

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING**
300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommends the Design Director approve with conditions the Site Plan and Design Review for an addition to a single family residence for project known as file **DR24-006**. Draft Findings of Fact and Conditions of Approval for the project are included below.

Project Information:

Site Plan and Design Review to construct an attached carport to an existing single-unit dwelling with a deviation to be within the side yard setback on a 0.21-acre lot in the Single-Unit Dwelling Zone (R-1) within the Citywide Design Review District.

Location: 1036 46th St, Sacramento, CA 95819 (District 4)

Assessor's Parcel Numbers: 008-0152-004-0000

Applicant: Rich Cazneaux
1036 46th St, Sacramento, CA 95819

Property Owner: Rich Cazneaux
1036 46th St, Sacramento, CA 95819

Project Planner: Rod Lawlor, (916) 204-9787

General Plan Designation: Traditional Neighborhood Low Density (TNLD)

Community Plan Area: East Sacramento

Design Review Area: Citywide SPDR

Existing Land Use of Site: Residential

Existing Zoning: Single-Unit Dwelling Zone (R-1)

Surrounding Zoning and Land Use:

North (interior): (R-1) Residential

South (interior): (R-1) Residential

East (front): (R-1) Residential

West (rear): (R-1) Residential

Site Information:

Existing Property Size: 60' x 150' (0.21 acre)

Parking Required: One
Topography: Flat
Street Improvements: Existing
Utilities: Existing

Setback Information:

	Required:	Proposed:
Interior side-yard (South)	5' - 0"	3' - 2"

Project Analysis:

The project site consists of an existing single-family residence located at 1036 46th St. The applicant is proposing to construct a 13' x 26' attached carport. The roof will utilize clay tiles and the walls and columns will be smooth stucco to match existing.

The proposed side-yard setback for the carport is 3' - 2", which does not meet Sacramento City Code (SCC) 17.204.240(B) minimum requirements for interior side-yard setbacks:

- 1. Unless paragraph 2 or 3 of this subsection applies, the minimum interior side-yard setback is five feet.*
- 2. A minimum interior side-yard setback of three feet applies to interior lots having a width of less than 52 feet and corner lots having a width of less than 62 feet*

The applicant is requesting a deviation through a public hearing to allow the carport to be built within the side-yard setback. The reasons given for requesting this deviation include:

- The residence once had a carport that was removed by previous owners. The current owners would like to bring back the carport to match the neighborhood look and charm.
- Several neighbors on the block have carports with side-yard setbacks that do not meet minimum setback requirements, with setbacks ranging from 0" to 12".
- A 13' wide carport will allow for the accommodation of a vehicle and provide access to a side entrance to the residence - an entrance that has gone unused without a carport.

Staff supports the deviation and finds that the project is consistent with the purpose and intent of applicable design guidelines and development standards in that: 1) The proposed side setback is a minor encroachment into the required setback; 2) the proposed side encroachment does not significantly impact the neighbor to the south; and 3), the encroachment does not negatively impact the established assemblage of homes on the block and complements them through the use of an established accessory structure found throughout the neighborhood.

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, May 9, 2024. Neighborhood associations that were notified for the hearing include Preservation Sacramento, East Sacramento Improvement Association, East Sac Give Back, and East Sacramento Chamber

of Commerce. Staff have received one response in support for this project, from the East Sacramento Community Association Land Use Committee (Exhibit B).

Environmental Considerations:

The project is also determined to be exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 11, Section Number 15311, Accessory Structures.

200-Year Flood Protection:

“State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA’s Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer’s report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016 and the SAFCA 2023 Adequate Progress Annual Report accepted by City Council Resolution No. 2023-0337 on October 24, 2023.”

Draft Findings of Fact:

1. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Traditional Neighborhood Low Density.
2. The design, layout, and physical characteristics of the proposed project are consistent with all applicable design guidelines and with all applicable development standards in that the proposal meets all applicable development standards for the R-1 zone and the design standards for single-unit dwellings, with exception for the side-yard setback. Justification for the deviations can be found within the Project Analysis section of the staff report.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the adjacent residential dwellings.

5. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged. The proposed carport will assist in the passive shading and cooling of the façade in which it is attached.
6. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2023 Adequate Progress Annual Report accepted by the City Council on October 24, 2023 (Resolution No. 2023-0337).

DRAFT CONDITIONS OF APPROVALS:

Planning / Design Review

1. The proposed construction of the attached carport is approved per attached plans and conditions of approval.
2. Any modifications to the approved project shall be subject to the review and approval of Planning staff (and may require additional entitlements).
3. The carport shall be located a minimum of 3' - 2" away from the south property line per approved plans.
4. Provide the following building materials on the residential addition as indicated per approved plans:
 - a. Clay tile roof to match existing
 - b. 2x6 fascia to match existing
 - c. Smooth coat stucco siding to match existing
5. The applicant shall obtain all necessary building and encroachment permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
6. Plans shall be consistent with the attached exhibits. If there are any discrepancies between the exhibits and the conditions, the conditions will take precedence.

7. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit.
8. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 10-day reconsideration period.
9. This approval shall expire in three (3) years from the approval date.

Advisory Notes

The following advisory notes are informational in nature:

- ADV.1. Trees on adjacent parcels - While not required by city code for unprotected trees, the applicant has an obligation to protect trees owned by others on adjacent properties and should obtain permission to perform any work such as pruning or excavation within the dripline of such tree. Case law in California requires that reasonable care be taken to protect trees owned by others.
- ADV.2. A 1-hour rated wall is required on the south side where the fire separation distance is less than 5'. Openings in the south wall cannot exceed 25%.

ATTACHMENTS:

Exhibit A: Site Plan, Floor Plan, Elevations

Exhibit B: Letter of Support



Digitally signed by Rod Lawlor
Date: 2024.05.02 15:18:01
-07'00'

Rod Lawlor
Urban Design Staff



[Matthew Sites \(May 2, 2024 16:10 PDT\)](#)

Matthew Sites, AIA, LEED AP
Senior Architect



814 POLLARD AVENUE
FAIR OAKS, CA 95628
(916) 341-2625

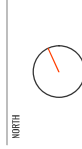


PROJECT
**CAZNEAUX
RESIDENCE**

1036 46TH STREET
SACRAMENTO, CA 95819
DATE: 4/15/2024
PROJECT NO: SP-1028

REVISION	DATE
1	
2	
3	
4	
5	
6	

NOTES:



DESIGN
DEVELOPMENT

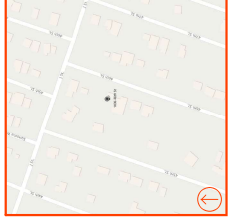
SITE PLAN

SCALE: 1/8" = 1'-0"

SP-1

PARCEL INFORMATION

JOB NO: 08-03-2024
ZONING: R4
APN: 009 97 21 02
CITY OF SACRAMENTO



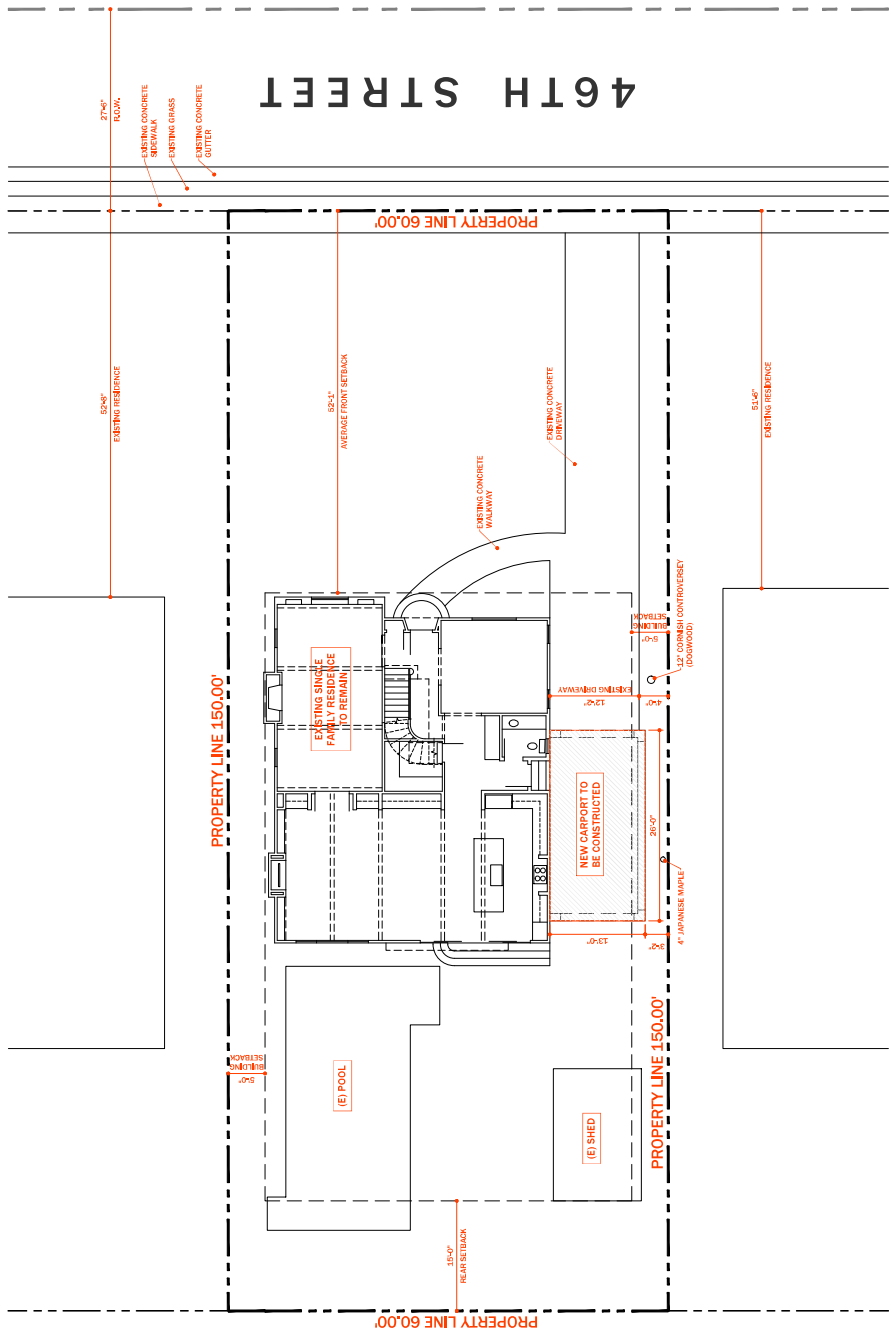
SCOPE OF WORK

- NEW CARPORT

NOTE:
NO NEW WORK ON EXISTING RESIDENCE,
NO NEW JOISTS OR WINDOW ON EXISTING RESIDENCE.

DEVIATION JUSTIFICATION

WE WOULD LIKE TO REQUEST A SETBACK FROM THE
REQUIRED 60' SETBACK TO ALLOW FOR A CARPORT,
REQUESTED SETBACK = 34'
CURRENT SETBACK = 60'
1036 46TH STREET HAS A CARPORT THAT WAS
REMOVED IN 2010. WE WOULD LIKE TO RECONSTRUCT
THE CARPORT TO MATCH THE EXISTING CARPORT.
WE WOULD LIKE TO BRING BACK THE CARPORT TO MATCH
THE SUBSTANTIAL LOOK AND FEEL OF THE EXISTING CARPORT.
WITHOUT THE ADDITIONAL 2'-0" WE WOULD NOT BE ABLE
TO BRING BACK THE CONFORMANCE OF THE SUBSTANTIAL
LOOK AND FEEL OF THE EXISTING CARPORT.
WE APPRECIATE THE CONSIDERATION.



SITE PLAN

SCALE: 3/8" = 1'-0"

PROJECT DATA

NEW CARPORT 388 SF
 EXISTING RESIDENCE 3,399 SF
 DETACHED 2-CAR GARAGE 2,210 SF



8114 POLLARD AVENUE
 FAIR OAKS, CA 95628
 (916) 341-2825



PROJECT
**CAZNEAUX
 RESIDENCE**

1036 46TH STREET
 SACRAMENTO, CA 95819
 DATE: 6/15/2024
 PROJECT NO: 24-1028

REVISION	DATE
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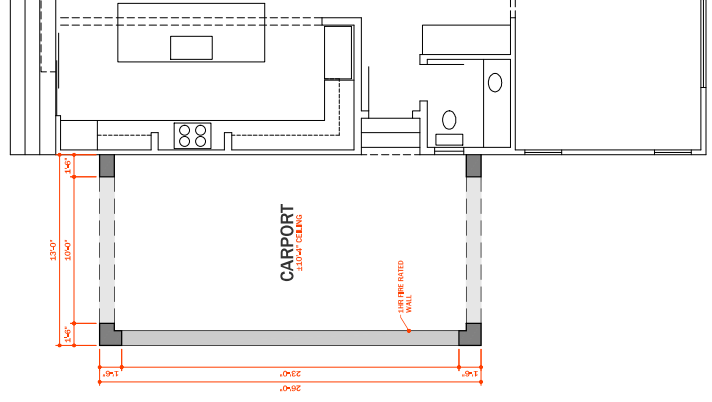


DESIGN
 DEVELOPMENT

CARPORT FLOOR
 & ROOF PLANS

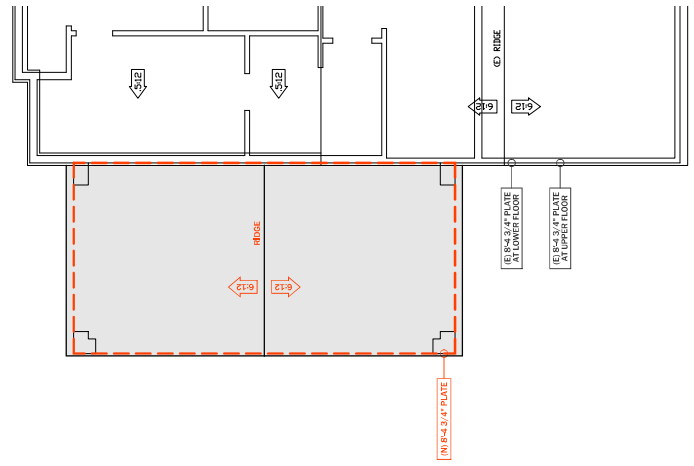
SCALE: 1/4"=1'-0"

A-1



CARPORT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

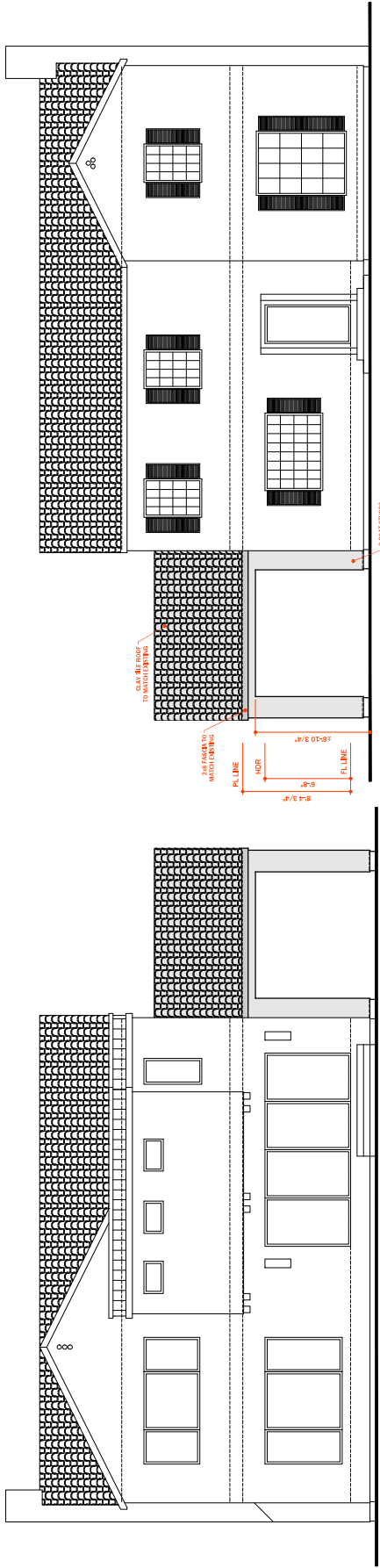
WALL LEGEND
 EXISTING WALL FRAMING
 2x4 DPC AT 16" O.C. WOOD FRAMED WALL



CARPORT ROOF PLAN
 SCALE: 1/4" = 1'-0"

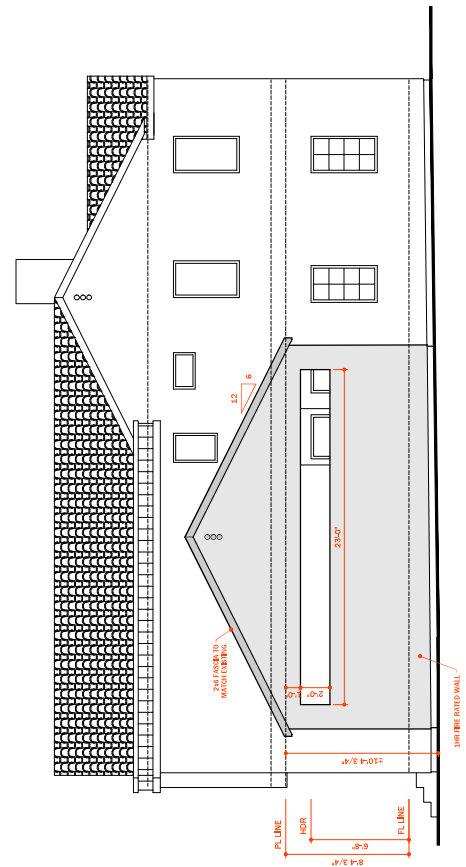
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NOTES:



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

From: [Brian Holloway](#)
To: [Rod Lawlor](#)
Subject: Re: Project Routing: DR24-006, New Attached Carport (1036 46th St)
Date: Friday, February 16, 2024 4:00:37 PM
Attachments: [image001.png](#)

Hi Mr. Lawlor,

My apologies for the delayed response.

The East Sacramento Community Association Land Use Committee is supportive of the proposed project.

Thank you,

Brian Holloway
ESCA Land Use Chair

916-996-2019

From: Rod Lawlor <RLawlor@cityofsacramento.org>
Date: Monday, February 5, 2024 at 4:38 PM
To: Rod Lawlor <RLawlor@cityofsacramento.org>
Subject: Project Routing: DR24-006, New Attached Carport (1036 46th St)

The Planning Division has received a new development application. Please see the information below regarding project file number **DR24-006**. The application materials can be accessed from the **ATTACHMENTS** link below.

Please send your **written comments** to me by **2/26/2024**. Do not hesitate to contact me if you have any questions about the project or issues accessing the application materials.

PROJECT INFORMATION	
Project Name:	New Attached Carport
Project Summary:	Request for Site Plan and Design Review to construct a new attached carport to the existing single-unit dwelling on a 0.21-acre parcel in the Single-Unit Dwelling Zone (R-1) within the Citywide Design Review Area. Applicant is requesting a side yard setback deviation.
Project Location:	1036 46 th St, Sacramento, CA 95819
Council District:	4, Represented by Mayor Steinberg's office
Assessor Parcel Number:	008-0152-004-0000
Applicant Name:	Rich Cazneaux
Applicant Phone Number:	(916) 717-4444
Applicant Email:	rich@eastSac.com

NEIGHBORHOOD GROUPS
East Sacramento Improvement Association East Sac Give Back East Sacramento Chamber Of Commerce East Sacramento Preservation (ESP) Preservation Sacramento

ATTACHMENTS	
Citizen Portal	Accele Citizen Access (Attachments under "Record Info" tab to access attachments)
Agency Counter	https://agco.link/gxbwvu

Rod Lawlor

Development Services Technician II

City of Sacramento
Community Development Department
300 Richards Blvd., 3rd Floor | Sacramento, CA 95811
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rlawlor@cityofsacramento.org



Interested in the City's General Plan Update and Climate Action & Adaptation Plan? Visit [Sacramento 2040](#) to learn more!