in a prime location to accommodate additional height between the 65th Street Transit Station and the pedestrian tunnel into the Sacramento State campus.

Open space requirements for the proposed project are 100 square feet per dwelling unit, which results in a required 5,600 square feet of outdoor open space. The project proposes a common outdoor terrace at the second level on the west side of the building with a total of 1,560 square feet. In addition to these open spaces, the project provides approximately 1,265 square feet of interior shared spaces within the building for amenity and gathering places. Although the interior areas cannot be counted toward the open space requirement, these areas are important to enhance livability. The ground level amenity space will provide shared facilities and views out on to the street and the second level clubroom provides access to the outdoor terrace, meeting the intent of the open space requirement. Staff finds that the combination of the outdoor and indoor spaces are appropriate and consistent with the intent of providing open space for multi-unit projects. The spaces provide a variety of desirable amenities, and will be equally accessible to all units within the building.

PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS

The project was routed to Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, East Sacramento Improvement Association, East Sac Give Back, East Sacramento Chamber of Commerce, East Sacramento Preservation. Staff has received one comment letter in support of the project with the recommendation to increase the amount of long term bike parking, increase pedestrian visibility on Folsom and 66th Street, and increase the open space for the project.

ENVIRONMENTAL CONSIDERATION

On February 27, 2024, the City of Sacramento adopted the 2040 General Plan and certified an associated Master Environmental Impact Report (Master EIR). (Resolution No. 2024-0065). The Master EIR is a program EIR, prepared pursuant to Section 15168 of the California Environmental Quality Act (CEQA) Guidelines (Title 14, California Code of Regulations [CCR], Sections 15000 et seq.). The Master EIR analyzed full implementation of the 2040 General Plan and identified measures to mitigate the significant adverse impacts that could occur with project approval.

Under Section 15183 of the CEQA Guidelines, where a project is consistent with the use and density established for a property under an existing general plan or zoning ordinance for which the City already certified an EIR, additional environmental review is not required “except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.”

The City prepared a Modified Initial Study/15183 Checklist that supports the conclusion that the proposed project would not result in any significant impacts that: (1) were peculiar to the project or the project site; (2) were not identified as a significant effect in the Master EIR; (3) are potentially significant off-site impacts and cumulative impacts which were not discussed in the Master EIR; or (4) were previously identified significant effects, and which as a result of substantial new information that was not known at the time that the Master EIR was certified, were determined to have a more severe adverse impact than discussed in the Master EIR.

The Environmental Services Manager has, based upon the analysis of the Modified Initial Study/15183 Checklist, concluded the project is exempt from further review. The Modified Initial Study is available on the City’s webpage at the following URL:

<https://www.cityofsacramento.gov/community-development/planning/environmental/impact-reports>

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA’s Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer’s report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016 and the SAFCA 2024 Adequate Progress Annual Report accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

FINDINGS OF FACT

Environmental

1. Environmental Determination: Exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15183, Consistency with 2040 General Plan.

Based on the determination and recommendation of the City’s Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Director finds that the Project is exempt from review under Section 15183 of the California Environmental Quality Act Guidelines as follows:

- A. Finding that no further environmental review is necessary under CEQA pursuant to State CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).
- i. Pursuant to Section 15183 of the CEQA Guidelines, the project is consistent with the use and density established under the existing 2040 General Plan for which the City has certified the Master EIR.
 - ii. The Modified Initial Study/15183 Checklist, provided for in the CEQA Guidelines, concluded that the proposed project would not result in any significant impacts that: (1) were peculiar to the project or the project site; (2) were not identified as a significant effect in the Master EIR; or (3) were previously identified significant effects, and which as a result of substantial new information that was not known at the time that the Master EIR was certified, were determined to have a more severe adverse impact than discussed in the Master EIR.
 - iii. Based upon 15183(f), the Modified Initial Study/15183 Checklist identifies the 2040 General Plan policies and/or actions that apply to the development of the project, and have been determined in the Master EIR to substantially mitigate environmental effects. To the extent that the 2040 General Plan policies and/or actions substantially mitigate a particular project impact, the impact shall not be considered peculiar, pursuant to 15183(f), thus, eliminating the requirement for further environmental review

Site Plan and Design Review

- 2. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Residential Mixed Use (RMU).
- 3. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from design guidelines or development standards are approved (front yard setback, street side yard setback, building height, and open spaces requirements), the proposed development is consistent with the purpose and intent of the applicable design guidelines and development standards in that the proposal meets all applicable development standards for the RMX-TO-SPD zone and the architectural design standards for multi-unit dwelling design guidelines within the Citywide Design Review Area. Furthermore, the project substantially conforms with the citywide design principles in relation to massing and scale for commercial structures due to the reasoning discussed within the Site Plan and Design Review analysis portion of the report.
- 4. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
- 5. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and

massing of the project are compatible with the design of the adjacent commercial structures.

6. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.
7. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the proposal meets height and setback requirements and will not be a detriment to the neighborhood.

200-Year Flood Protection

8. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

CONDITIONS OF APPROVAL

Design Review / Planning

1. The proposed construction of the multi-unit dwelling building is approved per attached plans and conditions of approval.
2. Provide the following building materials on the multi-unit dwelling building as indicated per approved plans:
 - a. Metal canopy
 - b. Metal sunshade
 - c. Metal panel, white
 - d. Metal panel, copper
 - e. Thin brick, clinker; stack bond
 - f. Stucco, dark gray
 - g. CMU, running bond
 - h. Decorative fence gate
 - i. Storefront assembly, dark bronze
 - j. Wide overhead rolling garage door
 - k. Hollow metal door and frame
 - l. Vinyl window, insulated glazing, south elevation provide minimum SHGC of 0.27
 - m. Fiberglass door
 - n. Cast-in-place concrete
 - o. Metal coping
 - p. Decorative half-height metal fence

3. All newly installed exterior wall-mounted and ground-mounted electrical service equipment, excluding transformers, must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior electrical equipment, along with any necessary screening and details, must be shown on site plans, floor plans, and exterior elevations, while maintaining all service clearance requirements. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. All material shall be painted to match elements of building exterior finish.
4. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior mechanical equipment, along with any necessary screening and details, must be shown on site plans, roof plans, and exterior elevations. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. Louvered material shall be positioned so spacing does not align with line of sight views. All material shall be painted to match elements of building exterior finish.
5. Lighting:
 - a. The type and location of the outdoor and exterior lighting (buildings, parking areas, etc.) shall be approved by Planning and Design Review staff during building plan check. Lighting shall be provided at the ground-level on all sides of the building and at each building entry.
 - b. Per Section 17.612.030(B), exterior lighting shall reflect away from public streets. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
 - c. The design of the light fixtures within the surface parking area shall be reviewed and approved by Planning and Design Staff. A lighting and photometric plan shall be provided for review and approval as part of Building Permit documents.
6. Provide the required 30 long-term bicycle spaces and eight long-term bicycle storage spaces as shown on the approved plans in accordance with Sacramento City Code section 17.608.040N.1 and 17.608.040N.2. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
7. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.
8. Any work involving a city tree, private protected tree, or within the park strip requires a tree permit. If any work involving a city tree, private protected tree, or within the park strip a tree permit shall be obtained from Urban Forestry.
9. No signage has been reviewed or approved through the Site Plan and Design Review process. All future signage shall conform to the sign code standards found in SCC section 15.148.160 and shall be reviewed under the separate sign permitting process.

10. A photometric plan shall be provided for all outdoor lighting in and around the site at the time of plan check. Any new building mounted lighting shall be subject to final review and approval by Planning staff.
11. Planning in-progress inspections (93) shall be called for prior to the following Building Inspections: (10) Bldg-Foundation Forms, (12) Bldg-Concrete Slab Forms, and (81) Frame Across/Board. An (89) Planning Final shall be called for prior to (29) Building Final.
12. Any modifications to the approved project shall be subject to the review and approval of Planning staff (and may require additional entitlements).
13. The applicant shall obtain all necessary building and encroachment permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
14. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit.
15. The development shall have an on-site manager residing on-site consistent with SCC section 17.228.117.
16. Student-oriented housing developments shall comply with the following operational requirements:
 - a. The operator shall provide a minimum of one community assistant (CA) at a ratio of one CA per 150 beds. Fewer Cas may result in a zoning enforcement action against the operator.
 - b. Agreements executed between the operator and tenants shall include a notification that parking is not included as a part of the lease. Furthermore, the agreement shall state that there is limited parking available in the neighborhood adjacent to the facility.
 - c. Private, on-site security from a licensed security guard shall be provided Monday through Sunday between the hours of 06:00 p.m. and 06:00 a.m.
17. This approval is valid for three years and is subject to SCC section 17.808.400.

Environmental Planning Services

18. In the event that archaeological resources or human remains are encountered during construction, work within 100 feet of the discovery shall cease until a notice to proceed is issued by the City. The applicant shall notify the City of Sacramento Manager of Environmental Planning Services (phone 311 or (916) 799-1531; email tbuford@cityofsacramento.org) and shall comply with City direction, and federal and State regulations and guidelines regarding the treatment of cultural resources and human remains. The Coroner shall be notified in the event human remains are discovered; the applicant shall be responsible for the employment of a qualified archaeologist to advise regarding treatment of any artifacts.

19. The project applicant shall conduct any tree removal activities required for project construction outside of the migratory bird and raptor breeding season (February 1 through August 31) where feasible. All trees slated for removal during the nesting season shall be surveyed by a qualified biologist no more than 48-hours before removal to ensure that no nesting birds are occupying the tree. (See federal Migratory Bird Treaty Act, California Fish and Game Code (Sections 3503, 3503.5, 3511, and 3800)
20. For any construction activities that will occur between February 1 and August 31, the applicant shall employ a qualified biologist to conduct preconstruction surveys in suitable nesting habitat on or near the construction area for nesting raptors and migratory birds. If the biologist determines that construction may occur without impacting the breeding effort, the nest(s) shall be monitored by the biologist during construction. If the biologist concludes that the project would impact the nest, construction activities will cease until the nest is no longer active. Completion of the nesting cycle shall be determined by the biologist.
21. Sacramento Metropolitan Air Quality Management District Basic Construction Emission Control Practices apply and compliance is required. See www.airquality.org. Other air district rules may apply and the air district should be consulted.

Public Works

22. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
23. The applicant shall dedicate sufficient right-of-way and construct 66th Street along their subject property to a 66-foot street-section (half-street only) per the 65th Street Station Area Plan to City Standards to the satisfaction of the Department of Public Works. The half-street section shall include an 11-foot travel lane, seven-foot. parking, and 15-foot pedestrian zone.
24. The applicant shall dedicate sufficient right-of-way and construct a 15-foot pedestrian zone along the subject property's frontage along Folsom Blvd to City Standards to the satisfaction of the Department of Public Works.
25. The applicant shall repair, or replace/reconstruct (in concrete) any deteriorated portion of the alley adjacent to the subject property (from the subject property's western property line to 66th Street) per City standards to the satisfaction of the Department of Public Works.
26. With the proposed development along the alley, the applicant shall install alley name signs at both alley entrances when required by either the Building, Police and/or Fire Departments. In the event the alley name signs are required, the applicant shall

coordinate with the Department of Public Works on the location of the alley name signs at alley entrances. The installation of the alley name signs shall be to the satisfaction of the Department of Public Works.

27. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
28. Bulb outs/curb extensions are required where there is on-street parking in the central City area or as directed by the Department of Public Works. Locations of bulb outs must be reviewed and approved by the City Traffic Engineer. The applicant shall construct bulb-outs/ curb extension at the following locations to the satisfaction of Public Works:
 - a. 66th Street side of the NW corner of the intersection of 66th Street and Folsom Blvd.
29. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards.
30. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the Department of Public Works.
31. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25-foot sight triangle). Walls shall be set back three feet behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5 feet in height at maturity. The area of exclusion shall be determined by the Department of Public Works.
32. The applicant shall participate in the 65th Street Station Area Plan, Finance and pay all appropriate fees to the satisfaction of the Department of Finance.

Department of Utilities

33. Applicant shall participate in the 65th Street Area Finance Plan and pay all required fees. Improvement plans shall be consistent with the 65th Street Infrastructure and Utilities Plan that will provide for the ultimate development of the 65th Street Area.
34. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU (Note: City records indicate there is an existing 1.5-inch metered domestic water service at this site).
35. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20

pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval. (Note: There is an existing public fire hydrant located adjacent to 6621 Folsom Blvd in 66th Street. Any proposed fire hydrants within 150-ft of an existing public fire hydrant shall be private unless otherwise approved by the DOU.)

36. Common area landscaping exceeding 5,000 square feet shall have a separate street tap for a metered irrigation service.
37. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The fee will be used for improvements to the CSS. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-7890 for a CSS fee estimate.
38. All increases in sewer flow shall be mitigated. The proposed project is contributing increased sewer flows to the CSS and shall evaluate the available capacity of existing CSS mains from the project's point of service to the nearest 18-inch main. If any portion of the City mains to the nearest 18-inch main is determined to have insufficient capacity to accommodate the increased sewer flow, the development shall be required to improve the undersized mains to the nearest 18-inch main. The applicant is advised to contact the City of Sacramento Utilities Department Sewer Planning Section (916-808-1400) at the early planning stages to address any drainage related requirements.
39. Depending on the sewer study analysis, the City combined sewer mains downstream of the site may be required to be upsized to the satisfaction of the DOU.
40. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard specified in the DOU onsite manual.
41. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
42. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
43. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.

44. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has less than one-acre of new or modified impervious area, therefore, only certified full capture trash control devices and source control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
45. A maintenance agreement may be required for full capture control devices. Contact DOU for a list of accepted proprietary devices considered for full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

SMUD

46. SMUD has existing overhead 21kV and low voltage/secondary facilities along the north and south side of the property (south side of the alley and north side of Folsom Blvd respectively) that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
47. SMUD has existing underground 21kV facilities along the south side of the property (north side of Folsom Blvd) that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.³ Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
48. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
49. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
50. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
51. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).

52. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
53. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways.
54. The Applicant shall grant to SMUD a Grant of Easement to cover the existing electrical facilities on the premises. Prior to the Map Recordation of the final map, the Applicant shall prepare and submit the subject map for SMUD's review and acceptance. The subject map shall be prepared in accordance with SMUD's standard overhead/underground right-of-way form — a five-foot wide right-of-way for existing underground and/or 10-foot wide right-of-way for existing overhead electrical facilities. Note – if necessary, SMUD will mark the ground with the location of underground facilities. Please call 811 to have these facilities marked.
55. The shown transformer location and space on the plans will have to be validated by SMUD to ensure it meets all location, spacing and design criteria. The size of this space will depend on the requested service size and additional space for a switch may be required depending on the overall service requirements. Please contact SMUD Line Design for additional information.

Recycling & Solid Waste

56. Project must meet the requirements outlined in City Code Chapter 13.10, 13.24, and 17.616.
57. The trash room must each have sufficient space to accommodate bins for trash, recycling, and organics. Smaller containers may be used with an increase in collection frequency. Service level minimums for recycling and organics can be found in Chapter 13.24.600. The service levels must be sufficient for both the residential and retail waste generated at the site.
58. Applicant must provide a statement of how trash, recycling and organics will be organized and collected after project is complete, per City Code Chapter 17.616.020. This statement must explain how the property manager will collect from the trash, recycling and organics receptacles located around the site and place each material type in the appropriate bin in the trash enclosure.
59. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and cans safely.
60. This project may be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's web site at <https://www.cityofsacramento.gov/public-works/recycling-solid-waste/Commercialwasteservices/construction---demolition-recycling>. Please contact the Solid Waste C&D team if you have any questions: (916) 808-0965 or C&D@cityofsacramento.org

Parks

61. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Infrastructure Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org).

SacSewer

62. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees are to be paid before the issuance of building permits.

Police

Lighting:

63. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
64. Light poles, if applicable, shall be no higher than 16 feet.
65. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
66. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.
67. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
68. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
69. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping:

70. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
71. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security:

72. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of six feet in height.
73. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
74. Manager with access to VASS storage shall be able to respond to any activation within two hours.
75. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
76. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
77. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
78. VASS shall be capable of storing no less than 30 days' worth of activity.
79. VASS shall provide comprehensive coverage of:
 - a. areas of ingress and egress
 - b. parking lot
 - c. coverage of all exterior sides of the property(s)
 - d. adjacent public rights of way
 - e. main lobby entrance
 - f. hallways
 - g. elevators (if applicable)
80. No more than 10% of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.

81. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.
82. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.
83. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
84. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).
85. Property management shall be responsible for the daily removal of all litter from the site.
86. Applicant shall install a law enforcement "Knox Box" for police access to common areas on the premises, including, but not limited to the main lobby entrance. If elevators can only be operated via electronic access card, management shall ensure a card is placed in the exterior knox box.
87. Applicant shall employ uniformed security to respond to on-site disturbances, 24/7. Security shall conduct no less than two (2) site inspections daily. The contracted security company shall be registered and in good standing with the Bureau of Security and Investigative Services (BSIS). Applicant may request a modification of this condition at any time. Any request for modification shall be in writing and submitted to the Sergeant of the Sacramento Police Department's CPTED unit, or designee, and specify the desired modification(s). The Sacramento Police Department will evaluate the modification request and will respond within 30 days of receipt of the request.

During Construction:

88. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
89. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
90. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Fire Department

91. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. California Fire Code Section 501.4.
92. Provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org, California Fire Code Section 507.4.

93. Provide appropriate Knox access for site. California Fire Code Section 506.
94. Provide standpipe hose valves at the intermediate landing levels of stairways as required by the Sacramento Fire Official.
95. Emergency Responder Radio Coverage may be required. Testing shall be conducted by an authorized technician to verify compliance with section 510, California Fire Code. This test shall verify that the building will support the Sacramento City Fire Department Radio Communication System. This test shall be performed in accordance with California Fire Code section 510.4.1.
96. Provide a Site Safety Plan in compliance with Section 3303 of the California Fire Code. The plan shall identify at minimum, the following safety precautions during demolition and construction:
 - a. Name and contact information of the Owner's authorized agent (Site Safety Director) responsible for the development, implementation and maintenance of an approved written site safety plan.
 - b. Procedures for reporting emergencies.
 - c. Fire Department Access Routes.
 - d. Location of fire protection equipment, including type and size of fire extinguishers.
 - e. Smoking and cooking policies that include designated safe areas where smoking and cooking may occur with adequate signage in accordance with Section 3305.8
 - f. Location(s) and proper safety considerations for temporary heating and any associated equipment.
 - g. Hot Work Plan when any welding and/or cutting shall occur.
 - h. Means of providing safeguards to minimize the risk of unwanted releases, fires or explosions involving hazardous materials, such as ignitable liquids/vapors or other combustible materials and ignition sources (cutting and welding, etc).
 - i. Designated smoking areas free of ignitable vapors and other combustible materials.

Advisory Notes

The following advisory notes are informational in nature:

- ADV1. All-Electric New This project is in Drainage Basin 31 which is subject to the new Drainage Pumped Impact Fee per City Council Resolution 2023-0368 (Note: The Drainage Pumped Impact Fee is based on increased impervious area).
- ADV2. Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks or at the inside edge of the right-of-way for public alleys.
- ADV3. Water meter boxes located in driveways shall be traffic rated per the requirements of the City Standard Specifications.
- ADV4. As of January 1, 2018, all new multi-family residential construction will require sub-metering of each residential unit pursuant to all requirements found in California Senate Bill 7 (SB7). These requirements at a minimum include installing sub meters, billing for water based on the sub meters, and long-term calibration and maintenance of the sub meter. The SB7 requirements are the responsibility of the property owner.

- ADV5. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as, establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.
- ADV6. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
- a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$181,813. The Park Development Impact Fee due for this project is based on the Remainder of City Rate of \$3.47 per square foot for residential projects (57 apartment units), with a minimum rate of \$2,604 for units under 750 square feet and a maximum of \$6,947 for units over 2,000 square feet, and \$0.56 per square foot for retail and commercial services projects (840 square foot retail space). The applicant would likely receive credit for the demolition of the existing structures. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
 - b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.
- ADV7. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via its local sanitary sewer collection system. SacSewer is responsible for conveying sewage from the City collection system to the EchoWater Resource Recovery Facility for treatment, resource recovery, and disposal.

Respectfully Submitted: _____



Sierra Peterson
Associate Planner

Recommendation Approved: _____



Karlo Felix, Senior Planner for
Matthew Sites, Senior Architect, AIA

The decision of the Design Director may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the Design Director's hearing. If an appeal is not filed, the action of the Design Director is final.

BAOBAB APARTMENTS



PROJECT DIRECTORY

OWNER
BAINS PROPERTY PTY LTD
78 PETER BROCK DRIVE
EASTERN CREEK NSW 2766 AUSTRALIA
CONTACT: RAJPAL BAINS
P: 916.595.6110
E: RBAINS@BAINSPROPERTY.COM.AU

ARCHITECT
C2K ARCHITECTURE INC.
1645 NW HOYT
PORTLAND, OR 97209
CONTACT: SAM SANDERSON
P: 503.444.2200
E: SAMS@C2K.COM

CIVIL
CUNNINGHAM ENGINEERING CORPORATION
2120 20TH ST, SUITE 3
SACRAMENTO, CA 95818
CONTACT: CHARLES KRAFKA
P: 916.455.2026
E: CHARLES@CECWEST.COM

LANDSCAPE
GARTH RUFFNER LANDSCAPE ARCHITECT
4120 DOUGLAS BLVD, SUITE 306, PMB 301
ROSEVILLE, CA 95746
CONTACT: GARTH RUFFNER
P: 916.797.2576
E: GRUFF916@OUTLOOK.COM

PROJECT DESCRIPTION

BAOBAB APARTMENT PROJECT IS A 6-STORY, TYPE IA @ LEVEL 1 AND TYPE IIIA @ LEVELS 2-6 MIXED USE BUILDING WHICH CONSISTS OF 56 APARTMENT UNITS WITH AMENITIES, VEHICLE PARKING ON LEVEL 1 ACCESSIBLE FROM THE ALLEY. A 840 SF RETAIL SPACE ON LEVEL 1 IS LOCATED ALONG FOLSOM BLVD.

VICINITY MAP (SEE A.200 FOR ARCH SITE PLAN)



DRAWING INDEX - ENTITLEMENTS

GENERAL	
G.000	COVER SHEET
G.100	CODE INFORMATION
G.200	COURTYARD - SHADING STUDY
CIVIL	
C1.00	PRELIMINARY PAVEMENT PLAN
C2.00	PRELIMINARY GRADING & DRAINAGE PLAN
C3.00	PRELIMINARY UTILITY PLAN
LANDSCAPE	
L.100	PRELIMINARY LANDSCAPE PLANS
ARCHITECTURAL	
A.100	EXISTING SITE PLAN / DEMO PLAN
A.200	ARCHITECTURAL SITE PLAN
A.201	FLOOR PLAN - LEVEL 1
A.202	FLOOR PLAN - LEVEL 2
A.203	FLOOR PLAN - LEVEL 3-6
A.207	ROOF PLAN
A.300	RENDERED VIEWS
A.301	EXTERIOR ELEVATIONS
A.302	EXTERIOR ELEVATIONS
A.401	BUILDING SECTIONS

C2K
ARCHITECTURE
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS

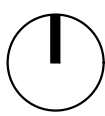
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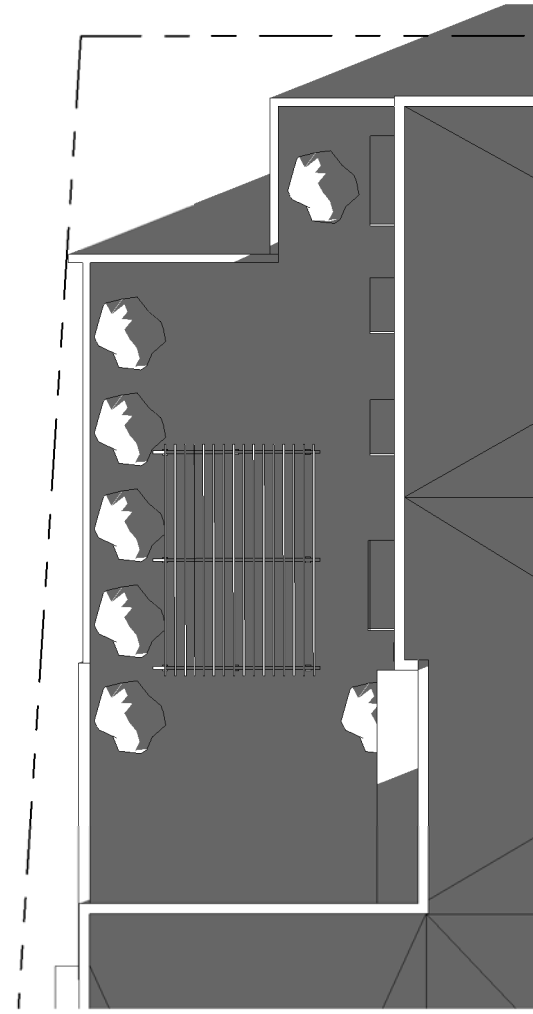
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G.000

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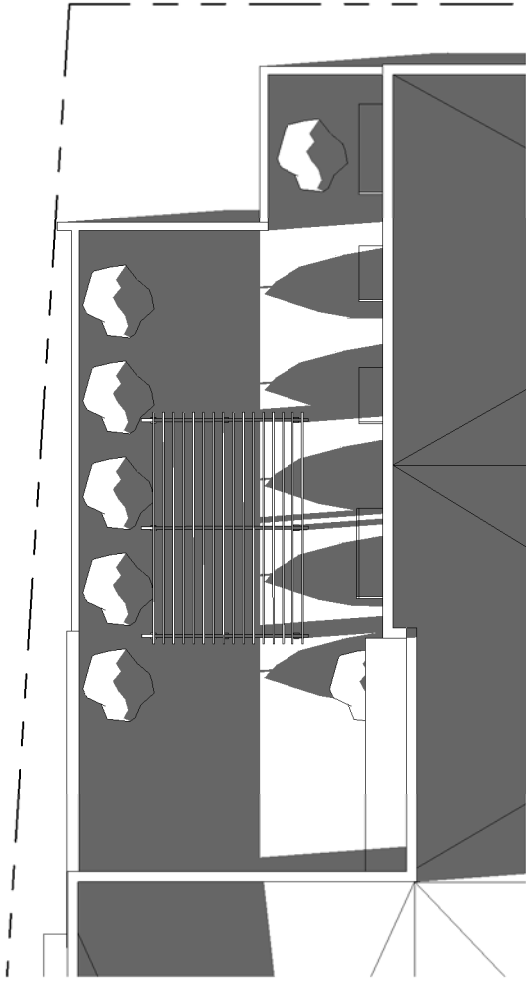


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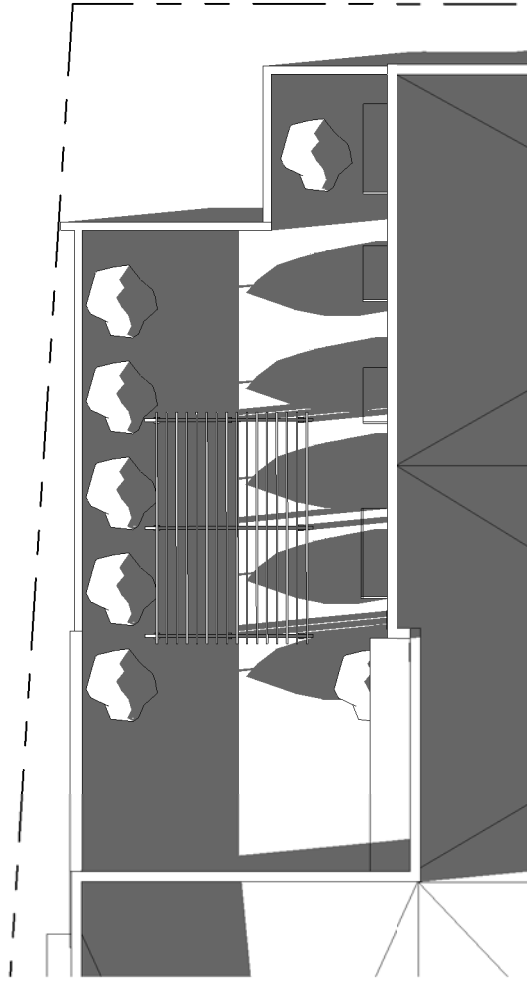
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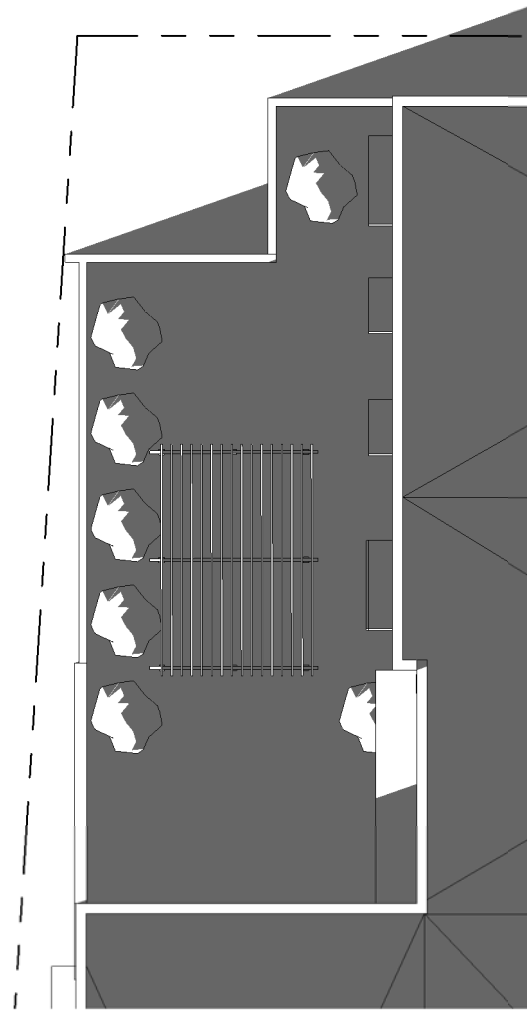
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6 COURTYARD - MAY 21 @ 6 PM
1/16" = 1'-0"

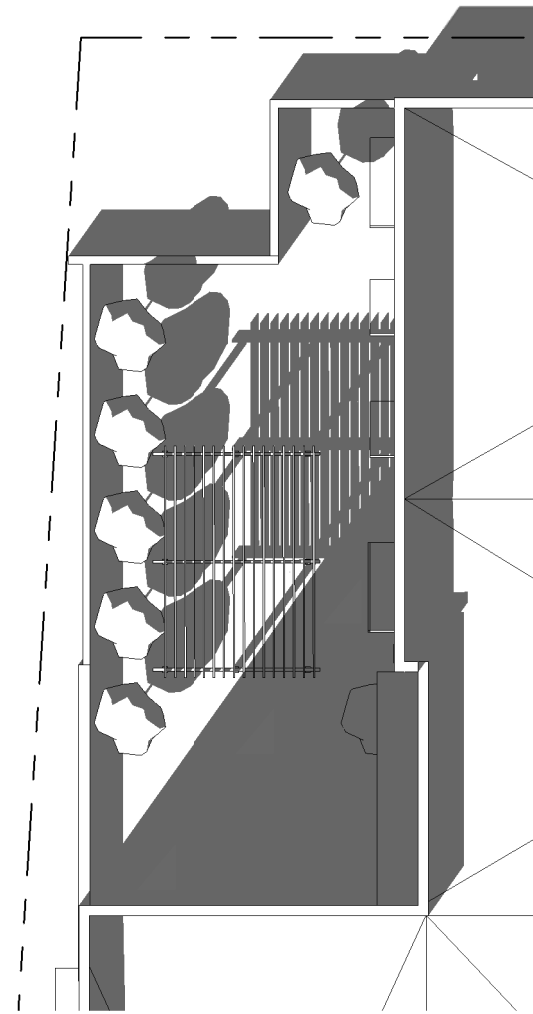


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1/16" = 1'-0"

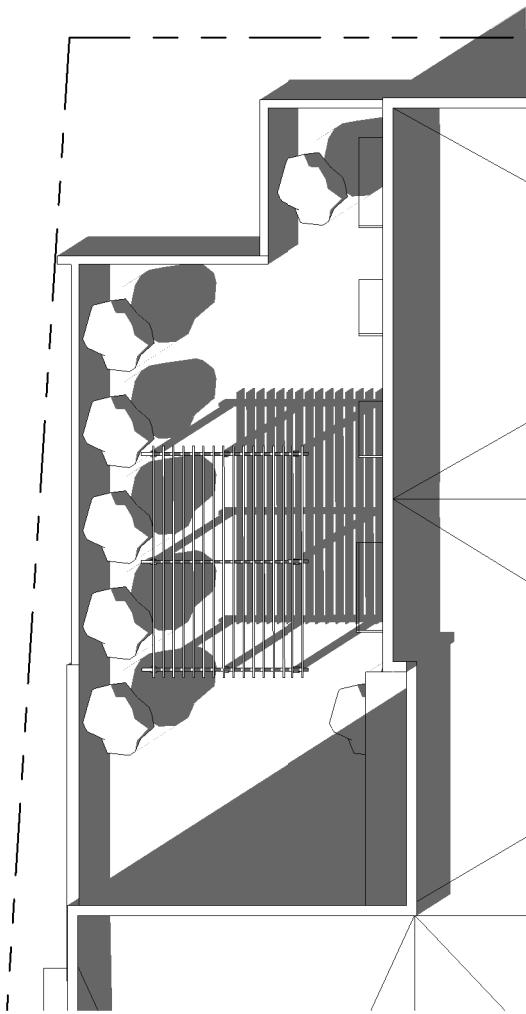


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1/16" = 1'-0"

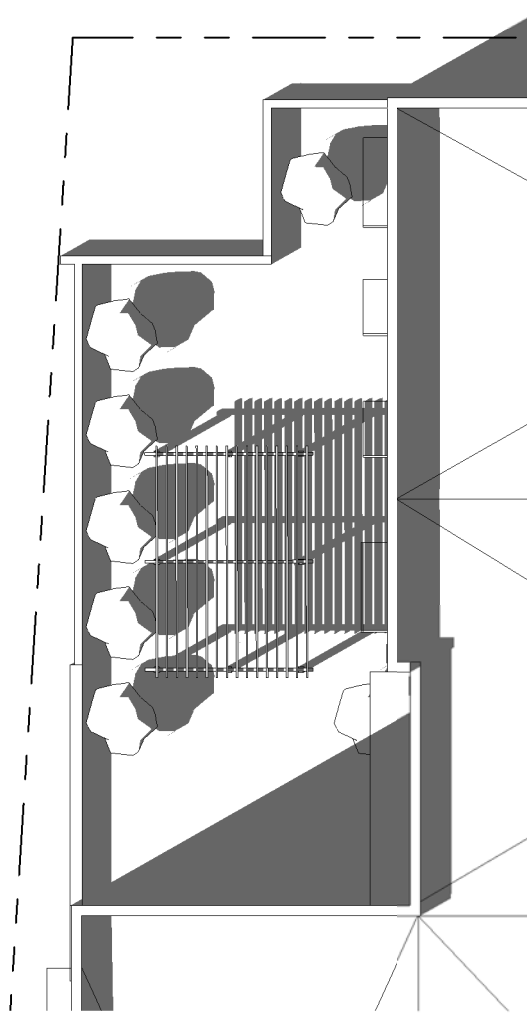
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THE COURTYARD IS
COMPLETELY IN SHADE ALL
DAY



2 COURTYARD - MARCH 21 @ 3 PM
1/16" = 1'-0"



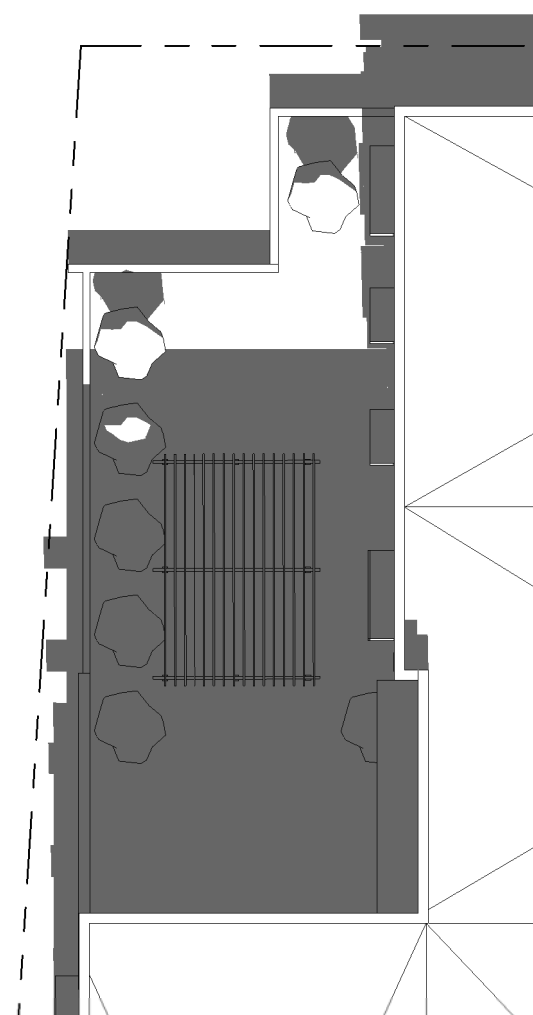
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1/16" = 1'-0"



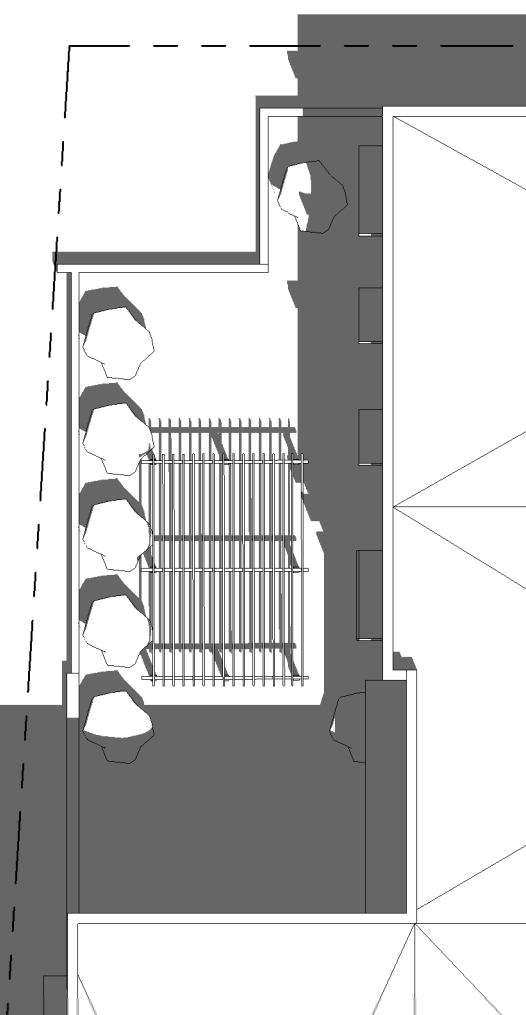
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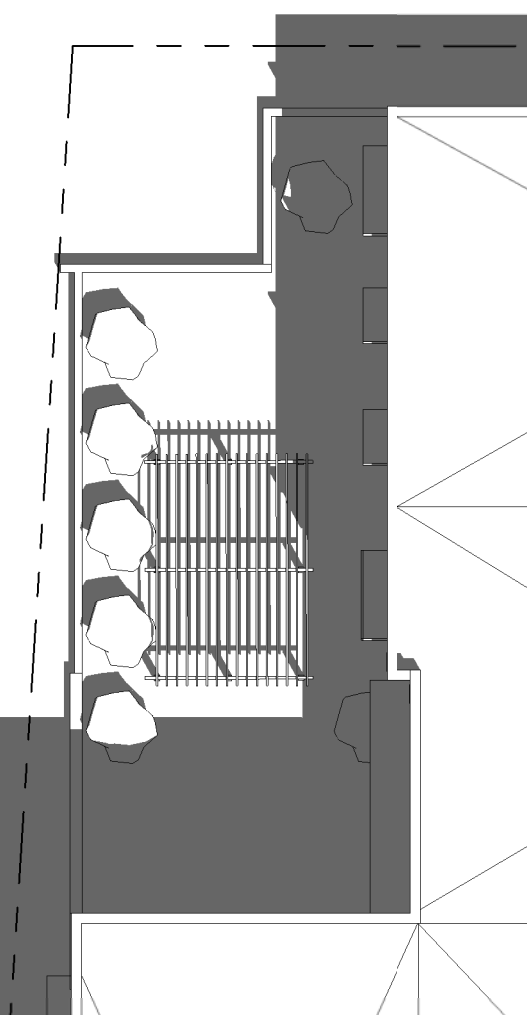
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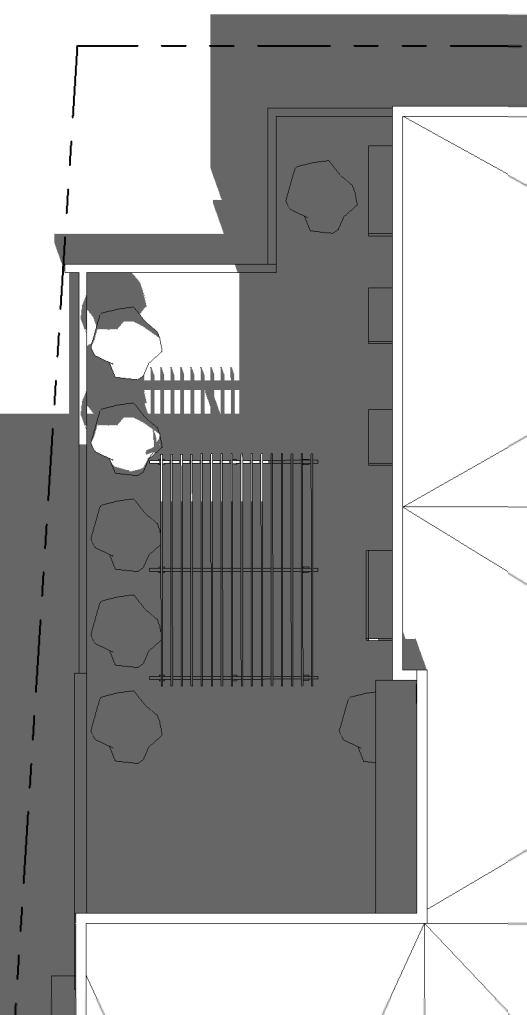
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1/16" = 1'-0"



4 COURTYARD - MAY 21 @ NOON
1/16" = 1'-0"



7 COURTYARD - JULY 21 @ NOON
1/16" = 1'-0"



10 COURTYARD - SEPT 21 @ NOON
1/16" = 1'-0"

C2K

ARCHITECTURE

1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

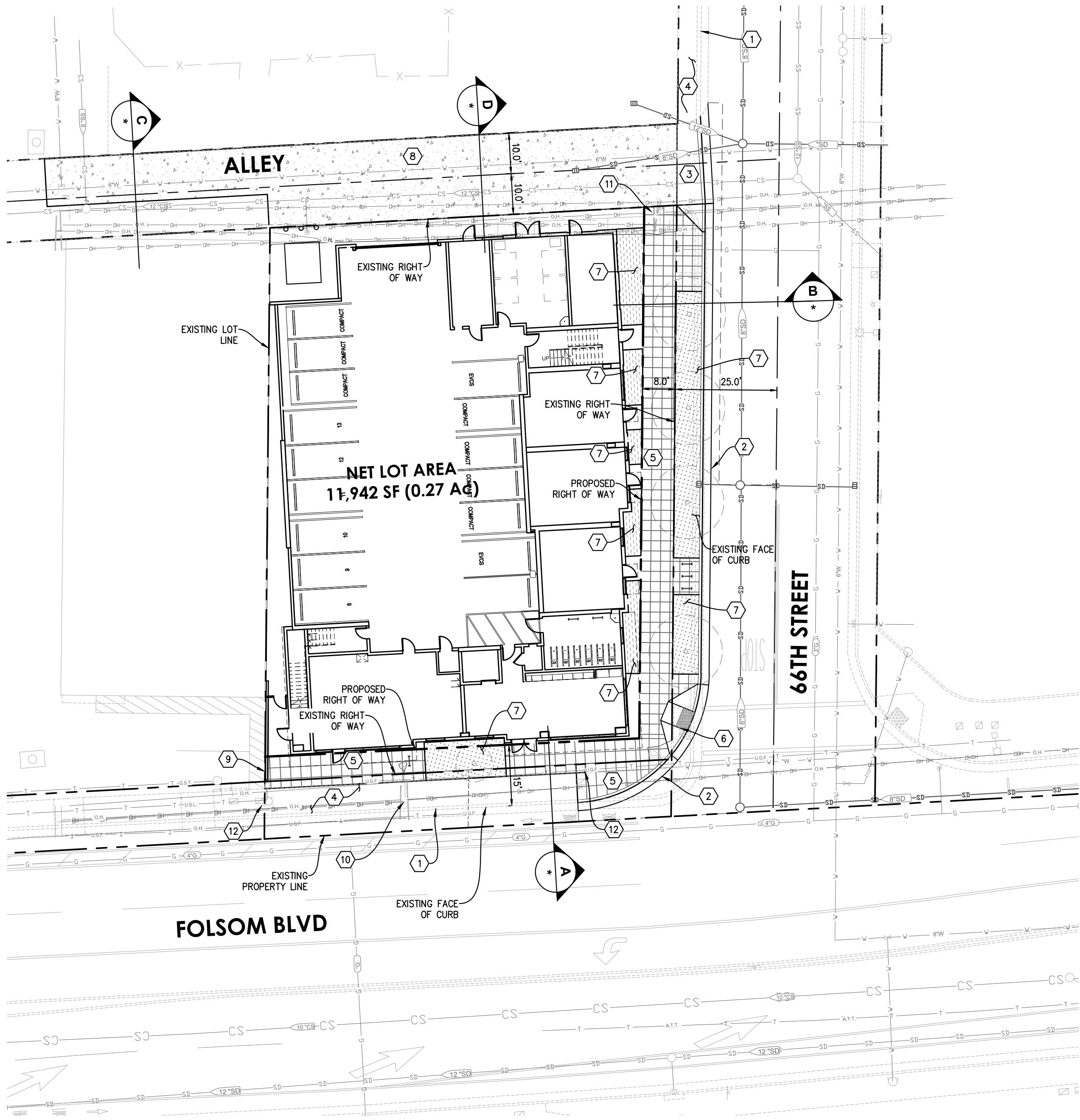
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SHEET TITLE:
COURTYARD - SHADING STUDY

SHEET NO.:
G.200

ENTITLEMENTS

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KEYNOTES

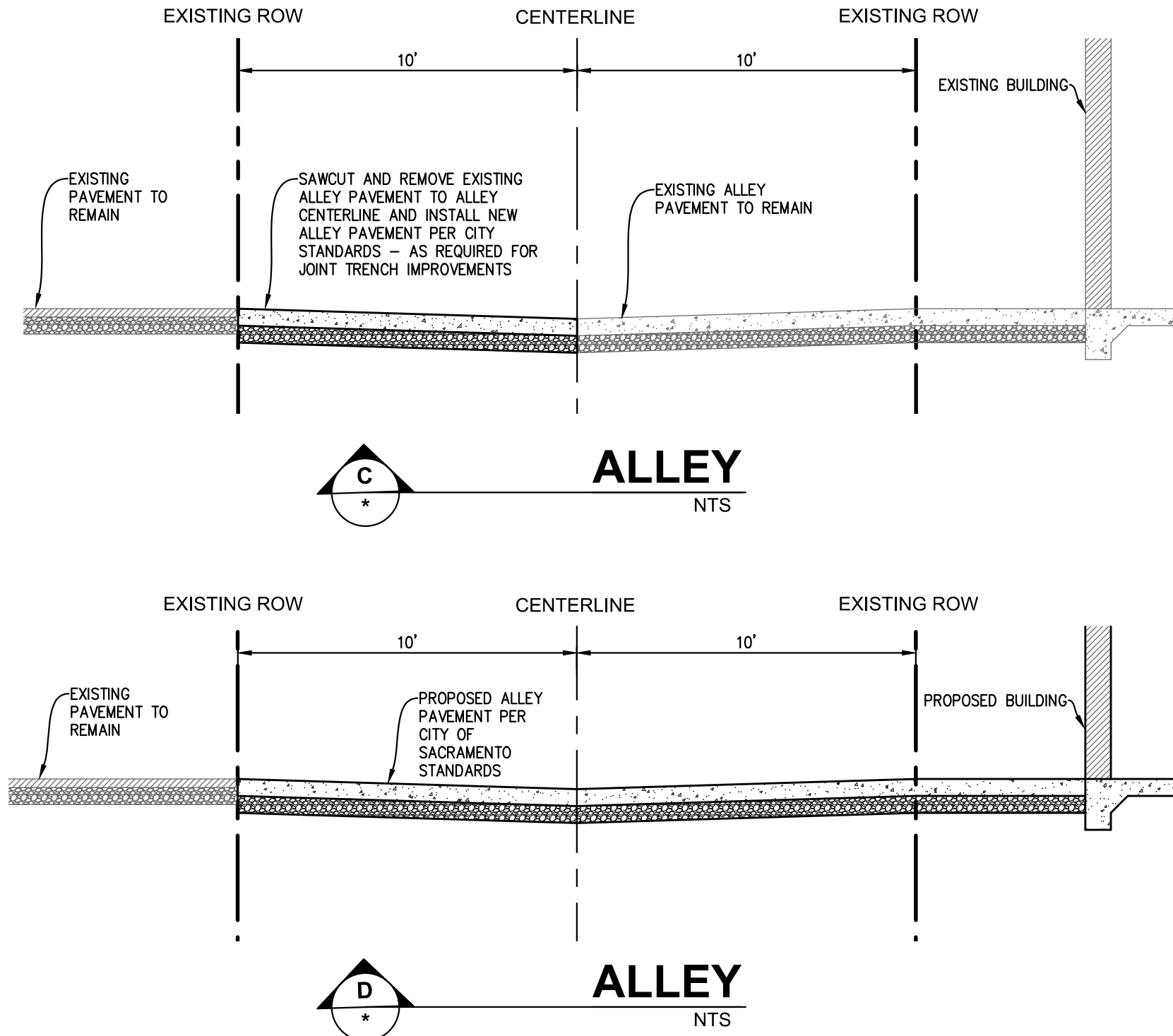
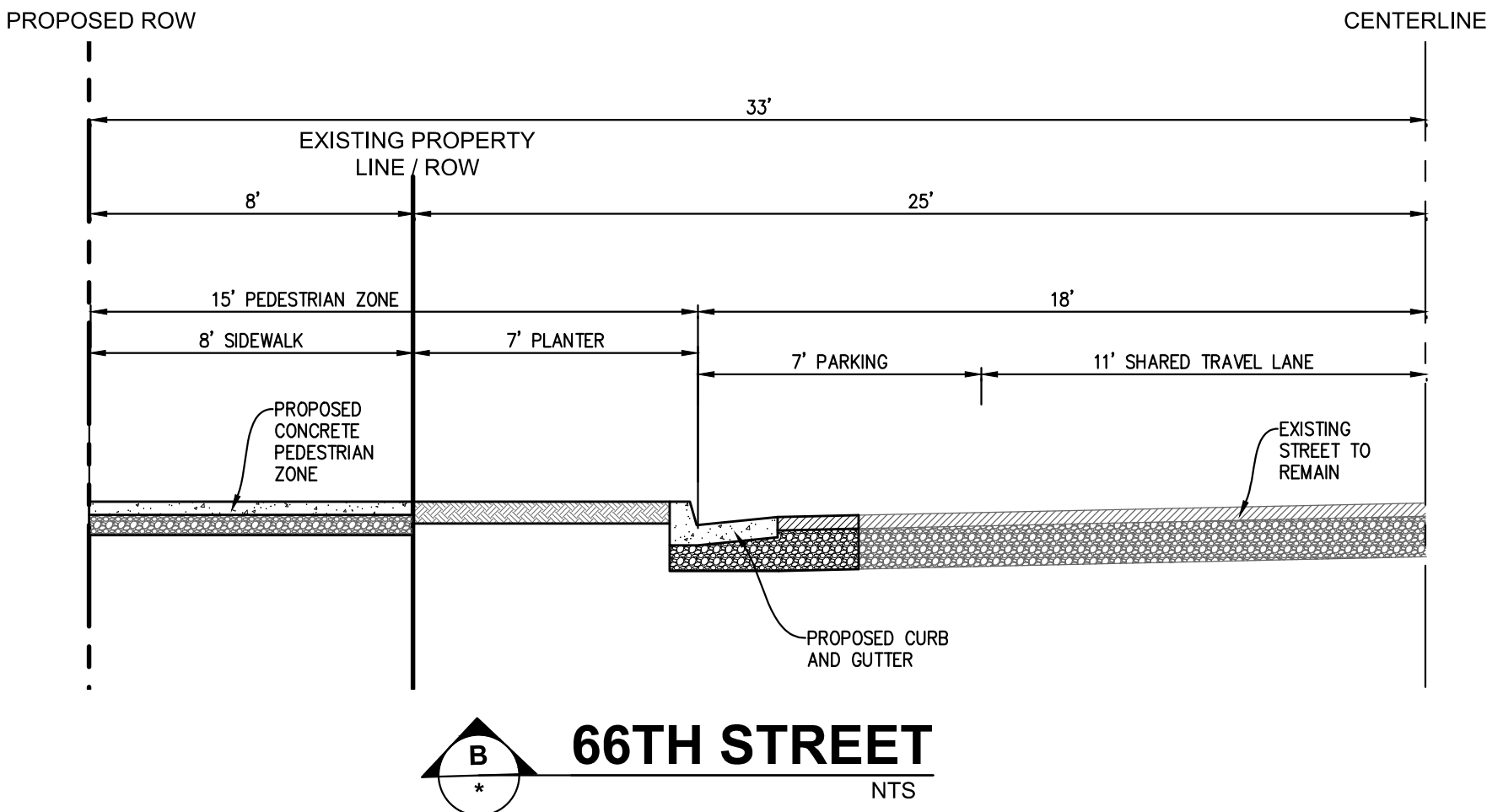
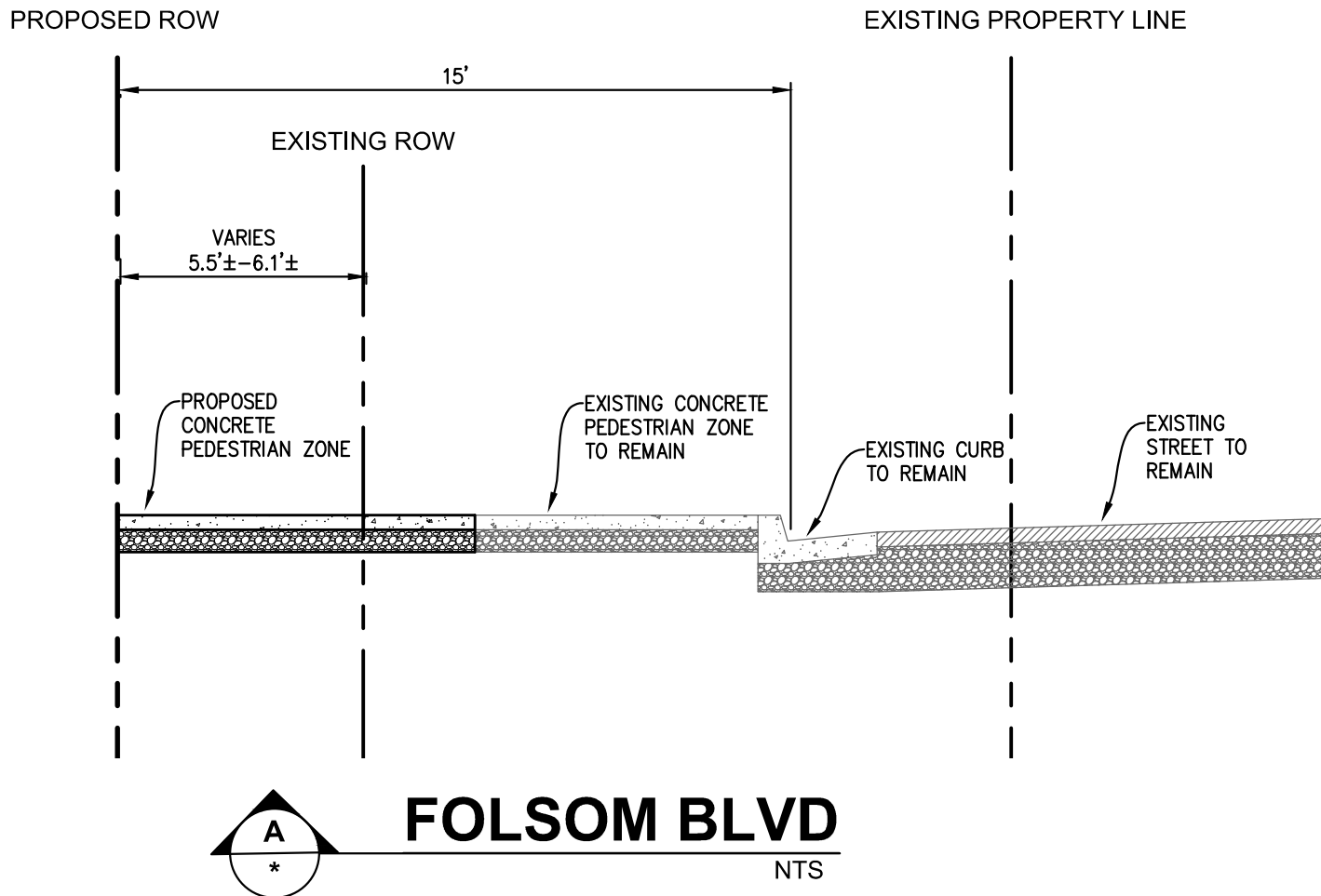
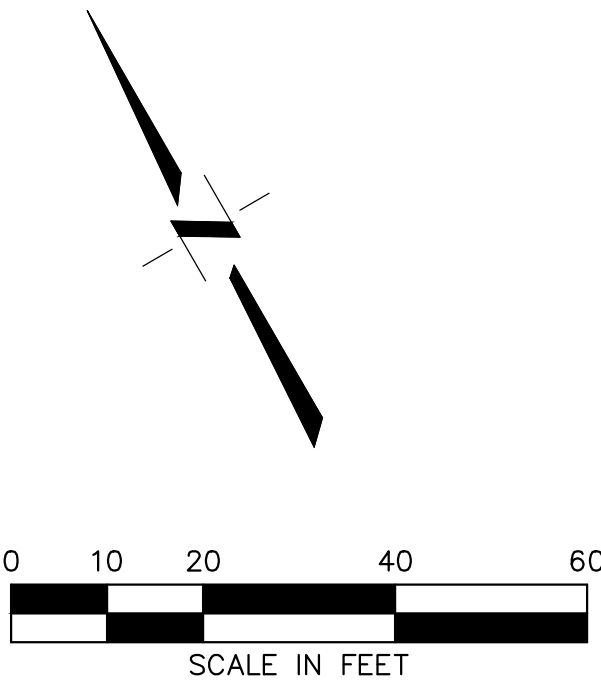
- 1 EXISTING CURB AND GUTTER TO REMAIN.
- 2 SAWCUT AND REMOVE EXISTING CURB AND GUTTER TO APPROXIMATE LIMITS SHOWN. INSTALL NEW CURB AND GUTTER TYPE 2 PER CITY OF SACRAMENTO STANDARD DWG. NO. T-11
- 3 SAWCUT AND REMOVE EXISTING ALLEY DRIVEWAY AND INSTALL NEW MODIFIED ALLEY DRIVEWAY. FINAL ALLEY DRIVEWAY DESIGN DETAILS TO BE DEVELOPED DURING CONSTRUCTION DOCUMENT PHASE
- 4 EXISTING SIDEWALK TO REMAIN
- 5 SAWCUT AND REMOVE EXISTING PAVEMENT AND INSTALL NEW SIDEWALK PAVEMENT PER CITY OF SACRAMENTO STANDARDS
- 6 INSTALL SINGLE FLARE CURB RAMP PER CITY OF SACRAMENTO DWG. NO. T-73
- 7 INSTALL NEW LANDSCAPE PLANTER AREA. SEE LANDSCAPE PLANS FOR IMPROVEMENTS
- 8 SAWCUT AND REMOVE EXISTING ALLEY PAVEMENT TO APPROXIMATE LIMITS SHOWN. INSTALL NEW ALLEY PAVEMENT PER CITY OF SACRAMENTO STANDARDS
- 9 EXISTING PARKING LOT CURB TO REMAIN
- 10 EXISTING JOINT POLE AND GUY WIRES TO REMAIN
- 11 EXISTING JOINT POLE TO BE REPLACED
- 12 EXISTING LIGHT TO REMAIN

TREE PRESERVATION MEASURES FOR CITY AND PRIVATE TREES

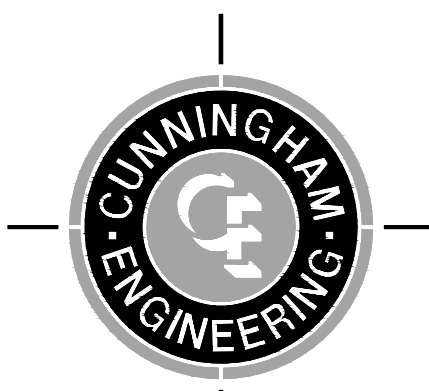
- 1. THIS PROJECT SHALL CONTRACT WITH A PROJECT ARBORIST EXPERIENCED WITH TREE PROTECTION AND CONSTRUCTION THAT IS REQUIRED TO:
 - a. ATTEND THE PRECONSTRUCTION MEETINGS TO APPROVE OF AND INFORM CONTRACTORS OF ALL TREE PROTECTION MEASURES.
 - b. VISIT THE SITE BEFORE AND AFTER DEMOLITION, GRADING AND LANDSCAPING AS WELL AS AT LEAST TWICE EACH MONTH DURING CONSTRUCTION TO ENSURE THAT TREE PROTECTION MEASURES ARE IMPLEMENTED AND MAINTAINED.
 - c. BE RESPONSIBLE FOR CORRECTING ANY SITE CONDITIONS THAT MAY NEGATIVELY IMPACT THE TREES AND REVISIT THE SITE TO ENSURE THAT CORRECTIVE ACTION WAS PROPERLY IMPLEMENTED.
 - d. THE PROJECT ARBORIST SHALL REPORT IN WRITING TO URBAN FORESTRY ALL VIOLATIONS AND TREE PROTECTION FAILURES ALONG WITH CORRECTIVE ACTION TAKEN AND EXPECTED OUTCOMES.
- 2. ALL CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE RETAINED THROUGHOUT CONSTRUCTION TO PROTECT THE ROOTS AND SOIL FROM THE IMPACTS OF CONSTRUCTION ACTIVITIES.
 - a. EXISTING DRIVEWAYS SHALL BE USED AS THE SOLE ACCESS TO THE SITE. WHERE THERE ARE NO EXISTING DRIVEWAYS, ACCESS SHALL BE LIMITED TO A ONE OR TWO LOCATIONS OUTSIDE THE DRIPLINE OF PROTECTED TREES THAT HAVE PROTECTION FROM SOIL COMPACTION WITH THE USE OF ONE OR MORE OF THE FOLLOWING: A 6-INCH LAYER OF HARDWOOD CHIPS COVERED BY ¾-INCH PLYWOOD OR TRENCH PLATES, GEOTEXTILE FABRIC COVERED BY A 6-INCH LAYER OF HARDWOOD CHIPS OR AN ALTERNATIVE THAT IS APPROVED BY THE CITY ARBORIST.
- 3. RIGHT-OF-WAY PLANTERS AND CITY TREES SHALL BE SEPARATED FROM THE CONSTRUCTION SITE WITH A SIX- FOOT HIGH CHAIN LINK FENCE THAT SHALL REMAIN THROUGHOUT THE DURATION OF THE PROJECT TO PROTECT TREES AND TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL IN THE PLANTERS.
- 4. CONSTRUCTION TRAILERS AND PORT-A-POTTIES SHALL BE PLACED ON EXISTING HARDSCAPE OR BRIDGED OVER THE TREE PROTECTION ZONE OR PLANTER SO AS NOT TO COMPACT SOIL.
- 5. ANY REGULATED WORK WITHIN THE DRIPLINE OR TREE PROTECTION ZONE OF A PROTECTED TREE SHALL BE SEPARATELY PERMITTED PRIOR TO THE START OF CONSTRUCTION AND SUPERVISED BY A QUALIFIED ARBORIST. SUBMIT A TREE PERMIT APPLICATION AND A TREE PROTECTION PLAN CREATED BY A QUALIFIED ARBORIST TO URBANFORESTRY@CITYOFSACRAMENTO.ORG AND REFER TO THE PLANNING PROJECT NUMBER OR OFF-SITE PROJECT NUMBER.
- 6. ALL EXCAVATION, GRADING OR TRENCHING WITHIN THE DRIPLINE OF A PROTECTED TREE FOR THE PURPOSE OF UTILITY INSTALLATION, CONSTRUCTING FOUNDATIONS, FOOTINGS, SIDEWALKS, CURBS, GUTTERS, OR ANY OTHER REASON SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION, PNEUMATIC EXCAVATION OR HAND DIGGING AND SHALL BE DIRECTLY SUPERVISED BY A QUALIFIED ARBORIST.
- 7. THERE SHALL BE NO EXCAVATION DEEPER THAN THE EXISTING EXCAVATION FOR SIDEWALKS WITHIN THE DRIPLINE OF PROTECTED TREES.
- 8. THERE SHALL BE NO GRADE CHANGES WITHIN THE DRIPLINE OF PROTECTED TREES. ALL GRADE CHANGES SHALL BE ACCOMMODATED ONSITE.
- 9. THERE SHALL BE NO SOIL COMPACTION WITHIN THE DRIPLINE OF PROTECTED TREES.
- 10. THERE SHALL BE NO NON-NATIVE SOIL, NON-ORGANIC MATTER OR STRUCTURAL SOIL ADDED TO THE RIGHT-OF-WAY PLANTER.
- 11. THE FOLLOWING IS A LIST OF ACTIVITIES THAT REQUIRE A TREE PERMIT IF THEY ARE TO OCCUR OR BE USED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR WITHIN THE TREE PROTECTION ZONE OF PROTECTED TREES: ANY REGULATED WORK AS DEFINED IN SCC 12.58, EXCAVATION, GRADE CHANGES, TRENCHES, ROOT OR CANOPY PRUNING OR BORING.
- 12. THE FOLLOWING IS A LIST OF ACTIVITIES THAT ARE PROHIBITED WITHIN THE RIGHT-OF-WAY PLANTER AND/OR TREE PROTECTION ZONE OF PROTECTED TREES: PEDESTRIAN AND EQUIPMENT TRAFFIC THAT COULD COMPACT THE SOIL OR PHYSICALLY DAMAGE ROOTS, PARKING VEHICLES, EQUIPMENT AND/OR PORT-A-POTTIES, STORING OF SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE, DISPOSING OF WASH WATER, PAINT, CEMENT, FUEL OR OTHER POTENTIALLY DAMAGING LIQUIDS AND ANY OTHER ACTIVITIES THAT MAY HAVE NEGATIVE IMPACTS ON THE TREES AND SOIL.
- 13. ALL TREES SHALL BE WATERED REGULARLY ACCORDING TO THE RECOMMENDATION OF THE PROJECT ARBORIST.
- 14. THE APPLICANT SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE PROJECT. ACCIDENTAL OR NEGLIGENT ACTIONS THAT DAMAGE CITY TREES MAY RESULT IN A PENALTY. THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BRING THE TREE IN QUESTION TO A STATE OF COMPARABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

NOTES

- 1. THIS PRELIMINARY PAVEMENT PLAN WAS PREPARED TO DEPICT PROPOSED SURFACE IMPROVEMENT CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HERE ON AS THE DESIGN PROCESS PROGRESSES.
- 2. THIS EXHIBIT IS BASED ON THE PRELIMINARY BAOBAB APARTMENTS SITE PLAN PREPARED BY C2K DATED JUNE 2024.
- 3. TOPOGRAPHIC SURVEY PREPARED BY JTS SURVEYING DATED JUNE 2024.



ENTITLEMENTS



Project Planning ■ Civil Engineering ■ Landscape Architecture

■ Sacramento Office
2120 20th Street, Suite Three
Sacramento, CA 95818
(916) 455-2026

■ Davis Office
2940 Spafford Street, Suite 200
Davis, CA 95618
(530) 758-2026

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**

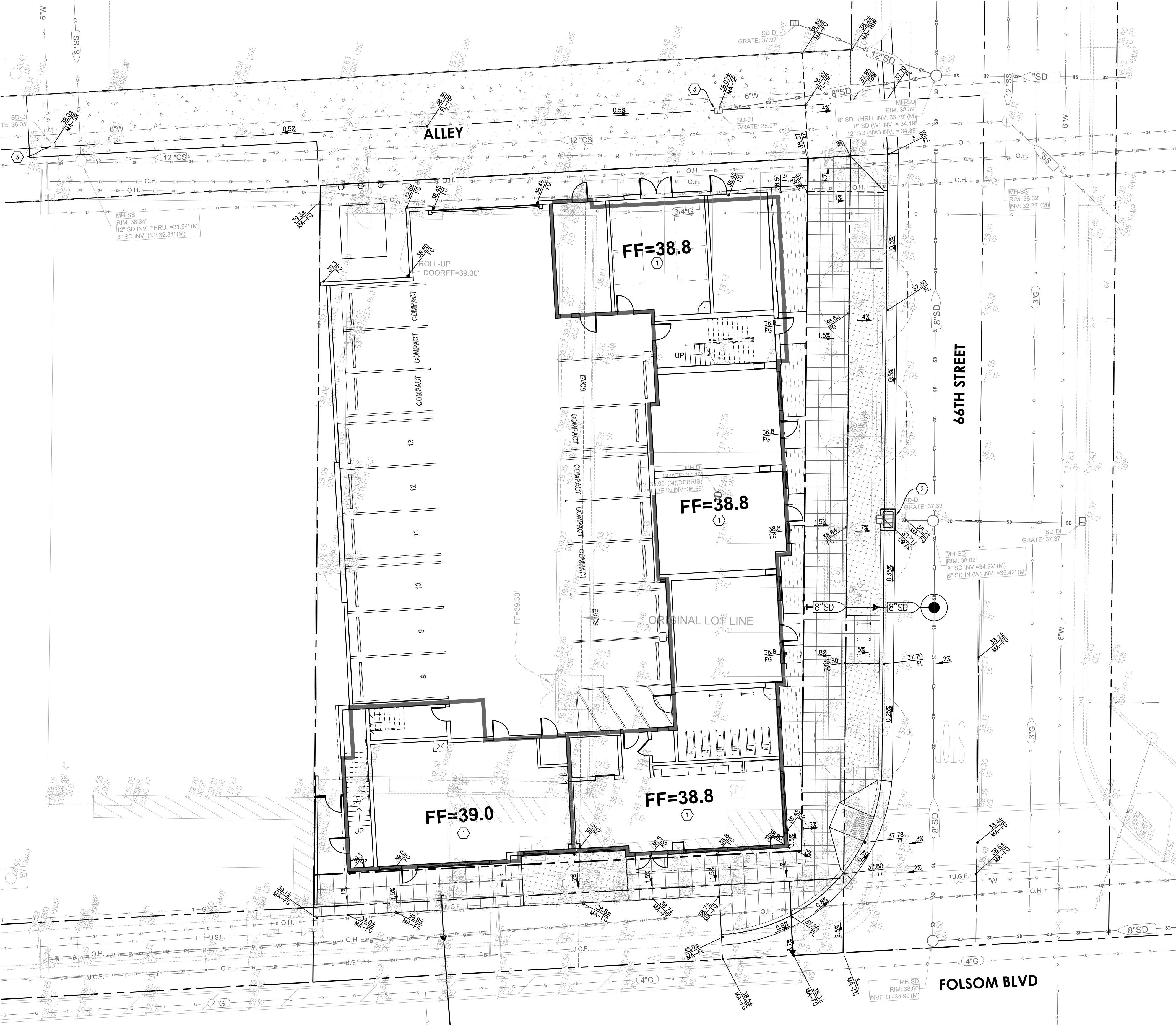
PROJECT NO.: 2041
DRAWN: DR/CK
DATE: OCTOBER 2024
ENTITLEMENTS

REVISION: DESCRIPTION:

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SHEET TITLE:
PRELIMINARY PAVEMENT PLAN

SHEET NO.:
C1.00



KEYNOTES

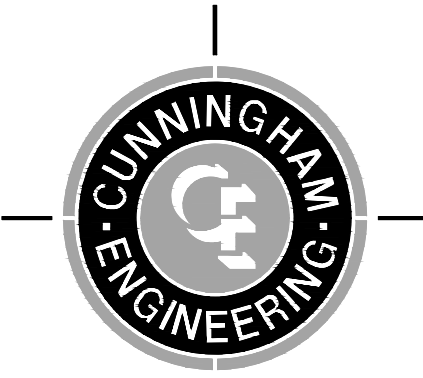
1. PROPOSED BUILDING FINISH FLOOR ELEVATION.
2. REMOVE EXISTING CURB INLET AND INSTALL NEW TYPE B DROP INLET PER CITY OF SACRAMENTO STANDARD DWG. NO. S-10. CONNECT TO EXISTING STORM DRAIN LEADER.
3. EXISTING ALLEY DRAIN TO REMAIN.

NOTES

1. THIS PRELIMINARY GRADING PLAN WAS PREPARED TO DEPICT PROPOSED GRADING CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HERON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY BAOBAB SITE PLAN PREPARED BY C2K DATED JUNE 2024.
3. TOPOGRAPHIC SURVEY PREPARED BY JTS DATED JUNE 2024.
4. PROPOSED ELEVATIONS SHOWN ARE ESTIMATES ONLY. ACTUAL ELEVATIONS MAY CHANGE DURING FINAL DESIGN.
5. EXISTING UTILITY IMPROVEMENTS ARE BASED ON AVAILABLE CITY BASE UTILITY MAPS AND RECORD DRAWINGS. ACTUAL SIZES, TYPES AND LOCATIONS MAY VARY FROM INFORMATION SHOWN HEREON.
6. NO EXISTING ONSITE DRAINAGE COURSES, ETC.

TREE PRESERVATION MEASURES FOR CITY AND PRIVATE TREES

1. THIS PROJECT SHALL CONTRACT WITH A PROJECT ARBORIST EXPERIENCED WITH TREE PROTECTION AND CONSTRUCTION THAT IS REQUIRED TO:
 - a. ATTEND THE PRECONSTRUCTION MEETINGS TO APPROVE OF AND INFORM CONTRACTORS OF ALL TREE PROTECTION MEASURES.
 - b. VISIT THE SITE BEFORE AND AFTER DEMOLITION, GRADING AND LANDSCAPING AS WELL AS AT LEAST TWICE EACH MONTH DURING CONSTRUCTION TO ENSURE THAT TREE PROTECTION MEASURES ARE IMPLEMENTED AND MAINTAINED.
 - c. BE RESPONSIBLE FOR CORRECTING ANY SITE CONDITIONS THAT MAY NEGATIVELY IMPACT THE TREES AND REVISIT THE SITE TO ENSURE THAT CORRECTIVE ACTION WAS PROPERLY IMPLEMENTED.
 - d. THE PROJECT ARBORIST SHALL REPORT IN WRITING TO URBAN FORESTRY ALL VIOLATIONS AND TREE PROTECTION FAILURES ALONG WITH CORRECTIVE ACTION TAKEN AND EXPECTED OUTCOMES.
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Project Planning ■ Civil Engineering ■ Landscape Architecture

■ Sacramento Office
2120 20th Street, Suite Three
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(916) 455-2026

■ Davis Office
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Davis, CA 95618
(530) 758-2026

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**

PROJECT NO.: 2041
DRAWN: DR/CK
DATE: OCTOBER 2024
ENTITLEMENTS

REVISION: DESCRIPTION:

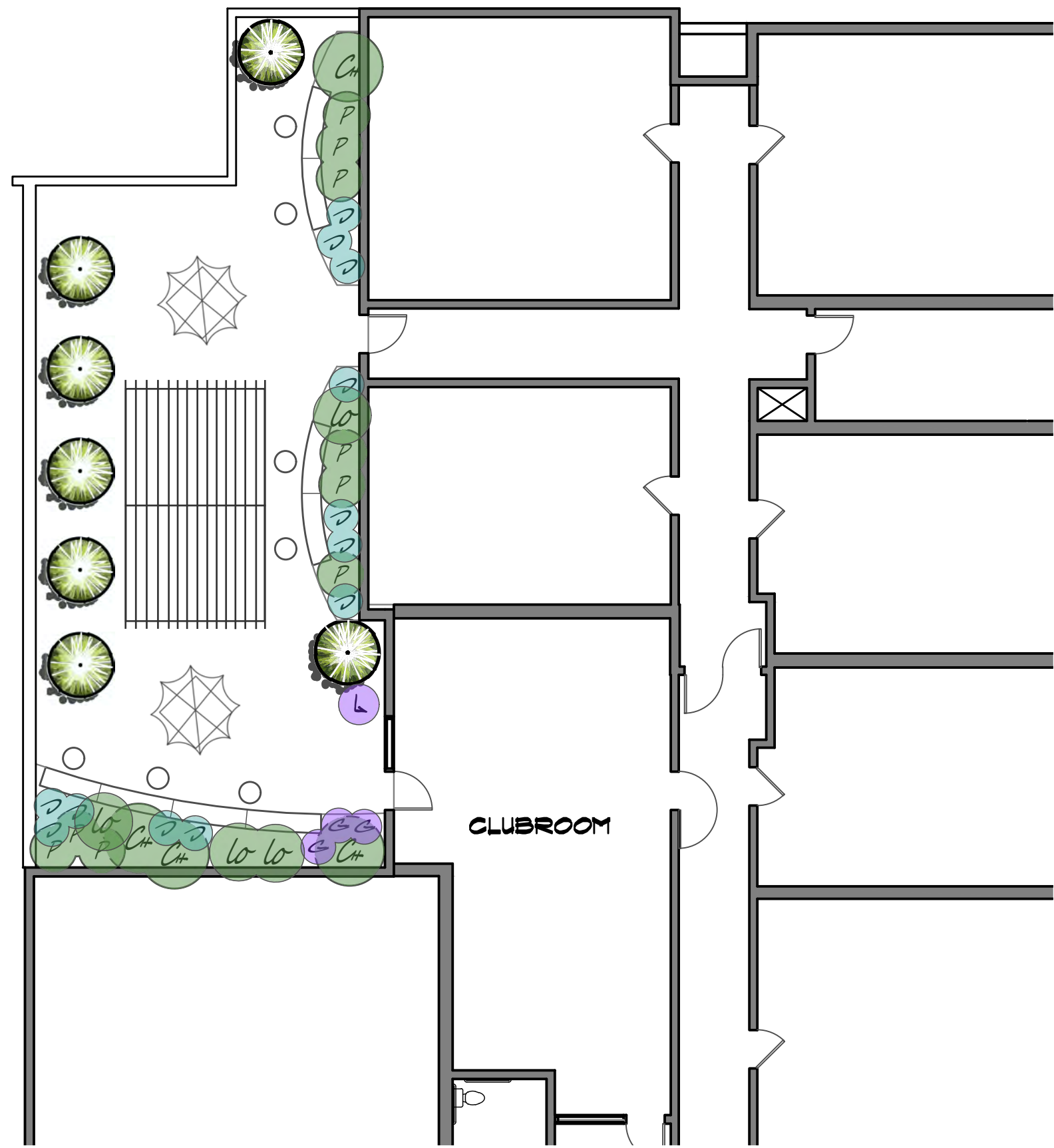
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ENTITLEMENTS

SHEET TITLE:
**PRELIMINARY GRADING &
DRAINAGE PLAN**

SHEET NO.:

C-2.00



PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME/COMMON NAME	SIZE	QUANTITY
	LAGERSTROEMIA X. 'CATAWBA'/CAPE MYRTLE	24" BOX	1
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'/COMPACT SOUTHERN MAGNOLIA	15 GALLON	7
	ULMUS PROPINQUA'EMERALD SUNSHINE'/HYBRID ELM	15 GALLON	4
	AGAVE X. 'BLUE GLOW'/BLUE GLOW AGAVE	15 GALLON	16
	CHONDROPETALUM ELEPHANTINUM/CAPE RUSH	5 GALLON	4
	CISTUS COBARIENSIS 'LITTLE MISS SUNSHINE'/YELLOW ROCKROSE	5 GALLON	3
	CAREX OSHIMENSIS 'EVEREST'/VARIEGATED JAPANESE SEDGE	1 GALLON	2
	DIANELLA REVOLUTA 'BABY BLISS'/BLACK FLAX LILY	1 GALLON	12
	DIANELLA REVOLUTA 'ALLYN-CITATION'/COOLVISTA FLAX LILY	1 GALLON	20
	ERIGERON KARVINSKIANUS/FLEABANE	1 GALLON	4
	GAZANIA X. 'MITSUA YELLOW'/GAZANIA	FLATS	44 S.F.
	GERANIUM X. CANTABRIGIENSE 'BIOKOVO'/BIOKOVO CRANESBILL	1 GALLON	6
	LOMANDRA LONGIFOLIA 'LOMLON'/LIME TUFF MAT RUSH	1 GALLON	4
	LIMONIUM PEREZII/SEA LAVENDER	1 GALLON	1
	NERIUM O. 'DWARF RED'/PETITE RED OLEANDER	5 GALLON	1
	NEPETA X. FAASSENII/CATMINT	1 GALLON	4
	PHYLLOSTACHYS AUREA/GOLDEN BAMBOO	5 GALLON	9
	PENSTEMON HETEROPHYLLUS 'MARGARITA B.O.P./BEARD TONGUE	1 GALLON	3
	ROSA X. 'MEJOCOS'/PINK DRIFT ROSE	2 GALLON	20

C2K

ARCHITECTURE

1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

Garth Ruffner
Landscape Architect
(916)797-2576

4120 Douglas Blvd., Suite 306, #301
Roseville, CA 95746-5936

GarthRuffner.com
California R.L.A. #2808

CITY STAMP

**BAOBAB
APARTMENTS**

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**

PROJECT NO.: 24103 [44016]
DRAWN: GR
DATE: SEPTEMBER 23, 2024
ENTITLEMENTS

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ENTITLEMENTS

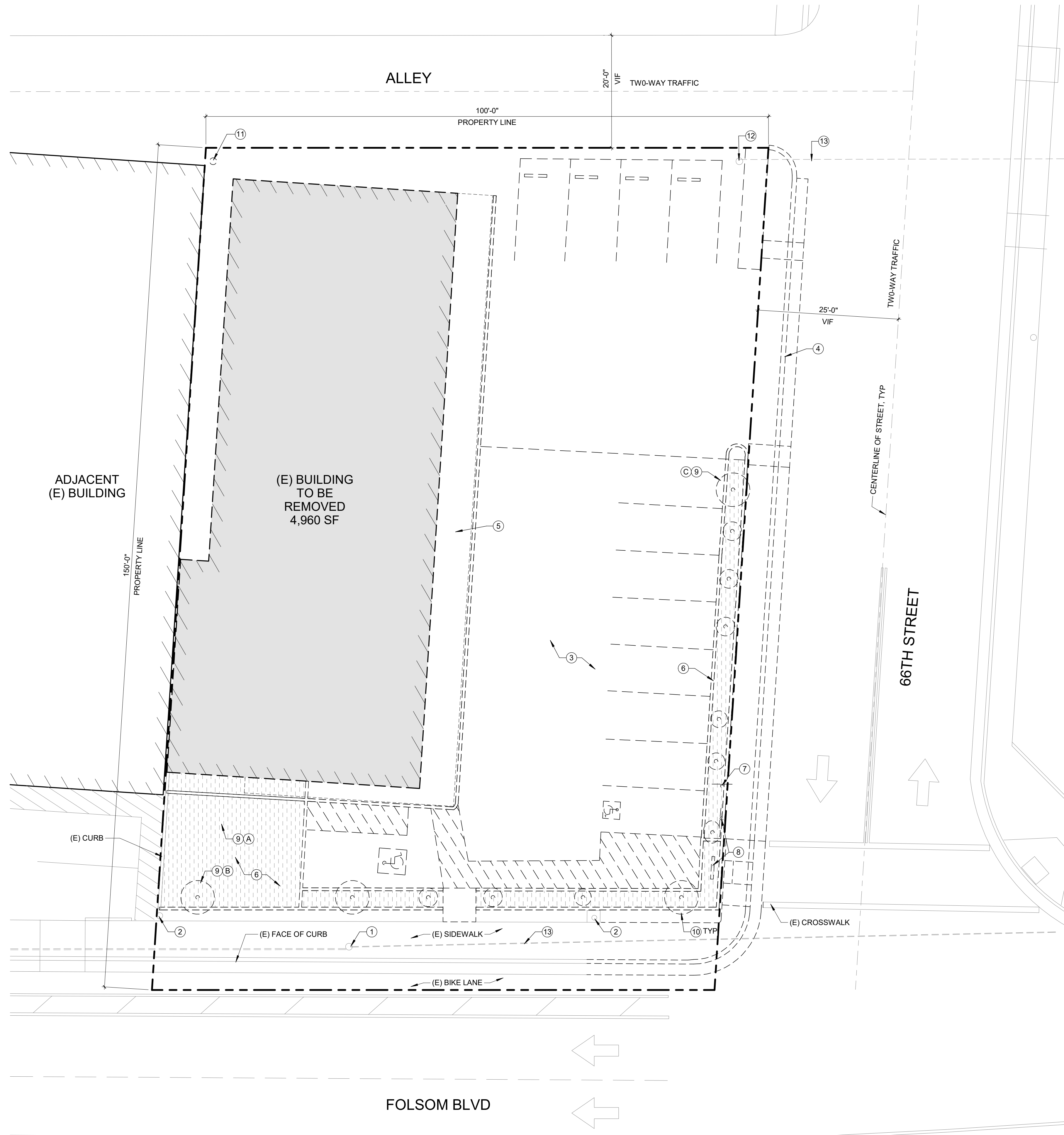
SHEET TITLE:
**PRELIMINARY
LANDSCAPE PLANS**

SHEET NO.:
L.100

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1
A.100
EXISTING SITE PLAN / DEMO PLAN
1" = 10'-0"



GENERAL NOTES - EXISTING SITE PLAN

- ALL STRUCTURES WITHIN PROPERTY LINE TO BE DEMOLISHED.
- ALL TREES, PLANTS AND PLANTERS WITHIN PROPERTY LINE TO BE DEMOLISHED.
- ALL ACCESS TO THE SITE THROUGH THE EXISTING DRIVEWAY ON 66TH ST AND ALLEY.
- RETAIN EXISTING CURBS AND SIDEWALKS ALONG FOLSOM BLVD THROUGHOUT CONSTRUCTION.

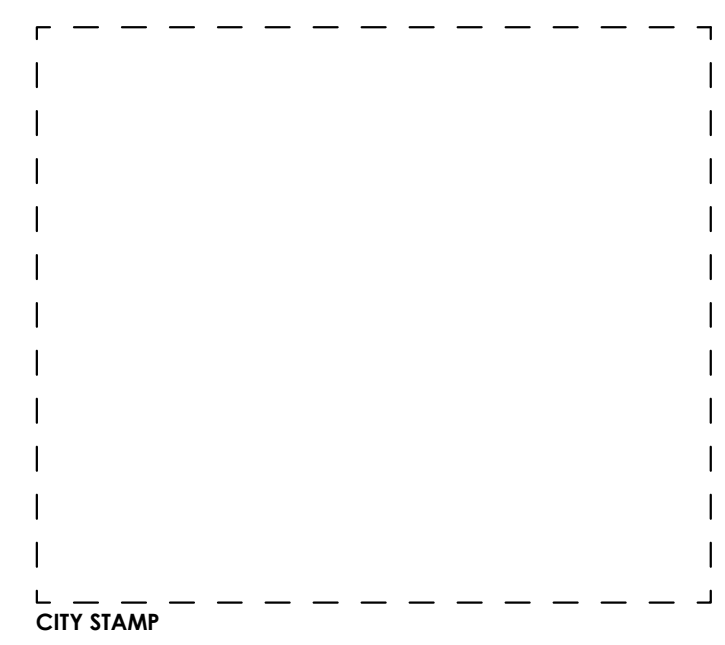
KEYNOTES - SITE PLAN / DEMO PLAN

- (E) UTILITY SERVICE POLE
- (E) STREET LIGHT
- (E) PARKING LOT, TO BE REMOVED
- (E) DRIVEWAY, TO BE REMOVED
- (E) CONCRETE HARDSCAPE, TO BE REMOVED
- (E) PLANTER TO BE REMOVED
- (E) STOP SIGN
- (E) RETAIL SIGNAGE, TO BE REMOVED
- (E) ON-SITE TREE, TO BE REMOVED. SEE EXISTING TREE SCHEDULE.
- (E) SHRUB PLANTING, TO BE REMOVED
- (E) UTILITY SERVICE POLE, TO BE REMOVED
- (E) UTILITY SERVICE POLE, TO BE REPLACED BY SMUD WITH NEW STEEL POLE
- (E) OVERHEAD UTILITY LINES

EXISTING TREE SCHEDULE

- | | |
|---|---|
| A | ITALIAN CYPRESS (CUPRESSUS SUMPERVIRENS) - 15" DBH |
| B | ELM (ULMUS SPP.) - 4" DBH (TRUNK BRANCHES OFF AT 3' HEIGHT) |
| C | TREE-OF-HEAVEN (AILANTHUS ALTISSIMA) - 4" DBH |

NOTE:
ALL REMAINING EXISTING PLANTINGS ARE OLEANDER SHRUBS, TO BE REMOVED.
SEE KEYNOTE 10.



BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

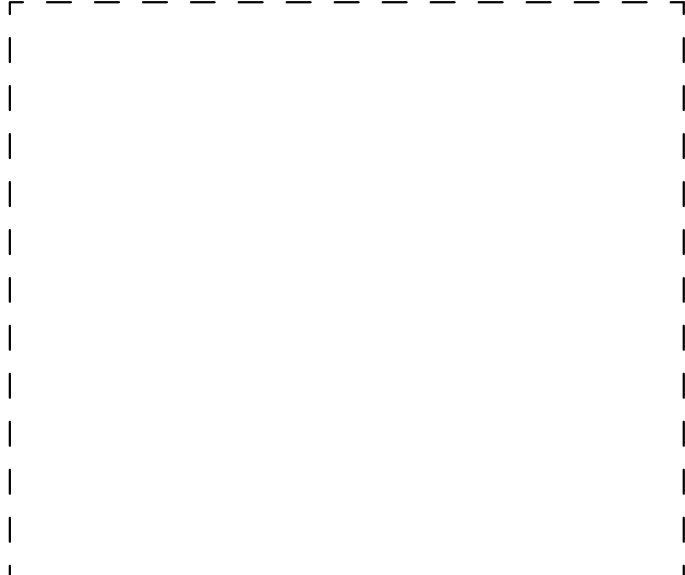
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ENTITLEMENTS

SHEET TITLE:
**EXISTING SITE PLAN / DEMO
PLAN**

SHEET NO.:

A.100



CITY STAMP

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BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA**
DR24-166

PROJECT NO.: 24103
DRAWN: NH
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

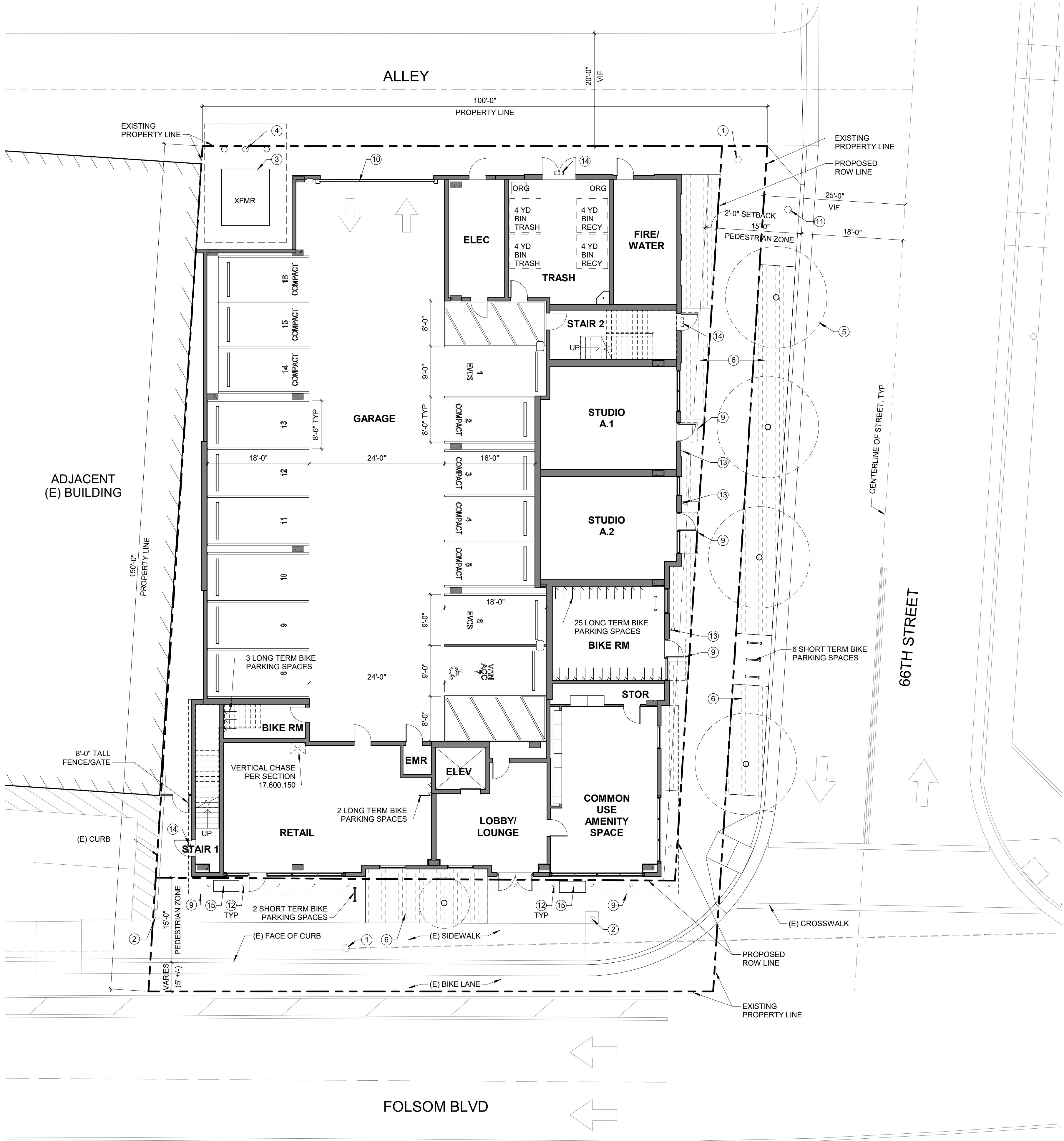
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ENTITLEMENTS

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NO.:

A.200



VEHICLE PARKING - MATRIX

TYPE	COUNT
PARKING - ADA	1
PARKING - COMPACT	7
PARKING - EVCS	2
PARKING - STANDARD	6
	16

BICYCLE PARKING - MATRIX

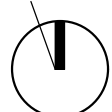
TYPE	COUNT
RESIDENTIAL LONG TERM	29
RESIDENTIAL SHORT TERM	6
RETAIL LONG TERM	2
RETAIL SHORT TERM	2
	39

KEYNOTES - SITE PLAN - PLANNING

- UTILITY SERVICE POLE
- STREET LIGHT - SEE CIVIL
- TRANSFORMER PAD
- BOLLARD - SEE CIVIL
- STREET TREE - SEE LANDSCAPE
- PLANTING AREA - SEE LANDSCAPE
- CANOPY ABOVE
- 20'-0" WIDE OVERHEAD ROLLING GARAGE DOOR
- FIRE HYDRANT - SEE CIVIL
- RECESSED LED DOWN LIGHT
- WALL MOUNTED LED DOWN LIGHT
- WALL MOUNTED LED LIGHT OVER DOOR
- REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)

1 SITE PLAN
A.200 1" = 10'-0"

0' 5' 10' 20'



1645 NW HOYT
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503 444 2200

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SHEET TITLE:
FLOOR PLAN - LEVEL 1

SHEET NO.:

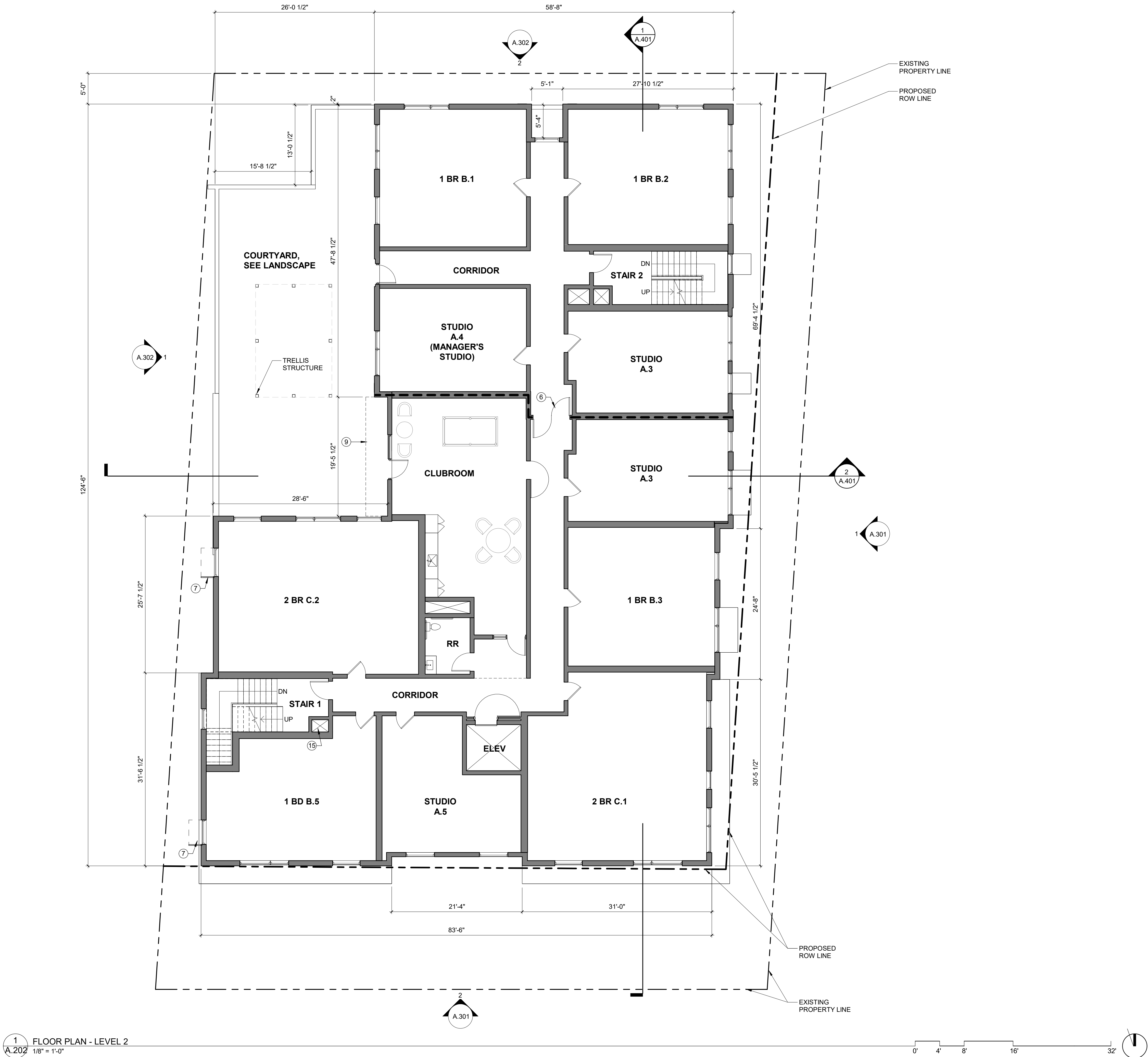
A.201

ENTITLEMENTS



C:\Revit_Local\24103_6531 Folsom_inhandley\REPNS.rvt

4/30/2025 5:07:54 PM



KEYNOTES - FLOOR PLANS

- 1 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 3 WALL-MOUNTED BICYCLE RACK - 1 BIKE PER RACK
- 4 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 5 MOP SINK
- 6 2 HOUR HORIZONTAL EXIT
- 7 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 2-6
- 8 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 3-6
- 9 CANOPY ABOVE
- 10 20'-0" WIDE GARAGE DOOR
- 11 RECESSED MAILBOXES
- 12 PACKAGE LOCKER
- 13 EV CHARGING STATION, SINGLE-PORT
- 14 EV CHARGING STATION, DUAL-PORT
- 15 VERTICAL CHASE FOR MIXED-USE PROJECTS PER SECTION 17.600.150
- 16 DUAL KNOX BOX (DUAL LOCK FOR FIRE AND POLICE)
- 17 REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)
- 18 MECH UNITS ABOVE

C2K

ARCHITECTURE

1445 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB
APARTMENTS

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ENTITLEMENTS
REVISION: DESCRIPTION:

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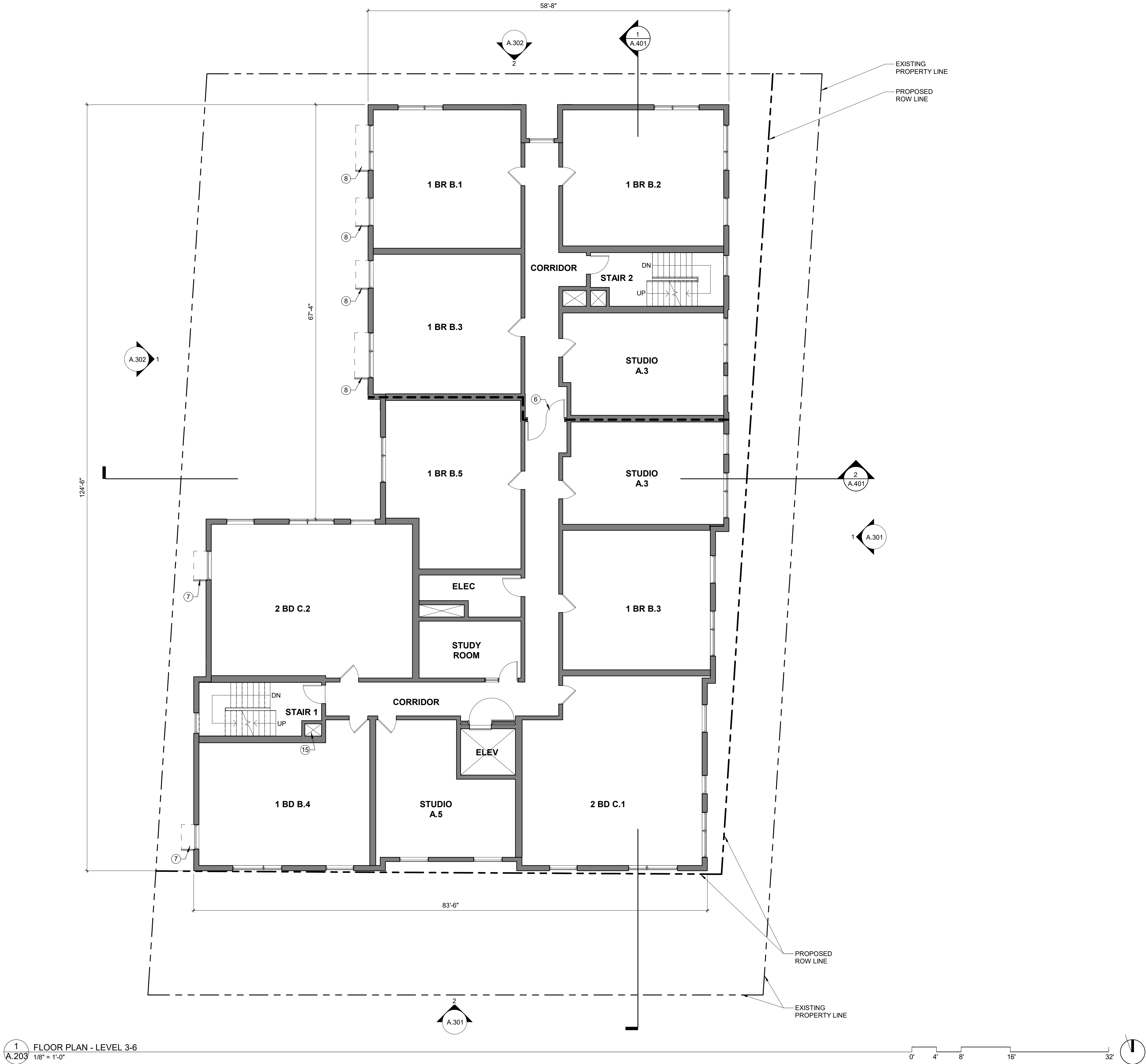
ENTITLEMENTS

SHEET TITLE:
FLOOR PLAN - LEVEL 2

SHEET NO.:
A.202

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KEYNOTES - FLOOR PLANS

- 1 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 3 WALL-MOUNTED BICYCLE RACK - 1 BIKE PER RACK
- 4 LOOP-STYLE BICYCLE RACK - 2 BIKES PER RACK
- 5 MOP SINK
- 6 2 HOUR HORIZONTAL EXIT
- 7 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 2-6
- 8 SUNSHADE - HORIZONTAL & VERTICAL FIN, LEVELS 3-6
- 9 CANOPY ABOVE
- 10 20'-0" WIDE GARAGE DOOR
- 11 RECESSED MAILBOXES
- 12 PACKAGE LOCKER
- 13 EV CHARGING STATION, SINGLE-PORT
- 14 EV CHARGING STATION, DUAL-PORT
- 15 VERTICAL CHASE FOR MIXED-USE PROJECTS PER SECTION 17.600.150
- 16 DUAL KNOX BOX (DUAL LOCK FOR FIRE AND POLICE)
- 17 REMOVABLE PLANTER (FUTURE REVOCABLE ENCROACHMENT PERMIT)
- 18 MECH UNITS ABOVE

C2K

ARCHITECTURE

1445 NW HOYT
PORTLAND OREGON 97209
503 444 2200



BAOBAB
APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS
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ENTITLEMENTS

SHEET TITLE:
FLOOR PLAN - LEVEL 3-6

SHEET NO.:
A.203



CITY STAMP

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APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

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6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166

PROJECT NO.: 24103
DRAWN: Author
DATE: MAY 02 2025
ENTITLEMENTS

REVISION: DESCRIPTION:

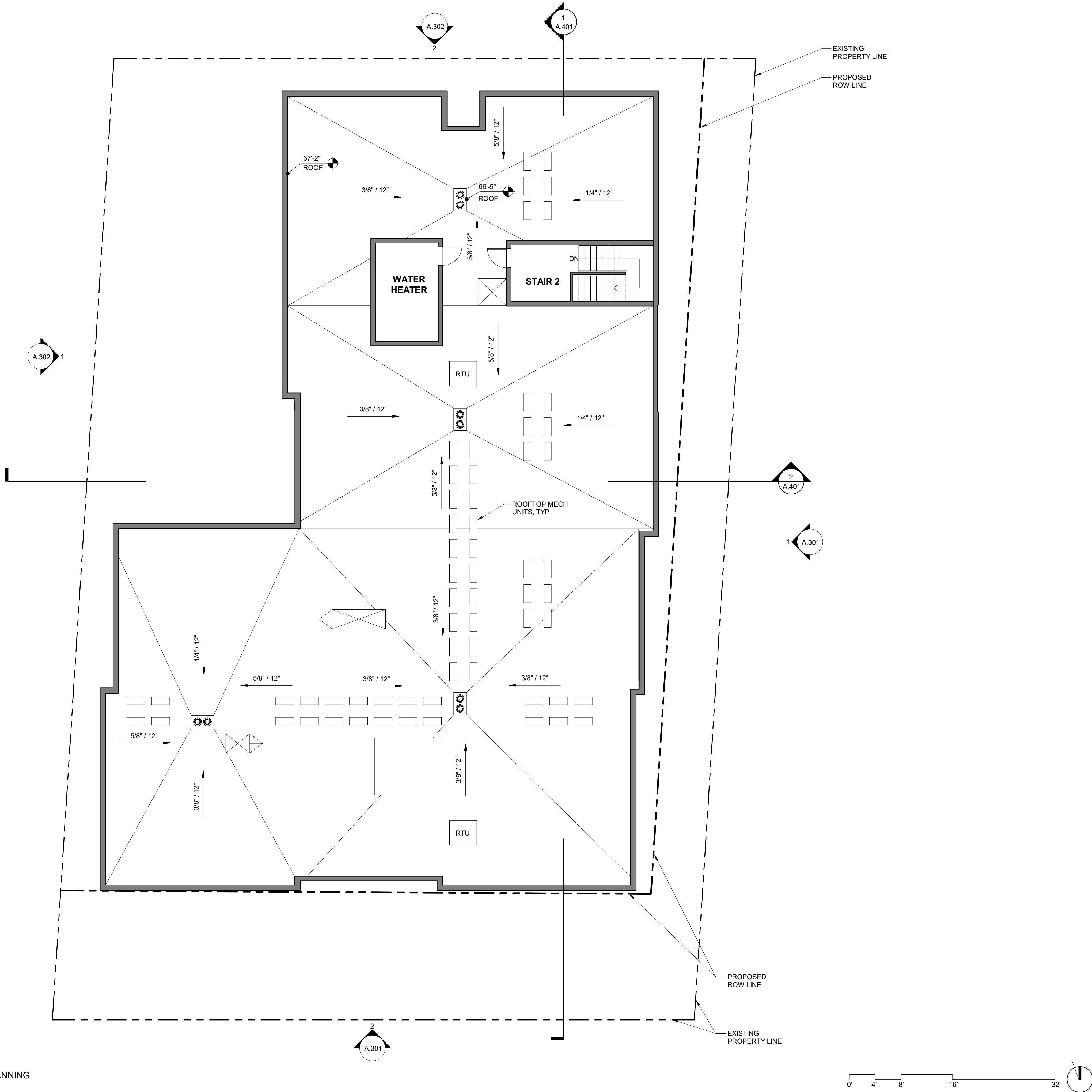
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ENTITLEMENTS

SHEET TITLE:
ROOF PLAN

SHEET NO.:

A.207



1
A.207 ROOF PLAN - PLANNING
1/8" = 1'-0"



FOLSOM BLVD & 66TH STREET CORNER VIEW



FOLSOM BLVD & 65TH STREET CORNER VIEW



66TH STREET & ALLEY CORNER VIEW



66TH STREET @ RESIDENTIAL UNITS



AERIAL VIEW AT ALLEY



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APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
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SACRAMENTO, CA
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ENTITLEMENTS

SHEET TITLE:
RENDERED VIEWS

SHEET NO.:
A.300



- ### KEYNOTES - ELEVATIONS
- 1 CANOPY
 - 2 SUNSHADE
 - 3 METAL PANEL - COLOR WHITE
 - 4 METAL PANEL - COLOR COPPER
 - 5 THIN BRICK - CLINKER; STACK BOND
 - 6 STUCCO - COLOR DARK GRAY
 - 7 CMU - RUNNING BOND
 - 8 FENCE WITH DECORATIVE GATE
 - 9 STOREFRONT ASSEMBLY - DARK BRONZE
 - 10 20'-0" WIDE OVERHEAD ROLLING GARAGE DOOR
 - 11 HOLLOW METAL DOOR AND FRAME
 - 12 VINYL WINDOW, TYP (INSULATED GLAZING @ SOUTH ELEVATION TO PROVIDE MIN SHGC OF 0.27)
 - 13 FENCE
 - 14 FIBERGLASS DOOR
 - 15 CAST-IN-PLACE CONCRETE
 - 16 TALL METAL COPING
 - 17 STANDARD METAL COPING
 - 18 DECORATIVE HALF-HEIGHT METAL FENCE

C2K
ARCHITECTURE
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

OWNER:
BAINS PROPERTY PTY LTD

ADDRESS:
**6531 FOLSOM BLVD
SACRAMENTO, CA
DR24-166**

PROJECT NO.: 24103
DRAWN: Author
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:
A.301

ENTITLEMENTS



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KEYNOTES - ELEVATIONS

- CANOPY
- SUNSHADE
- METAL PANEL - COLOR WHITE
- METAL PANEL - COLOR COPPER
- THIN BRICK - CLINKER; STACK BOND
- STUCCO - COLOR DARK GRAY
- CMU - RUNNING BOND
- FENCE WITH DECORATIVE GATE
- STOREFRONT ASSEMBLY - DARK BRONZE
- 20'-0" WIDE OVERHEAD ROLLING GARAGE DOOR
- HOLLOW METAL DOOR AND FRAME
- VINYL WINDOW, TYP (INSULATED GLAZING @ SOUTH ELEVATION TO PROVIDE MIN SHGC OF 0.27)
- FENCE
- FIBERGLASS DOOR
- CAST-IN-PLACE CONCRETE
- TALL METAL COPING
- STANDARD METAL COPING
- DECORATIVE HALF-HEIGHT METAL FENCE

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ARCHITECTURE

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OWNER:
BAINS PROPERTY PTY LTD

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PROJECT NO.: 24103
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ENTITLEMENTS

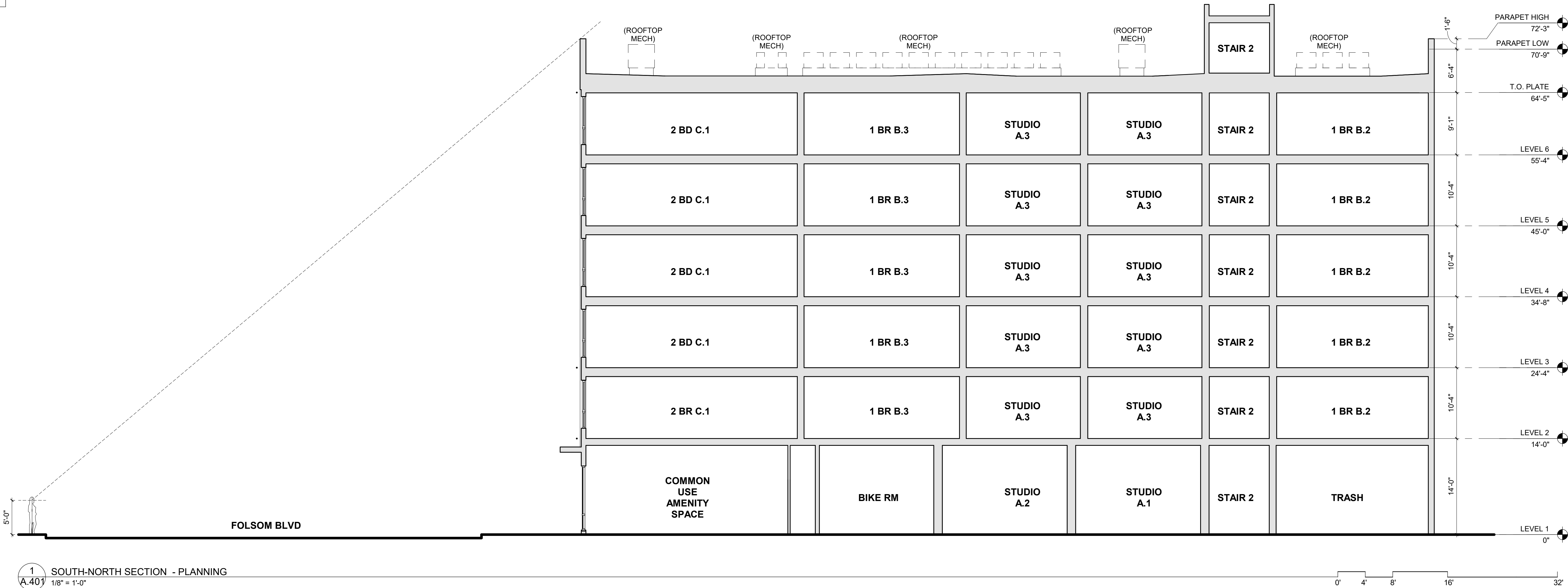
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

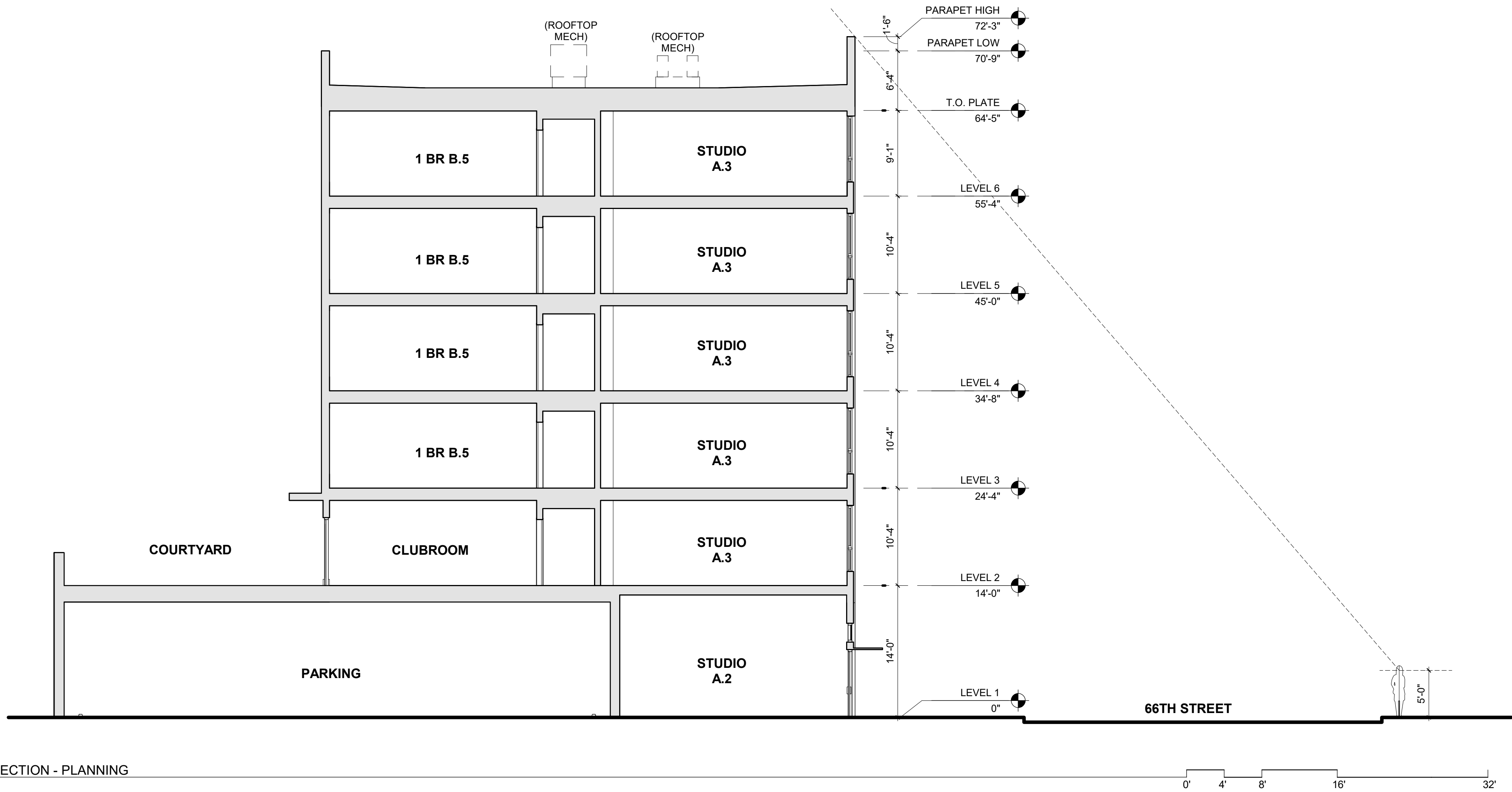
A.302

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1 SOUTH-NORTH SECTION - PLANNING
A.401 1/8" = 1'-0"



2 WEST-EAST SECTION - PLANNING
A.401 1/8" = 1'-0"

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ARCHITECTURE
1445 NW HOYT
PORTLAND OREGON 97209
503 444 2200

CITY STAMP

BAOBAB APARTMENTS

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BAINS PROPERTY PTY LTD

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ENTITLEMENTS

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.:
A.401