

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING**

300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, the Site Plan and Design Review for the construction of 139 single-unit dwellings with a deviation for bulk control for the project known as file **DR23-247**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

- A. Previously Approved Initial Study/Mitigated Negative Declaration as amended.

- B. Request for Site Plan and Design Review to construct 139 single unit dwellings with a deviation for bulk control on 7 lots totaling approx. 27.29 acres in the Single Unit or Duplex Dwelling Zone (R-1A) within the Citywide Design Review District.

PROJECT INFORMATION

Project Name:	Archer Estates
Location:	4141 Dry Creek Rd., Sacramento, CA 95838 District 2, Represented by Councilmember Thao
Assessor's Parcel Numbers:	237-0140-026-0000, 237-0140-032-0000, 237-0140-033-0000, 237-0140-056-0000, 237-0200-056-0000, 237-0200-074-0000, 237-0200-086-0000
Applicant:	David Judy, KB Home Sacramento, Inc., 3005 Douglas Blvd Suite 250, Roseville, CA 95661
Property Owner:	KB Home Sacramento Inc. 3005 Douglas Blvd Suite 250, Roseville, CA 95661
Project Planner:	Sarah Scott, Assistant Planner, (916) 808-2688
General Plan Designation:	Suburban Neighborhood Medium Density (SNMD) & Suburban Neighborhood Low Density (SNLD)
Community Plan Area: Zoning:	North Sacramento Single-Unit or Duplex Dwelling Zone (R-1A) & Agricultural Open Space (A-OS)
Design Review Area:	Citywide Design Review
Existing Land Use of Site:	Vacant

Surrounding Zoning and Land Use:

North:	R-1	Single-Unit Dwellings
South:	R-2A	Vacant
East:	R-1	Church
West:	R-1	Single-Unit Dwellings

Site Information:

Existing Property Details:	7 parcels totaling approx. 27.29 acres
Topography:	Flat
Street Improvements:	None
Utilities:	None
Parcels approved under P14-069:	143 approx. 3,609-7,652 sq ft each

Setback Information:

All Parcels:	Required:	Proposed:
Front	20' Min.	20' Min.
Interior	5' Min.	5' Min.
Street Side	12.5' Min.	12.5' Min.
Rear	5' Min.	5' Min.

PROPOSED PROJECT AND ANALYSIS

Background:

The project site consists of seven vacant parcels totaling approx. 27.29 acres located at 4141 Dry Creek Road. A Tentative Map for 188 lots was approved in 2006 under P04-079. The map included 184 lots for single-unit dwellings, a landscape lot, and a joint park and detention basin. In 2015 the map was amended under P14-069 to reconfigure the lots to accommodate a traditional street pattern and reduce the number of single-unit dwelling lots to 144, while maintaining the park/detention basin. At a later date, a Substantial Conformance Review eliminated one of the lots by merging it into adjacent lots. The map originally approved under P14-069 and modified by the Substantial Conformance Review is the basis of this entitlement, though the map has not yet been recorded as of the drafting of this report. The previous applicant applied for and was approved for a Tentative Map time extension through Z22-081 which expires December 1, 2024.

The development as approved under P14-069 connects to the surrounding community at Jessie Ave., May St., Cold Creek Way, and Clay Creek Way.

Proposal:

The applicant is proposing to construct 143 single-unit dwellings on individual lots averaging 4,785 sq.ft. (avg. 5,193 square feet for corner lots) each, originally approved through the P04-079 Tentative Map and amended under P14-069. 139 of these units are being considered under this entitlement, DR23-247, and four (lots 70, 116, 117, and 140) are being considered under P23-035. The lots being considered in this entitlement are exclusively in the R-1A zone and the 2035 General Plan designations of Suburban Neighborhood Medium Density (SNMD) and Suburban Neighborhood Low Density (SNLD).

The proposed project includes the sizeable 155,777 square foot joint park/detention basin envisioned in the original approvals. The park will serve not only the new residents of the proposed homes but also the public.

Site Plan and Design Review:

Site Plan and Design Review is required for the project to ensure compliance with applicable development standards and design guidelines. The project is in the Single-Unit or Duplex Dwelling Zone (R-1A) and Citywide Design Review Area. The proposed project complies with most of the applicable development standards of the R-1A zone, as shown in Table 1 below.

Table 1: Applicable Development Standards R-1A Zone				
Standard	Code Section	Required	Provided	Deviation?
Height	§17.204.320(A)	35'-0" Max.	28'-6" Max.	N
Front Setback	§17.204.340	20' Min.	20' Min.	N
Interior Setback		5'-0" Min.	5'-0" Min.	N
Street Side-Yard Setback		12'-6" Min.	12'-6" Min.	N
Rear-Yard Setback		5'-0 Min.	5'-0" Min.	N
Lot Coverage	§17.204.320(C)	50% Max.	50% Max.	N
Garage Setback	4-2 Guidelines	5'-0" Min.	5'-0" – 14'-0"	N
Bulk Control Front profile	2-11 Guidelines	40 sq.ft. Max.	1.1 – 48.6 sq.ft.	Y
Bulk Control Aggregate		15'-0" Max	37'-0" – 40'-0"	

Architectural Analysis:

The proposed development includes five floor plans ranging from 1,429 to 2,689 square feet. The house plans are comprised of a 2:3 mix of single story and two-story floor plans. Each plan includes three elevations in the Prairie, Craftsman, and Farmhouse styles. This provides a variety of 15 different styles for the 143 lots.

The three distinct elevation styles vary their façade design with exterior materials, colors, and design elements such as roof pitch, porch columns and accents, window accents, and gable end articulation. All plans include an attached two-car garage which is deemphasized by being stepped back from the main wall of the home a minimum of five feet. Plans also include enhanced elevations at all street views.

Residences will have concrete tile roofing with smooth stucco exterior siding as the main siding material. Decorative accents such as faux shutters, shaped bellybands, stone veneers, board and batten siding, brick wainscot, variety of window/door trim and sills, gable end horizontal siding/trim and kneebraces/corbels shall be utilized throughout all front and street-facing elevations as shown on plans. All designs provide a good level of detailing, mix of materials and enhanced elevations for corner lots. The project does not propose any deviations from Title 17.

This project is subject to standards listed within the Citywide Single-Unit Dwelling and Duplex Dwelling Design Guidelines. These guidelines seek to provide design principles for residential

structures to improve the character of neighborhoods by making them more attractive and inviting places to live while maintaining visual interest and a sense of place. Overall, the Design Guidelines are intended to encourage contextual design solutions while allowing for variety and innovation.

This project is consistent with the goals and policies of the Citywide Single-Unit Dwelling and Duplex Dwelling Design Guidelines in that 1) the proposed dwellings present a cohesive architectural style with individual features that are consistent with and reemphasize the chosen style; 2) every elevation includes a substantial entry element with distinctive columns and detailing; 3) each elevation presents a good mix of materials that provide visual interest while maintaining overall harmony and consistency of design; and 4) the overall variety of architectural styles will create a neighborhood with visual interest and a distinct sense of place.

Bulk Control Deviation:

The purpose of the bulk control deviation is to allow for different roof styles that are representative of their respective architectural styles. The variety of roof shapes and styles creates visual interest in the neighborhood. In addition, the average lot size approved in P14-069 is smaller than the minimum allowable lot size for an R-1 zoned parcel, with the minimum approved lot size only 3,609 square feet. However, the R-1A zone requires a minimum of 5' side setback, regardless of lot size. Smaller lot sizes with larger side setbacks have less space within the bulk control envelope. This project proposes two-story floor plans that provide necessary housing for larger or multigenerational families offering four to five bedrooms, including a bedroom with ensuite downstairs on some floor plans.

The purpose of bulk control, per the Single-Unit Dwelling and Duplex Dwelling Design Guidelines, is to ensure compatibility and consistency of the appearance of mass with surrounding development which this project does. This project is predominately establishing its own neighborhood and therefore the bulk control deviation will not be out of context on any one home. Where the proposed development connects to existing neighborhoods is primarily two-story homes that do not meet bulk control and will not be overwhelmed by the mass of the proposed development.

Staff supports the deviation since: 1) the proposed encroachment does not visually impede on the adjacent neighbors and surrounding community as the proposed two-story designs are commensurate with the existing bulk and mass; and 2) the deviation will not present a detriment to the welfare of future residents as privacy and open air will still be maintained.

Community Outreach:

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, April 18, 2024. Neighborhood associations that were notified for the hearing include Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, Robla Neighbors United, Robla Park Community Association, Del Paso Heights Community Association, Rancho Del Paso Neighborhood Association, North Sacramento Chamber Of Commerce, Benito Juarez Neighborhood Association. Staff received several inquiries from Robla Park Community Association, but no formal comments. As of the drafting of this report, staff have not received any additional public comments.

Environmental Considerations:

On October 17, 2006, in compliance with the California Environmental Quality Act (CEQA), the City Council adopted a mitigated negative declaration (MND) and a Mitigation Monitoring Plan (MMP) and approved the Dunmore-Jessie Avenue (P04-079) Project (Original Project) (Resolution No. 2006-0761). Then on December 1, 2015, the City Council approved an addendum to the MND prepared for the Jessie Avenue Tentative Map Project (P14-069). The current project is for approval of the necessary remaining entitlements to construct 143 single-unit dwellings on individual lots, originally approved through the P04-079 Tentative Map and amended under P14-069. Of this total of 143 units, 139 of these units are being considered under this entitlement, DR23-247, and four (lots 70, 116, 117, and 140) that require a Conditional Use Permit (CUP) due to zoning are being considered under P23-035.

Planning staff has reviewed the proposed project and on the basis of the whole record before it, has determined that there are no substantial changes proposed to the project nor have any substantial changes occurred that would require major revisions to the 2006 MND as amended. Substantial evidence supports use of the MND and the subsequent review provisions of the CEQA Guidelines Section 15162 and an addendum was prepared. The Addendum to an adopted MND was prepared pursuant to Title 14, Section 15164 of the California Code of Regulations; the Sacramento Local Environmental Regulations (Resolution 91-892) adopted by the City of Sacramento.

None of the conditions described in Section 15162 of the CEQA Guidelines are present. The Current Project is consistent with the project reviewed in the MND as amended, and the analysis of impacts and mitigation in the MND as amended remain applicable for the Current Project. With implementation of the applicable mitigation measures, the proposed project will result in less than significant impacts to the physical environment. The Addendum to the MND and the original MND and resolution 2015-0372) with MMP are available on the CDD EIR webpage at:

<https://www.cityofsacramento.gov/community-development/planning/environmental/impact-reports>

200-Year Flood Protection:

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2023 Adequate Progress Annual Report accepted by the City Council on October 24, 2023 (Resolution No. 2023-0337).

DRAFT FINDINGS OF FACT:

Environmental

1. The Design Director of the City of Sacramento finds as follows:
 - a. On October 17, 2006, pursuant to the California Environmental Quality Act (Public Resources Code §21000 et seq. (“CEQA”), the CEQA Guidelines (14 California Code of Regulations §15000 et seq.), and the City of Sacramento environmental guidelines, the City Council adopted a mitigated negative declaration (MND) and a mitigation monitoring plan (MMP) and approved Dunmore-Jessie Avenue (P04-079) Project (Resolution No. 2006-0761).
 - b. On December 1, 2015, the City Council approved an addendum to the MND prepared for the Jessie Avenue Tentative Map Project (P14-069) (Resolution No. 2015-0372) that modified the previously approved Project by subdividing 27.29+ acres into 144 residential parcels, a joint park and detention basin, and landscape lot in the R-1A and A-OS zones for future residential development.
 - c. The current project (P23-035) consisting of a Conditional Use Permit for single-unit dwelling development in the Agriculture–Open Space (A-OS) zone; and Site Plan and Design Review to construct four (4) single-unit dwellings on 4 lots partially in the Agriculture–Open Space (A-OS) zone, will continue the residential development that was previously evaluated in P04-079 and P14-069.
2. The Planning and Design Commission has reviewed and considered the information contained in the previously adopted MND for the Project, the addendum, and all oral and documentary evidence received during the hearing. The Planning and Design Commission has determined that the previously adopted MND and the addendum constitute an adequate, accurate, objective, and complete review of the proposed Project Modification and finds that no additional environmental review is required based on the reasons set forth below:
 - a. No substantial changes are proposed by the Project Modification that will require major revisions of the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
 - b. No substantial changes have occurred with respect to the circumstances under which the Project Modification will be undertaken which will require major revisions to the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
 - c. No new information of substantial importance has been found that shows any of the following:
 - i. The Project Modification will have one or more significant effects not discussed in the previously adopted MND;
 - ii. Significant effects previously examined will be substantially more severe than shown in the previously adopted MND;

- iii. Mitigation measures previously found to be infeasible would in fact be feasible and would substantially reduce one or more significant effects of the Project Modification; or
 - iv. Mitigation measures which are considerably different from those analyzed in the previously adopted MND would substantially reduce one or more significant effects on the environment.
3. Based on its review of the previously adopted MND for the Project, the addendum, and all oral and documentary evidence received during the hearing on the Project Modification, the Planning and Design Commission finds that the MND and addendum reflect the Planning and Design Commission's independent judgment and, and approves the addendum for the Project Modification
 4. The mitigation monitoring program for the Project is adopted for the Project Modification, and the mitigation measures shall be implemented and monitored as set forth in the program, based on the following findings of fact:
 - a. The mitigation monitoring program has been adopted and implemented as part of the Project;
 - b. The addendum to the MND does not include any new mitigation measures, and has not eliminated or modified any of the mitigation measures included in the mitigation monitoring program;
 - c. The mitigation monitoring plan meets the requirements of CEQA section 21081.6 and CEQA Guidelines section 15074.
 5. Upon approval of the Project, the City Manager shall file or cause to be filed a Notice of Determination with the Sacramento County Clerk and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.
 6. The documents and other materials that constitute the record of proceedings upon which the Planning and Design Commission has based its decision are located in the City of Sacramento Community Development Department, Environmental Planning Services, 300 Richards Boulevard, Sacramento, CA 95811-0218. The custodian of these documents and other materials is the Community Development Department, Environmental Planning Services.

Site Plan and Design Review

1. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Suburban Neighborhood Low Density and Suburban Neighborhood Medium Density.
2. The design, layout, and physical characteristics of the proposed project are consistent with all applicable design guidelines and with all applicable development standards in that the proposal meets all applicable development standards for the R-1A zone and the design standards for single-unit dwellings, with exception for the bulk control guidelines.

3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards, in that, the project will be including these items as part of construction and final build out per the P14-069 tentative map.
4. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project is compatible with the existing and proposed development.
5. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.
6. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2023 Adequate Progress Annual Report accepted by the City Council on October 24, 2023 (Resolution No. 2023-0337).

DRAFT CONDITIONS OF APPROVALS:

Site Plan and Design Review

Planning / Design Review

1. The project shall be constructed per approved plans and these conditions of approval within the Jessie Avenue Subdivision. Any increase in the number of lots or any modification to the location of the lots specified for these house plans shall be reviewed by the Planning Division and may require additional entitlements.
2. Any modification to the project, including changes in design, details, materials, or colors shall be submitted to Design Review staff and are subject to the review and approval of planning staff (and may require additional entitlements).
3. All submitted house plans submitted and approved with this application shall be actively marketed and offered for sale within the subdivision covered by this approval (DR23-247).
4. The applicant shall obtain all necessary building permits and encroachment permits prior to commencing construction. Building permits shall not be issued unless the Final Map has been recorded.
5. Plot plans consistent with the approved Final Map (P14-069/Subdivision) shall be submitted

to the Building Division demonstrating compliance with setbacks and lot coverage for all lots included in this approval. All building elevations shall demonstrate compliance with enhancement requirements.

6. Plans shall be consistent with the attached exhibits. If there are any discrepancies between the exhibits and the conditions, the conditions will take precedence.
7. The applicant shall comply with the originally approved Initial Study/Mitigated Negative Declaration and associated Mitigation Monitoring Plan as amended under P14-069 on file with the Planning Division unless otherwise conditioned per this approval (DR23-247).
8. House placement shall conform to the approved setback development standards for the site:

All Parcels:	Required:
Front	20' Min.
Interior	5' Min.
Street Side	12'-6" Min.
Rear	5' Min.

9. Lot coverage shall not exceed 50% per Title 17.204.320(C).
10. The attached optional rear covered patio may only be offered on the lots it will fit as defined by Title 17.624.040.5. A minimum of 5' rear setback shall be maintained on all lots.
11. Any HVAC units shall be ground-mounted and shall be screened or otherwise not be visible from any street or pedestrian views. No roof-mounted or wall-mounted HVAC units are allowed.
12. Trash receptacles and irrigation controls shall be screened from street view.
13. No two-house plans shall be placed on adjacent lots, unless they are of different elevations and do not repeat within three parcels of another of like design. Applicant shall provide to the Building Division a map that indicates the house plan and elevation on adjacent lots.
14. Driveways and pedestrian paths shall comply with maximum paved area as permitted in Title 17 of the City Code.
15. All driveways shall comply with City Municipal Code Section 17.508. This includes not placing driveways across lot lines, within 5' of an interior side property line, within the radius of the corner at an intersection, and at a location that would create a hardship for the installation of public utilities. All residential driveways shall be a maximum of 20' wide and have a minimum depth of 20' if serving as a two-car parking pad.
16. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 10-day reconsideration period.
17. A model home/temporary sales office application and approval will be required for any model homes or temporary sales trailer.
18. Inspections: An 89 Planning Final shall be called for prior to 29 Building Final for model homes.

19. The 10-day appeal period shall commence from May 2nd, 2024.
20. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
21. This approval shall expire in three (3) years from the approval date.

Walls and Fences:

22. Walls and fences shall be consistent with Title 17 and shall conform to the City standards for sight line requirements at intersections and driveways.
23. Wherever a side elevation faces a public street, fencing shall start at or near the half-way point of the side elevation or as acceptable to Design Review staff. Walls and fences within the street side yard setback shall be minimum five feet from the property line.
24. No fences or walls above 4' shall be allowed within the front yard setback.

Landscaping:

25. Install an average of one 15-gallon trees, with an average of 20' to 30' on center, along the lot frontage of each unit.
26. All street side yard parcels shall install one 15-gallon tree. The builder shall provide additional landscaping treatments such as accent trees and shrubs along the street side yard fence. Rain-sensing (i.e. "smart") irrigation systems shall be installed for all landscaping.
27. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.

Materials:

28. **This project has been approved with details and elevation enhancements that are essential for each design and they shall not be omitted or modified during construction.**
29. Each house plan shall include three elevation styles (Prairie, Craftsman, Farmhouse). The building elevations shall have a consistency of detail and quality as indicated on the plans.
30. Lots with street-facing side facades shall feature enhanced side elevations per approved plans. All street side elevations shall be enhanced with the continuation of architectural features such as: board and batten siding with kneebrace, brick wainscot, shutters, and shaped belly band.
31. Side facades which do not face streets shall wrap secondary façade materials a minimum of two feet or as amended on plans.
32. Provide the following building materials for all single-unit dwelling plans and elevation types as indicated per approved plans.

- a. Concrete flat tile roofing
 - b. A variety of decorative raised-panel front entry door
 - c. Decorative metal roll-up garage door
 - d. Smooth or light sand stucco finish
 - e. Fiber cement trim at all windows and doors—no rough sawn wood or wood grain allowed
 - i. Color distinct from siding
 - f. Stucco over foam trim
 - g. Decorative coach lights at front entry and garage
 - h. Illuminated address plate on front façade
 - i. Wood fascia board
 - j. Fascia gutter and downspout
 - k. Vinyl or composition dual pane single/double hung, horizontal sliding, and fixed windows
33. Provide the following building materials for the single-unit dwelling Plan 1429 elevation A 'Prairie' as indicated per approved plans.
- a. Horizontal fiber cement siding
 - b. Stacked stone veneer
34. Provide the following building materials for the single-unit dwelling elevation Plan 1429 elevation B 'Craftsman' as indicated per approved plans.
- a. Brick wainscot with trim to terminate at reentrant corner
 - b. Shaped wood post with brick base
 - c. Fiber cement board and batten siding with kneebrace applied to gable ends
35. Provide the following building materials for the single-unit dwelling Plan 1429 elevation C 'Farmhouse' as indicated per approved plans.
- a. Fiber cement board and batten siding applied to porch entry and gable end
 - b. Shaped corbel
 - c. Paneled shutters
 - d. Trim band
 - i. Color distinct from stucco siding
36. Provide the following building materials for the single-unit dwelling Plan 1672 elevation A 'Prairie' as indicated per approved plans.
- a. Stacked stone veneer on porch columns and as wainscot
 - b. Horizontal fiber cement siding
37. Provide the following building materials for the single-unit dwelling Plan 1672 elevation B 'Craftsman' as indicated per approved plans.
- a. Brick wainscot with trim to terminate at reentrant corner
 - b. Shaped wood post with brick base
 - c. Fiber cement board and batten siding with kneebrace applied to gable end
 - i. Kneebrace distinct color from board and batten siding

38. Provide the following building materials for the single-unit dwelling Plan 1672 elevation C 'Farmhouse' as indicated per approved plans.
 - a. Fiber cement board and batten siding to terminate at reentrant corner
 - b. Shaped corbels
 - i. Color distinct from board and batten siding
 - c. Paneled shutters
 - i. Color distinct from board and batten siding
39. Provide the following building materials for the single-unit dwelling Plan 2148 elevation A 'Prairie' as indicated per approved plans.
 - a. Horizontal fiber cement siding to terminate at reentrant corner
 - b. Trim bands
 - i. Color distinct from stucco siding
 - c. Stacked stone on porch columns
40. Provide the following building materials for the single-unit dwelling Plan 2148 elevation B 'Craftsman' as indicated per approved plans.
 - a. Brick wainscot with trim to terminate at reentrant corner
 - b. Shaped wood posts with brick base
 - c. Fiber cement board and batten siding with kneebrace applied to gable ends
 - i. Kneebrace color distinct from board and batten siding
 - d. Stucco over foam shaped belly band trim
41. Provide the following building materials for the single-unit dwelling Plan 2148 elevation C 'Farmhouse' as indicated per approved plans.
 - a. Fiber cement board and batten siding to terminate at reentrant corner
 - b. Shaped corbels
 - c. Paneled shutters
 - d. Trim framing porch entry
 - i. Color distinct from board and batten siding
42. Provide the following building materials for the single-unit dwelling Plan 2388 elevation A 'Prairie' as indicated per approved plans.
 - a. Stacked stone veneer on porch columns
 - b. Horizontal fiber cement siding to terminate at reentrant corners
 - c. Stucco over foam shaped belly band trim
43. Provide the following building materials for the single-unit dwelling Plan 2388 elevation B 'Craftsman' as indicated per approved plans.
 - a. Brick wainscot with trim to terminate at reentrant corner
 - b. Shaped wood posts with brick base
 - c. Fiber cement board and batten siding with kneebrace applied to gable ends
 - d. Stucco over foam shaped belly band trim
 - e. Batten shutters with diamond cut out
 - f. Shaped corbels

44. Provide the following building materials for the single-unit dwelling Plan 2388 elevation C 'Farmhouse' as indicated per approved plans.
 - a. Fiber cement board and batten siding to terminate at reentrant corner
 - b. Shaped corbels
 - c. Paneled shutters
 - d. Stucco over foam shaped bellyband trim
 - e. Decorative vent on gable ends

45. Provide the following building materials for the single-unit dwelling Plan 2686 elevation A 'Prairie' as indicated per approved plans.
 - a. Stacked stone wainscot to terminate at reentrant corner at upper
 - b. Stacked stone veneer on lower 2/3rd of porch column
 - c. Horizontal fiber cement siding to terminate at reentrant corners
 - d. Stucco over foam shaped belly band trim

46. Provide the following building materials for the single-unit dwelling Plan 2686 elevation B 'Craftsman' as indicated per approved plans.
 - a. Brick wainscot with trim to terminate at reentrant corner
 - b. Shaped wood posts with brick base
 - c. Fiber cement board and batten siding with kneebrace applied to gable ends
 - i. Kneebrace color distinct from board and batten siding
 - d. Batten shutters with diamond cut out

47. Provide the following building materials for the single-unit dwelling Plan 2686 elevation C 'Farmhouse' as indicated per approved plans.
 - a. Fiber cement board and batten siding to terminate at reentrant corner
 - b. Shaped corbels
 - c. Paneled shutters
 - d. Trim over porch entry
 - i. Color distinct from stucco siding

Sac Sewer

48. Sacramento Area Sewer District/Regional San has the 48-inch Dry Creek Interceptor (N17) located to the west of the project site within the Sacramento Northern Parkway. Direct connections to this facility will not be allowed.

PG&E

49. The installation of new gas and electric facilities and/or relocation of existing PG&E facilities will be performed in accordance with common law or Rules and Tariffs as authorized by the California Public Utilities Commission. Following our review, PG&E recommends the following language be expressly stated for the offer to dedicate Public Utility Easements (PUE): I/We the undersigned, as Owner(s) of the land shown hereon, do hereby state that I/we am/are the only person(s) whose consent is necessary to pass clear title to said land and do hereby consent to the preparation and recordation of this map and offer for dedication and do hereby dedicate for public uses the Public Utility Easements (PUEs)

shown on this map for public utility purposes including electric, gas, communication facilities and all other public utility purposes; together with any and all appurtenances thereto, including the right from time to time to trim and to cut down and clear away or otherwise control any trees or brush. The PUEs hereby offered for dedication are to be kept open and free of buildings, structures and wells of any kind. The final map must contain a statement setting forth dedications and offers to dedicate interests in real property for public utility purposes. If the offer of dedication has terminated, or the local agency declines to accept it, the applicant maybe required to provide an easement in gross satisfactory to PG&E.

SMUD

50. SMUD has existing overhead 12kV and secondary facilities along Dry Creek Road and secondary facilities on the parcel, entering from the east side that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
51. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
52. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
53. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
54. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
55. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
56. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at:
<https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
57. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.
58. The Applicant shall dedicate a 12.5-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways.

59. The Applicant shall dedicate any private drive, ingress and egress easement, (and 10-foot adjacent thereto) as a public utility easement for (overhead and) underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.
60. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.
61. Applicant will include phasing of development and order of planned construction upon submitting a new service application to SMUD for the initial subdivision phase(s) and/or road improvement backbone project(s).
62. Development should be phased to start adjacent to existing electrical infrastructure to minimize temporary overhead and/or underground electrical facilities.
63. Development phases submitted for new service should include all lots fronting streets.

Solid Waste

64. Project must meet the requirements outlined in City Code Chapter 13.10.
65. There must be sufficient space to store three cans for each dwelling unit (garbage, mixed recycling, and organics recycling). The space needed is approximately 35 inches by 87 inches and be screened from the public right-of-way, per City Code Chapter 13.10.100 C.
66. There must be sufficient space to set out three cans (garbage, mixed recycling, and organics recycling) and remain in compliance with City Code Chapter 13.10.100. Depending on service levels, this may mean up to 8 feet of curb space required. Cans must be placed along the curb closest to the property for collection.
67. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and cans safely.

Sacramento City Code can be found online here: Chapter 13.10:
http://www.gcode.us/codes/sacramento/view.php?topic=13-13_10

Sacramento Police Department

During Construction:

68. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
69. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
70. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Advisory Notes

- ADV.1. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if Regional San sewer impact fees are due. Fees are to be paid prior to the issuance of building permits. (SACSEWER)
- ADV.2. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
- a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee for this project is estimated at \$602,287. The Park Development Impact Fee due for this project is based on the Housing Incentive Zone Rate of \$2.18 per square foot for residential projects, with a minimum rate of \$1,624 for units under 750 square feet and a maximum of \$4,333 for units over 2,000 square feet. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. (PARKS)
- ADV.3. If the aggregate landscape area of this project is equal to or greater than 500 sq. ft., it is subject to Water Efficient Landscape Requirements, Chapter 15.92 of the Sacramento City Code, consistent with Chapter 2.7 of the California Code of Regulations, the Model Water Efficient Landscape Ordinance. (PLANNING)
- ADV.4. Alternate Water Systems Requirement. Pursuant to Chapter 15.24.030, 15.24.040 and 15.24.050 of Sacramento City Code, beginning on July 1, 2023, new buildings that are 10,000 square feet or greater must include a gray water system to provide subsurface irrigation and buildings that are 50,000 square feet or greater must include installation of a separate, additional piping system for an on-site treated non-potable gray water system for water closets and urinals. Limited exceptions apply. Please see City webpage for more details.


Complete building permit applications (including payment of all required fees) filed with and accepted by the City's Building Division prior to July 1, 2023, will not be subject to Alternate Water Systems requirements. Applicants are advised to plan for alternate water systems beginning with initial early design. For more information, please visit the City's website: https://www.cityofsacramento.org/Community-Development/Planning/Major-Projects/General-Plan/About-The-Project/Climate_Change/Onsite-Water-Reuse-Study

ATTACHMENTS:

Exhibit A: Street Scene, Typ. Layout, P14-069 TPM, Site Plan, Elevations, Floor Plans, Bulk Control exhibits

Sarah Scott

Sarah Scott
Assistant Planner


Matthew Sites (Apr 25, 2024 16:58 PDT)

Matthew Sites, AIA, LEED AP
Senior Architect



140.1429
Plan 'C'

238.2686
Plan 'B'

238.2148
Plan 'A'

238.2388
Plan 'C'

140.1672
Plan 'A'

Street Scene

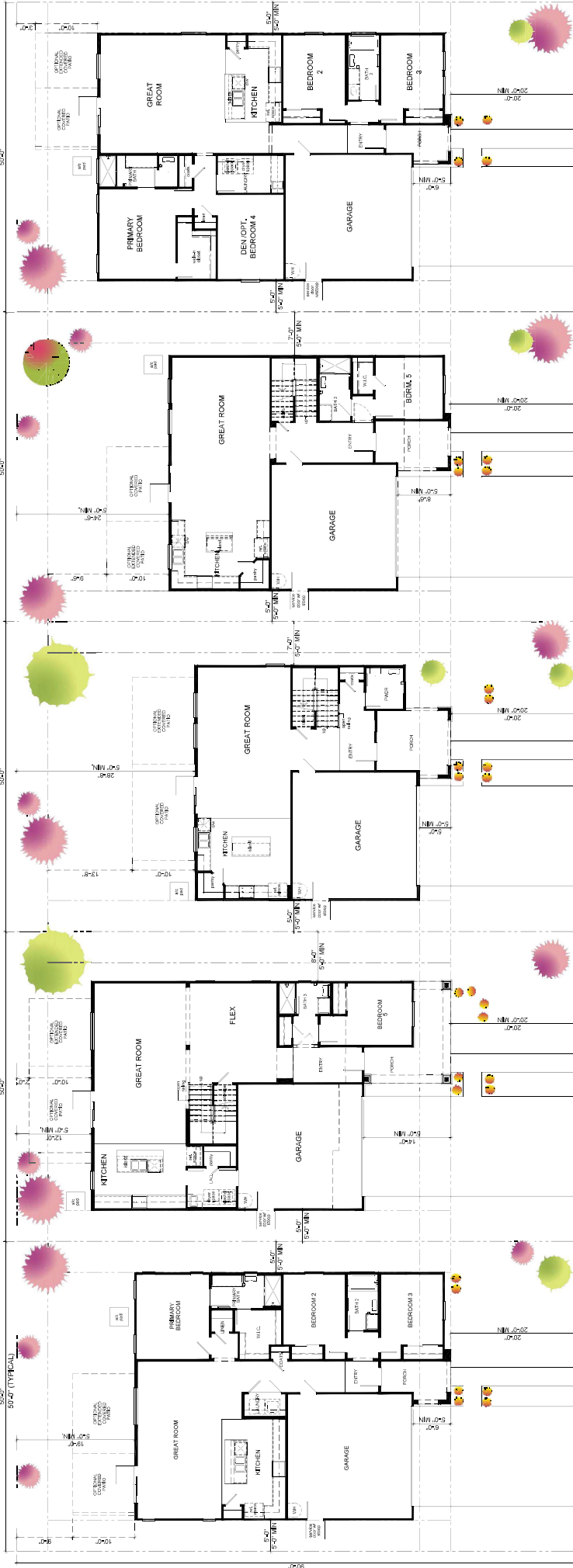
140.1429
PLAN 'C'

237.2686
PLAN 'B'

236.2148
PLAN 'A'

236.2388
PLAN 'C'

140.1672
PLAN 'A'



Street Scene

JESSIE AVENUE

TENTATIVE SUBDIVISION MAP FOR:
JESSIE AVENUE
 CALIFORNIA
 CITY OF SACRAMENTO

LEGEND

DESCRIPTIONS	(D) PROPOSED	(L) EXISTING
CONTINGENT	---	---
BOUNDARY LINE	---	---
PROPERTY LINE	---	---
SUBMITTAL LINE	---	---
TRUNKLINE, OVER AND UNDER	---	---
UTILITY SOURCE	---	---
WATER MAIN	---	---
Gas MAIN	---	---

ABBREVIATIONS

C.	CONTINGENT
CD	CONCEPTUAL DESIGN
ED	EXHIBIT DESIGN
PD	PROPOSED DESIGN
PL	PROPOSED LANDSCAPE
P.U.	PUBLIC UTILITY ALIGNMENT
S.C.	SEWER COLLECTION
S.D.	STREET DRAIN ALIGNMENT
S.S.	STORM SEWER ALIGNMENT
S.W.	STREET WATER ALIGNMENT
W.M.	WATER MAIN
G.M.	GAS MAIN



GENERAL NOTES

ADJACENT PARCEL NUMBERS: 237-000-004, 074, 086
 237-010-006, 008, 009, 010, 011, 012, 013, 014, 015, 016, 017, 018, 019, 020, 021, 022, 023, 024, 025, 026, 027, 028, 029, 030, 031, 032, 033, 034, 035, 036, 037, 038, 039, 040, 041, 042, 043, 044, 045, 046, 047, 048, 049, 050, 051, 052, 053, 054, 055, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071, 072, 073, 074, 075, 076, 077, 078, 079, 080, 081, 082, 083, 084, 085, 086, 087, 088, 089, 090, 091, 092, 093, 094, 095, 096, 097, 098, 099, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

OWNER: CHS 8400 WINDS, INC.
 1430 DONALD BLVD., SUITE 500-375
 SACRAMENTO, CA 95834

DEVELOPER: CHS 8400 WINDS, INC.
 1430 DONALD BLVD., SUITE 500-375
 SACRAMENTO, CA 95834

ENGINEER: BURELL CONSULTING GROUP, INC.
 1430 DONALD BLVD., SUITE 500-375
 SACRAMENTO, CA 95834

UTILITY SERVICES:
 CITY OF SACRAMENTO
 WATER DEPARTMENT
 SANITARIAN DEPARTMENT
 CITY OF SACRAMENTO
 PUBLIC UTILITIES DEPARTMENT
 CITY OF SACRAMENTO
 LAND AREA (ACRES): 27.29
 LAND AREA (ACRES): 14.4
 NUMBER OF PARCELS: 144
 NUMBER OF PLOTS: 144

LOT NUMBER	CONTINGENT	INTERLOCK
MAX. LOT SIZE	6,044 SQ. FT.	7,092 SQ. FT.
MIN. LOT SIZE	4,466 SQ. FT.	3,609 SQ. FT.
AVERAGE LOT SIZE	5,178 SQ. FT.	5,229 SQ. FT.

PHASING
 GROUP 1 PHASING: SEE FINAL P.L.M.
 MAY BE RECORDED MOD ON THE TENTATIVE P.L.M.

NOTES

1. ANY EXISTING UTILITIES AND/OR WELLS WILL BE REMOVED AND REINSTALLED TO THE ENVIRONMENTAL MANAGEMENT PLAN.
2. TYPICAL SERVICES: SEE NO PHOTON.

EASEMENT STATEMENT

I HEREBY STATE THAT ALL EASEMENTS AS INDICATED IN P.L.M. ARE TO BE MAINTAINED AND KEPT OPEN AND UNOCCUPIED AND SHALL BE PROCEEDED TO BE MAINTAINED OR OCCUPIED AND KEPT OPEN AND UNOCCUPIED AS SHOWN ON THE TENTATIVE SUBDIVISION MAP.

SURVEYOR'S STATEMENT

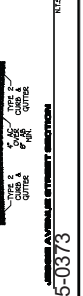
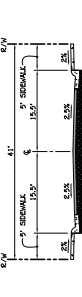
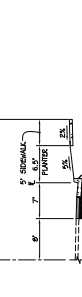
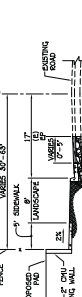
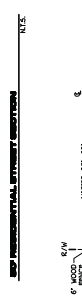
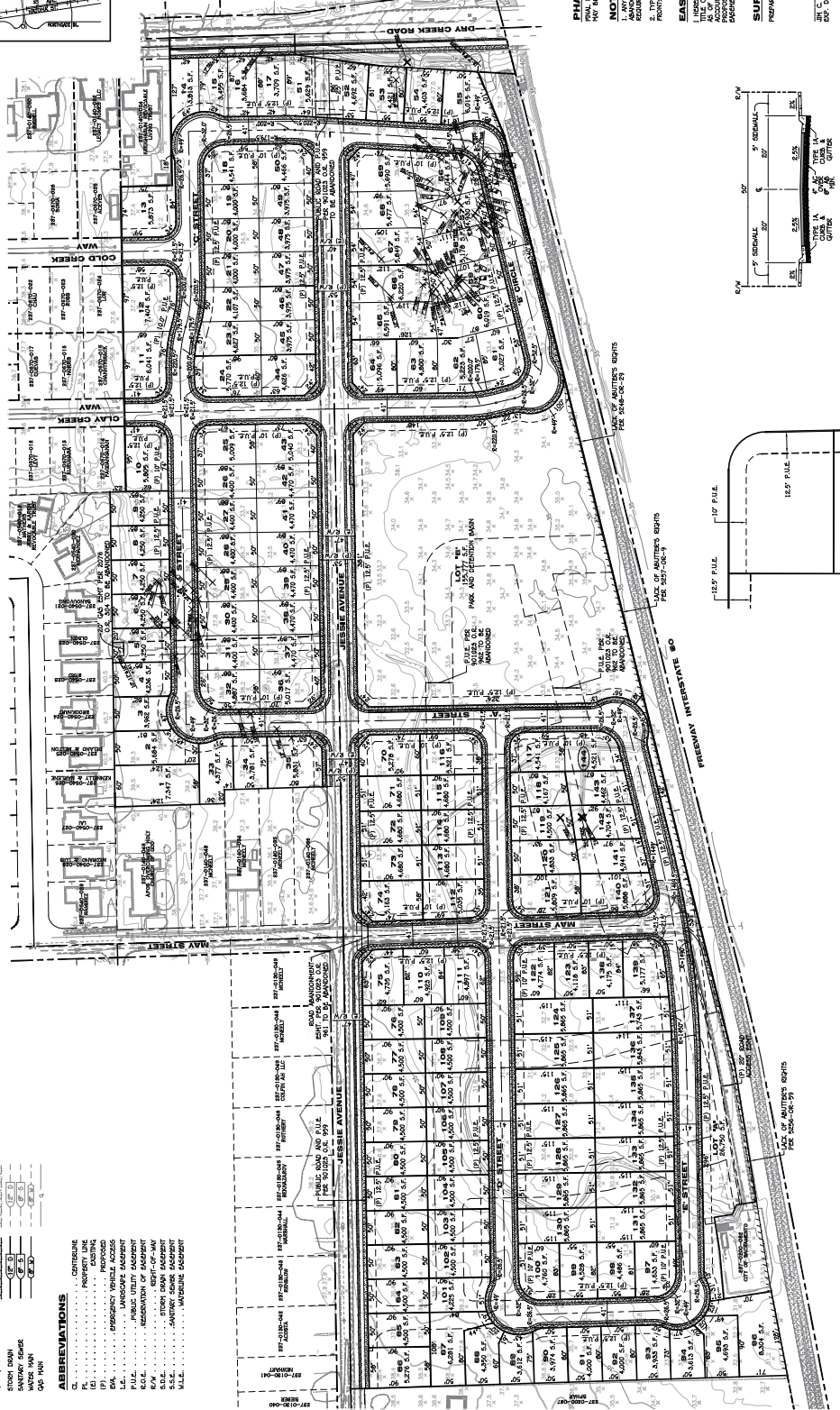
PREPARED UNDER THE JURISDICTION OF:

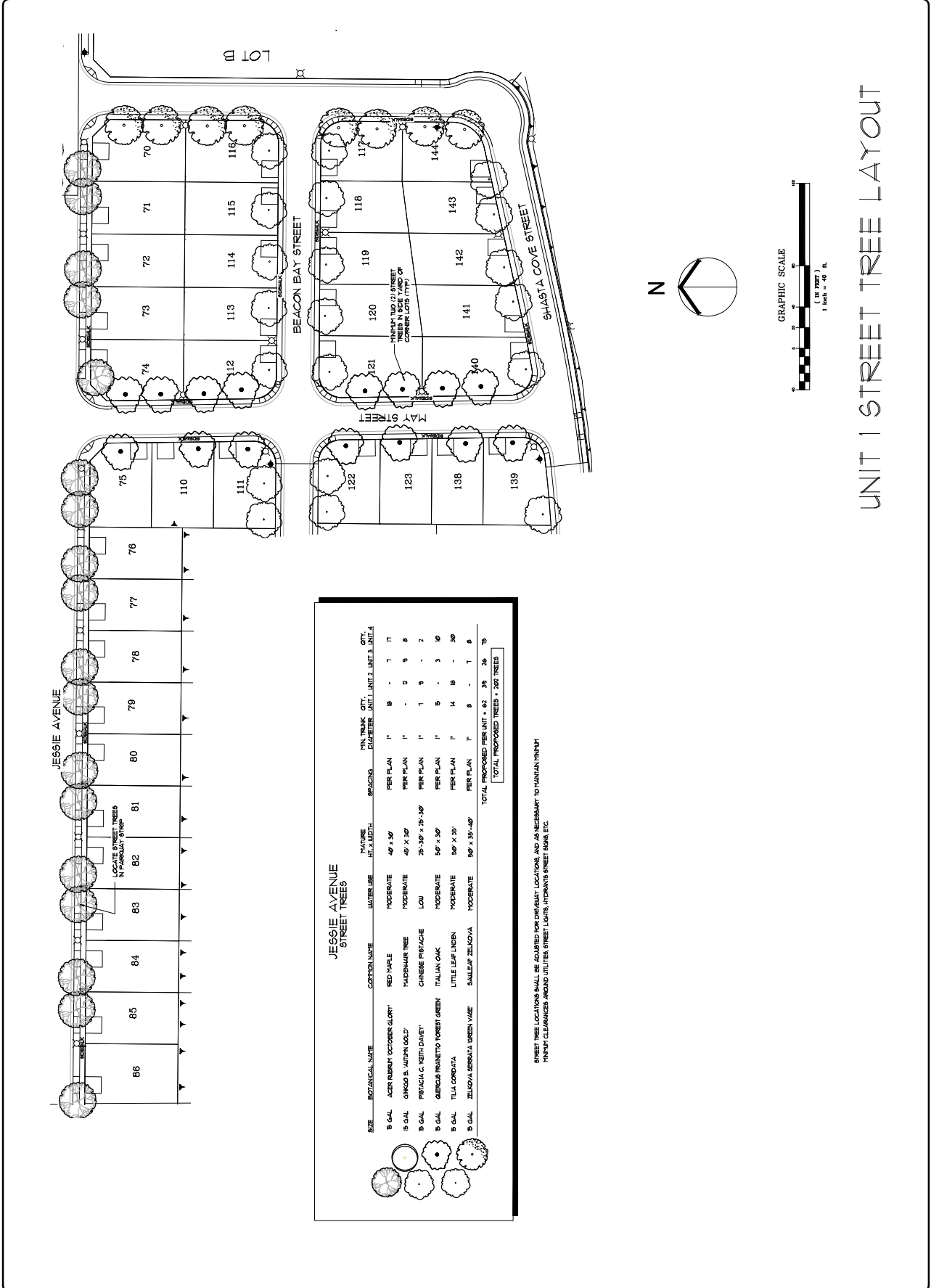


BENCHMARK
 ELEVATION = 45.41
 DATUM = CITY
 DIVISION OF HIGHWAYS CIVIL STATIONED 74+50.00 EAST SIDE OF DRY CREEK ROAD AND ON SOUTH END OF OTHER CROSSING ON 1-80

TENTATIVE SUBDIVISION MAP FOR:
JESSIE AVENUE
 SACRAMENTO, CALIFORNIA
 BURELL CONSULTING GROUP, INC.
 1430 DONALD BLVD., SUITE 500-375
 SACRAMENTO, CA 95834

December 1, 2015

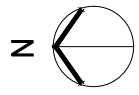
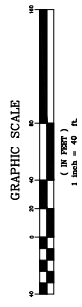




JESSIE AVENUE STREET TREES

SIZE	BOTANICAL NAME	COTYLEDON NAME	WATER USE	MATURE H.T. X BIRTH	SPACING	MIN. TRUNK DIAMETER	QTY. PER UNIT	QTY. PER LOT	
10 GAL	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	MODERATE	40' X 30'	PER PLAN	1"	18	18	
10 GAL	QUERCUS B. NUTTAN 'GOLD'	HIDEAWAY TREE	MODERATE	40' X 30'	PER PLAN	1"	0	0	
10 GAL	FRAXINUS C. 'KEITH DAVEY'	CHINESE PRISTACHE	LOW	25-30' X 75-30'	PER PLAN	1"	1	1	
10 GAL	QUERCUS PARVIFLORA 'FOREST GREEN'	ITALIAN OAK	MODERATE	50' X 30'	PER PLAN	1"	15	15	
10 GAL	TELA CORONATA	LITTLE LEAF LINDBERGH	MODERATE	50' X 30'	PER PLAN	1"	14	14	
10 GAL	ZELECOYA BERGATA 'GREEN VASE'	SAWLEAF ZELECOYA	MODERATE	50' X 30'-40'	PER PLAN	1"	6	6	
TOTAL PROPOSED PER UNIT							62	35	35
TOTAL PROPOSED TREES							300	150	150

STREET TREE LOCATIONS SHALL BE ADJUSTED FOR DRIVEWAY LOCATION AND AS NECESSARY TO MAINTAIN MINIMUM STREET CLEARANCES AROUND UTILITIES, STREET LIGHTS, HYDRANTS, STREET MARKS, ETC.



UNIT 1 STREET TREE LAYOUT

DATE: 9/20/23
 DRAWN BY: JCH
 CHECKED BY: JCH

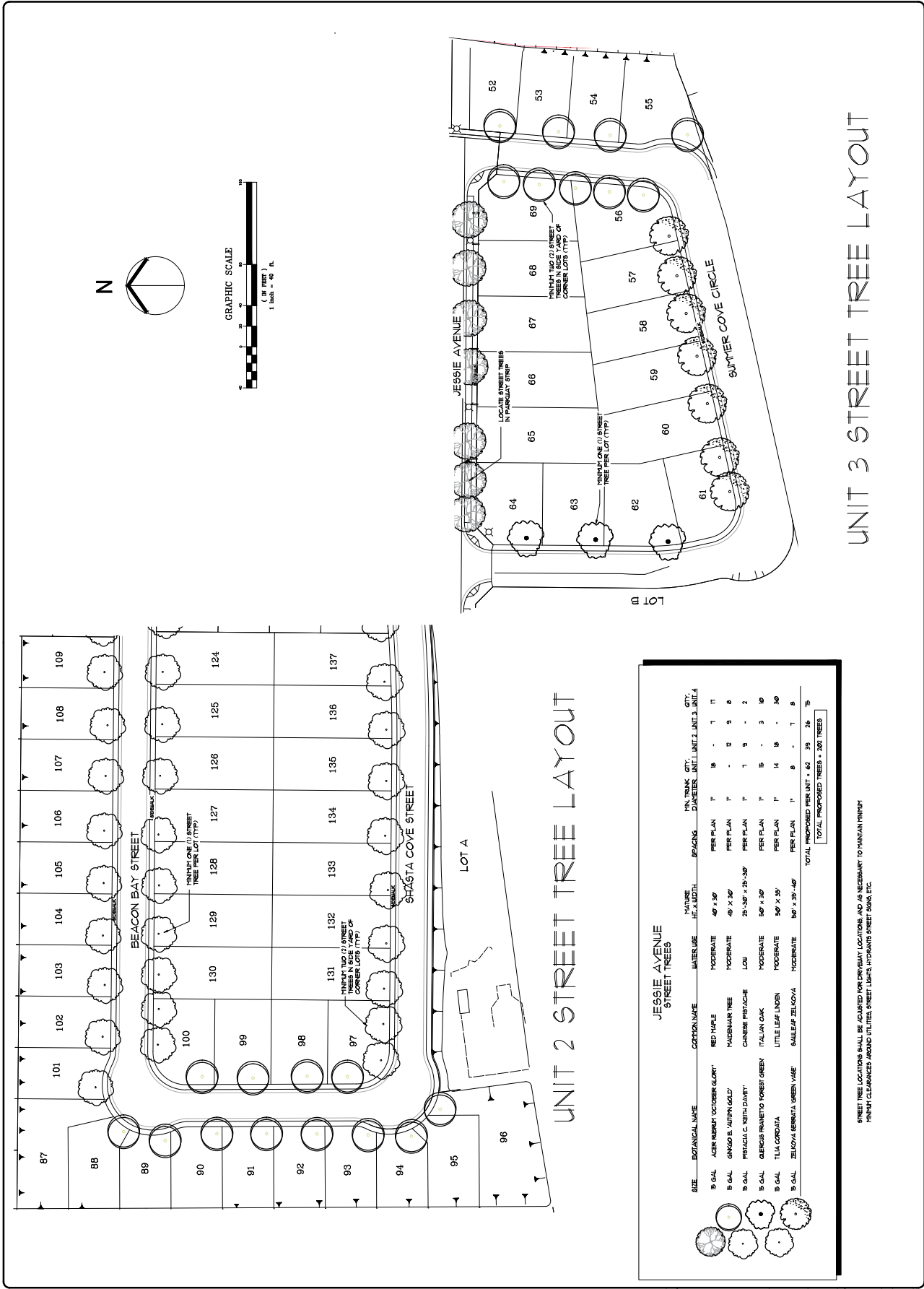
PROJECT: JESSIE AVENUE
 LOCATION: SACRAMENTO, CA



DATE	DESCRIPTION

FILE # 2402
 JESSIE AVENUE
 SACRAMENTO, CA

DATE: 9/20/23
 DRAWN BY: JCH
 CHECKED BY: JCH



UNIT 2 STREET TREE LAYOUT

SIZE	BOTANICAL NAME	CROWN SHAPE	MATURE LEAF WIDTH	MATURE LEAF HEIGHT	SPACING	MIN. TRUNK DIAMETER	QTY.	MIN. TRUNK DIAMETER	QTY.	MIN. TRUNK DIAMETER	QTY.		
8" GAL	ACER RUBRA	OCTAGON CLUMP	MODERATE	48" X 30"	PER PLAN	1"	18	1"	11	1"	11		
8" GAL	GRASSO B. AUTUMN GOLD	HORIZONTAL TREE	MODERATE	48" X 30"	PER PLAN	1"	12	1"	9	1"	9		
8" GAL	PRUNELLA C. KEITH DAVEY	CHERRY PRUNELLA	LOW	25-30" X 25-30"	PER PLAN	1"	1	1"	1	1"	2		
8" GAL	QUERCUS PRINCEPS FOREST GREEN	ITALIAN OAK	MODERATE	50" X 30"	PER PLAN	1"	15	1"	10	1"	10		
8" GAL	TILIA CORDATA	LITTLE LEAF LINDEN	MODERATE	50" X 30"	PER PLAN	1"	14	1"	10	1"	10		
8" GAL	ZELKOVA BIRNATA GREEN VASE	SALELEAF YELKOVA	MODERATE	50" X 25-40"	PER PLAN	1"	6	1"	4	1"	4		
TOTAL PROPOSED PER UNIT = 62											35	26	35
TOTAL PROPOSED TREES = 202 TREES													

STREET TREE LOCATIONS SHALL BE ADJUSTED FOR CURB CUT LOCATIONS AND AS NECESSARY TO MAINTAIN MINIMUM CLEARANCES AROUND UTILITIES, STREET LIGHTS, HYDRANTS, STREET SIGNS, ETC.

UNIT 3 STREET TREE LAYOUT

© 2023 Borricco/Kilian & Associates, Inc. All rights reserved. This drawing is the property of Borricco/Kilian & Associates, Inc. and shall not be reproduced without written permission.

DISCLAIMER: ALL VEGGIES, TREES, SHRUBS, ETC. DRAWINGS PROVIDED WITH BORRICO/KITMAN & ASSOCIATES, INC. (BK&A) LANDSCAPE ARCHITECTS. THE BLOOM AND/OR SCHEMATIC DRAWINGS ARE FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION. THE ORIGINAL ELECTRONIC FILES REMAINED BY BK&A. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS. PLEASE CONTACT BK&A FOR ANY QUESTIONS OR CONCERNS. BK&A WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ORIGINAL DRAWINGS OR PRINTS. ALL VEGGIES, TREES, SHRUBS, ETC. DRAWINGS PROVIDED WITH BORRICO/KITMAN & ASSOCIATES, INC. (BK&A) LANDSCAPE ARCHITECTS. THE BLOOM AND/OR SCHEMATIC DRAWINGS ARE FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION. THE ORIGINAL ELECTRONIC FILES REMAINED BY BK&A. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS. PLEASE CONTACT BK&A FOR ANY QUESTIONS OR CONCERNS. BK&A WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ORIGINAL DRAWINGS OR PRINTS.

JESSIE AVENUE STREET TREES

SIZE	BOTANICAL NAME	COTTONWOOD NAME	WATER USE
15 GAL	ACER RUBRUM OCTOBER GLORY	RED MAPLE	MODERATE
15 GAL	GINKGO B. AUTUMN GOLD	MAIDENHAIR TREE	MODERATE
15 GAL	PISTACHIA C. KEITH DAVEY	CHINESE PISTACHE	LOW
15 GAL	QUERCUS PRANETTO FOREST GREEN	ITALIAN OAK	MODERATE
15 GAL	TILIA CORDATA	LITTLE LEAF LINDEN	MODERATE
15 GAL	TELIOVA BERGATA GREEN VASE	SAULLEAF TELIOVA	MODERATE

TREE LOCATIONS SHALL BE ADJUSTED IN THE FIELD AS NECESSARY TO MAINTAIN CLEARANCES AROUND UTILITIES, STREET SIGNS, ETC.

PLANT PALETTE B SOUTH / WEST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	LAGERSTROEMIA HYB. 'MIRAGE'	ORANGE MYRTLE	3 / LOW
LARGE SHRUBS	9 GAL	PHOTINIA	PHOTINIA	4 / MODERATE
EVERGREEN SHRUBS	9 GAL	PHANOLIPS VULF GREEN	DWARF YEDDA WASHBURN	3 / LOW
FLOWERING SHRUBS	9 GAL	TELOMIA F. COPACTA	COPACT BURLBERWATER	3 / LOW
ACCENT SHRUBS	1 GAL	NANDINA D. FIRE POWER	COPACT HEAVY BAMBPOO	3 / LOW
ORNAMENTAL GRASSES	1 GAL	CHOCORPALTIL T. EL CHAPPO	DWARF RUSH	3 / LOW
GROUND COVER	1 GAL	RUANGLEMS BALLERINA	DWARF INDIAN WASHBURN	3 / LOW

PLANT PALETTE A SOUTH / WEST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	MANGOLIA G. LITTLE GEM	COPACT SOUTHERN HAWKALA	4 / MODERATE
LARGE SHRUBS	9 GAL	XYLOPIA COBERTUM COPACTUM	COPACT SHINY XYLOPIA	3 / LOW
EVERGREEN SHRUBS	9 GAL	LOROPETALUM C. 'WILANE'	COPACT PRINCE FLOWER	3 / LOW
FLOWERING SHRUBS	9 GAL	ROSA F. 'CEBERO'	LANDSCAPE ROSE	4 / MODERATE
ACCENT SHRUBS	9 GAL	BERBERIS 'SANDY GOLD PILLAR'	NARROW BARBERY	4 / MODERATE
ORNAMENTAL GRASSES	1 GAL	LOPHANDRA L. PLATINUM	VAREGATED DWARF HAT RUSH	3 / LOW
GROUND COVER	1 GAL	COLENDRA F. 'WINKET GOLD'	COPACT BRIGHT OF HEAVEN	3 / LOW

PLANT PALETTE E NORTH / EAST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	LAGERSTROEMIA HYB. 'MIRAGE'	ORANGE MYRTLE	3 / LOW
LARGE SHRUBS	9 GAL	PHOTINIA	PHOTINIA	4 / MODERATE
EVERGREEN SHRUBS	9 GAL	PHANOLIPS VULF GREEN	DWARF YEDDA WASHBURN	3 / LOW
FLOWERING SHRUBS	9 GAL	TELOMIA F. COPACTA	COPACT BURLBERWATER	3 / LOW
ACCENT SHRUBS	1 GAL	NANDINA D. FIRE POWER	COPACT HEAVY BAMBPOO	3 / LOW
ORNAMENTAL GRASSES	1 GAL	CHOCORPALTIL T. EL CHAPPO	DWARF RUSH	3 / LOW
GROUND COVER	1 GAL	RUANGLEMS BALLERINA	DWARF INDIAN WASHBURN	3 / LOW

PLANT PALETTE D NORTH / EAST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	MANGOLIA G. LITTLE GEM	COPACT SOUTHERN HAWKALA	4 / MODERATE
LARGE SHRUBS	9 GAL	XYLOPIA COBERTUM COPACTUM	COPACT SHINY XYLOPIA	3 / LOW
EVERGREEN SHRUBS	9 GAL	LOROPETALUM C. 'WILANE'	COPACT PRINCE FLOWER	3 / LOW
FLOWERING SHRUBS	9 GAL	ROSA F. 'CEBERO'	LANDSCAPE ROSE	4 / MODERATE
ACCENT SHRUBS	9 GAL	BERBERIS 'SANDY GOLD PILLAR'	NARROW BARBERY	4 / MODERATE
ORNAMENTAL GRASSES	1 GAL	LOPHANDRA L. PLATINUM	VAREGATED DWARF HAT RUSH	3 / LOW
GROUND COVER	1 GAL	COLENDRA F. 'WINKET GOLD'	COPACT BRIGHT OF HEAVEN	3 / LOW

PLANT PALETTE C SOUTH / WEST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	LAGERSTROEMIA HYB. 'MIRAGE'	ORANGE MYRTLE	3 / LOW
LARGE SHRUBS	9 GAL	PHOTINIA	PHOTINIA	4 / MODERATE
EVERGREEN SHRUBS	9 GAL	PHANOLIPS VULF GREEN	DWARF YEDDA WASHBURN	3 / LOW
FLOWERING SHRUBS	9 GAL	TELOMIA F. COPACTA	COPACT BURLBERWATER	3 / LOW
ACCENT SHRUBS	1 GAL	NANDINA D. FIRE POWER	COPACT HEAVY BAMBPOO	3 / LOW
ORNAMENTAL GRASSES	1 GAL	CHOCORPALTIL T. EL CHAPPO	DWARF RUSH	3 / LOW
GROUND COVER	1 GAL	RUANGLEMS BALLERINA	DWARF INDIAN WASHBURN	3 / LOW

PLANT PALETTE F NORTH / EAST EXPOSURE

STIBDOL	SIZE	BOTANICAL NAME	COTTONWOOD NAME	WUCOLS WATER USE
ACCENT TREE	15 GAL	LAGERSTROEMIA HYB. 'MIRAGE'	ORANGE MYRTLE	3 / LOW
LARGE SHRUBS	9 GAL	PHOTINIA	PHOTINIA	4 / MODERATE
EVERGREEN SHRUBS	9 GAL	PHANOLIPS VULF GREEN	DWARF YEDDA WASHBURN	3 / LOW
FLOWERING SHRUBS	9 GAL	TELOMIA F. COPACTA	COPACT BURLBERWATER	3 / LOW
ACCENT SHRUBS	1 GAL	NANDINA D. FIRE POWER	COPACT HEAVY BAMBPOO	3 / LOW
ORNAMENTAL GRASSES	1 GAL	CHOCORPALTIL T. EL CHAPPO	DWARF RUSH	3 / LOW
GROUND COVER	1 GAL	RUANGLEMS BALLERINA	DWARF INDIAN WASHBURN	3 / LOW

PLANT PALETTES

ELEVATION LEGEND

- 1 CONCRETE S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAVED FOAM TRIM
- 7 DECORATIVE STUCCO COLLARNS (STUCCO OVER WOOD FRAMING)
- 8 PRE-FAB WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL ROLL-UP GARAGE DOOR
- 11 DECORATIVE PRE-FAB SHUTTERS
- 12 COACH LIGHT
- 13 ILLUMINATED ADDRESS PLATE
- 14 WOOD SIDING
- 15 FIBER CEMENT TRIM
- 16 STONE VENER
- 17 DECORATIVE PRE-FAB VENT
- 18 PRE-FAB POT SHELF & CORBEL
- 19 DECORATIVE BOARD & BATTEN
- 20 WOOD POST
- 21 BRICK VENER
- 22 DECORATIVE OUTDOORER WITH KNEEBRACE
- 23 WOOD BRACKET



Elevation 'A' - Prairie

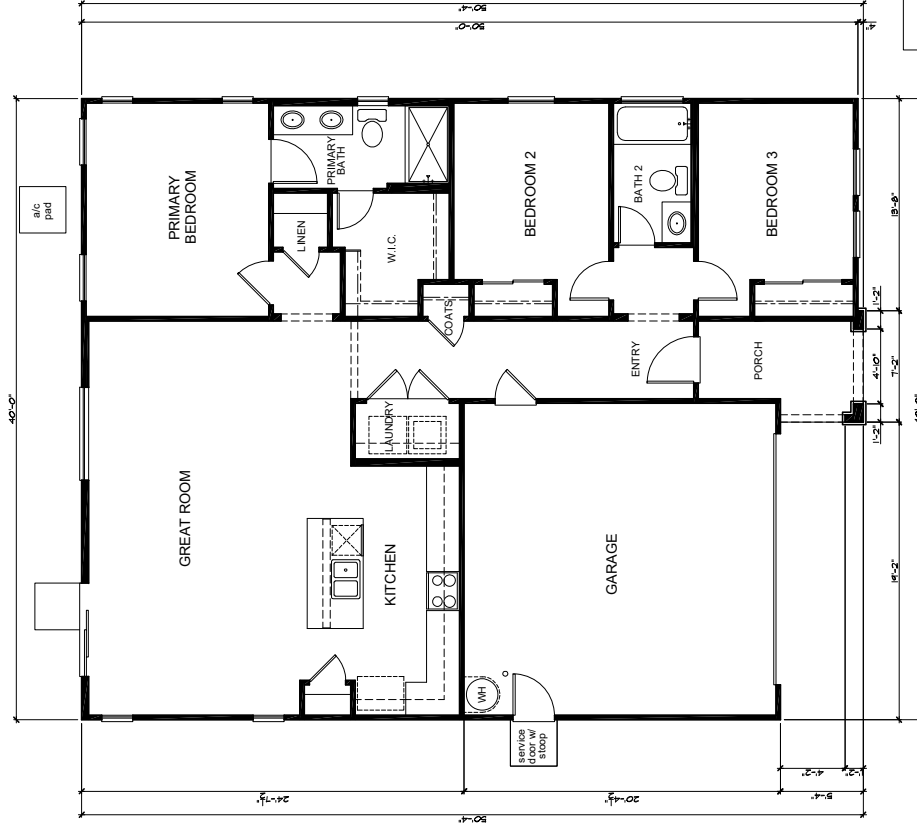


Elevation 'B' - Craftsman



Elevation 'C' - Farmhouse





SQUARE FOOTAGE				
PLAN 141419				
	A	B	C	D
FOOT AREA	1424	1424	1424	50
TOTAL AREA	1424	1424	1424	50
NET AREA	41	41	41	46
PORCH AREA	100	100	100	100
NET G.V. PAID	100	100	100	100

First Floor Plan 'A'

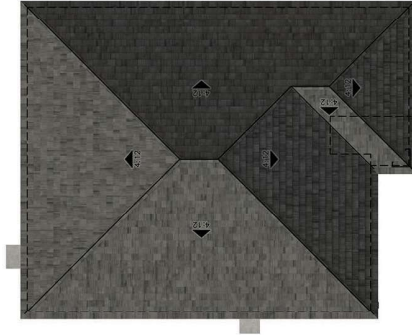
PLAN No.:
JOB No.:
DATE:
February 09, 2024

JESSIE AVENUE

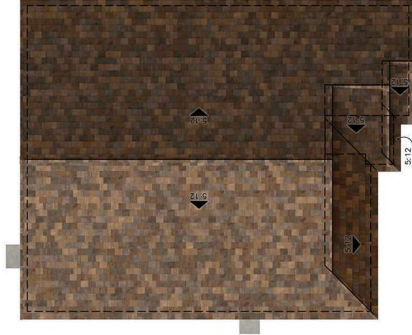
KB Home Southern California
10000
Bakersfield, CA 93311
(805) 946-7800



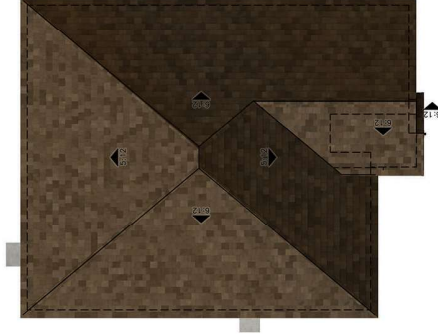
CITY OF SACRAMENTO



'A'



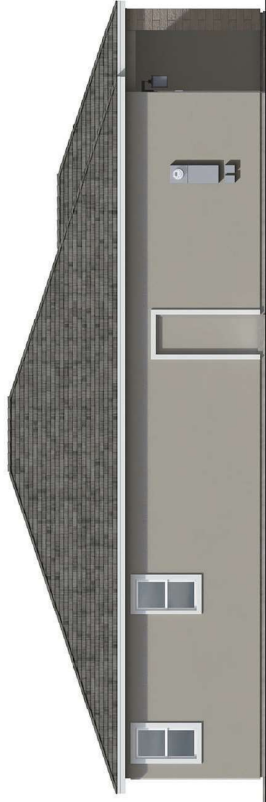
'B'



'C'

Roof Plans

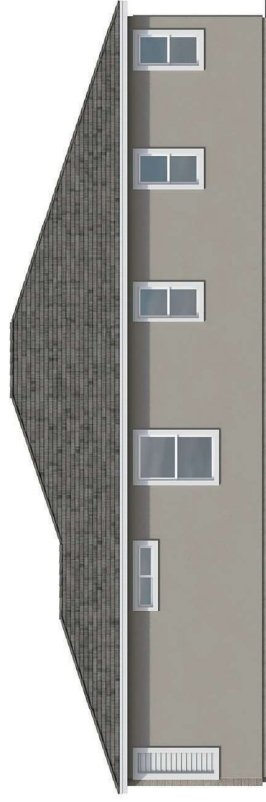
JESSIE AVENUE



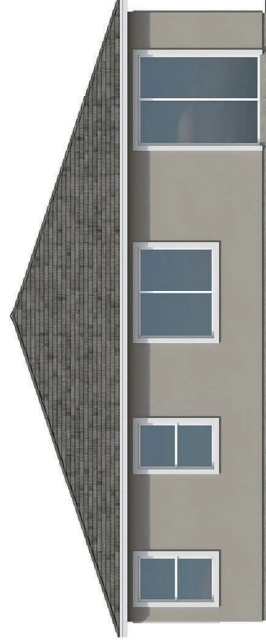
Left Elevation 'A'



Front Elevation 'A' - Prairie



Right Elevation 'A'



Rear Elevation 'A'



Left Elevation 'B'



Front Elevation 'B' - Craftsman



Right Elevation 'B'



Rear Elevation 'B'



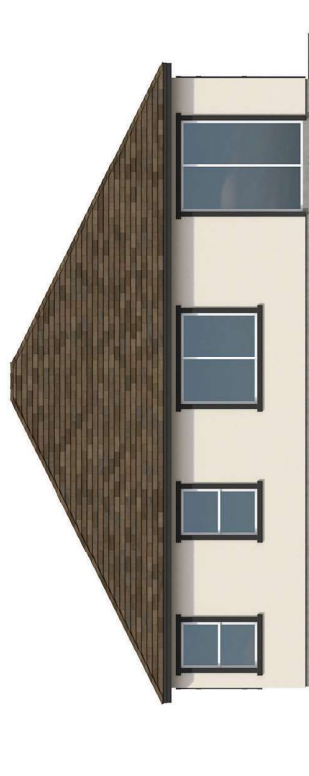
Left Elevation 'C'



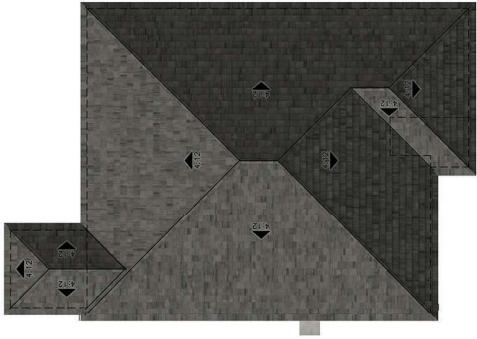
Front Elevation 'C' - Farmhouse



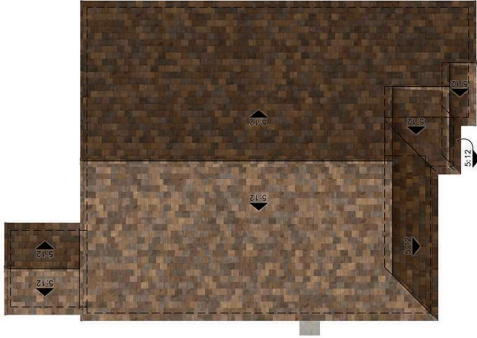
Right Elevation 'C'



Rear Elevation 'C'



'A'

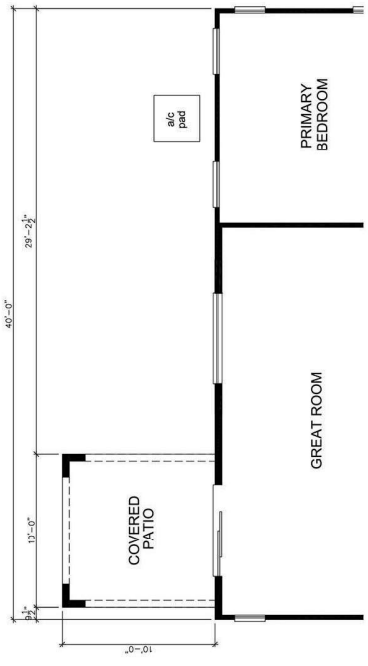


'B'

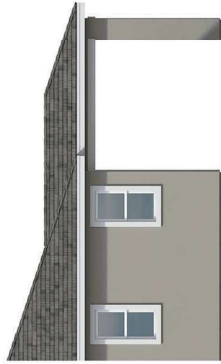


'C'

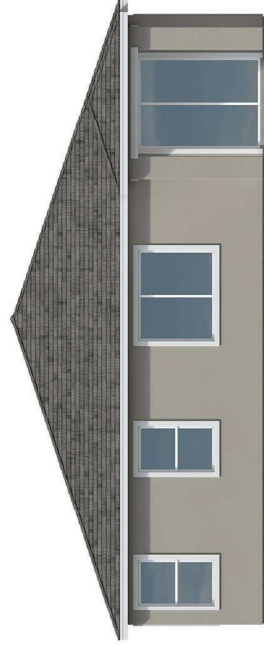
Roof Plans
at Covered Patio



Partial Floor Plan
at Covered Patio

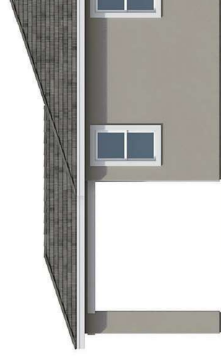


Partial Right Elevation 'A'



Rear Elevation 'A'

Elevations
at Covered Patio



Partial Left Elevation 'A'



Partial Right Elevation 'C'



Rear Elevation 'C'



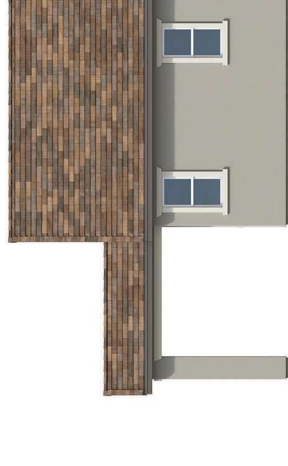
Partial Left Elevation 'C'



Partial Right Elevation 'B'



Rear Elevation 'B'



Partial Left Elevation 'B'

Elevations
at Covered Patio



Partial Left Elevation 'A'



Rear Elevation 'A'

Elevations
at Extended Covered Patio



Partial Right Elevation 'A'

PLAN No. :
DATE :
STORY :
February 09, 2024

JESSIE AVENUE

KB Home/North Bay Drive, Suite 150
Fairfield, CA 94534
(707) 389-7500
CITY OF SACRAMENTO





Partial Right Elevation 'C'



Rear Elevation 'C'



Partial Left Elevation 'C'



Partial Right Elevation 'B'



Rear Elevation 'B'

Elevations
at Extended Covered Patio



Partial Left Elevation 'B'

ELEVATION LEGEND

- 1 CONCRETE S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS, SHAVED FOAM TRIM
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING)
- 8 PRE-FAB WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL ROLL-UP GARAGE DOOR
- 11 DECORATIVE PRE-FAB SHUTTERS
- 12 COACH LIGHT
- 13 ILLUMINATED ADDRESS PLATE
- 14 WOOD SIDING
- 15 FIBER CEMENT TRIM
- 16 STONE VENEER
- 17 DECORATIVE PRE-FAB VENT
- 18 PRE-FAB POT SHELF & CORBEL
- 19 DECORATIVE BOARD & BATTEN
- 20 WOOD POST
- 21 BRICK VENEER
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 WOOD BRACKET



Elevation 'A' - Prairie



Elevation 'B' - Craftsman



Elevation 'C' - Farmhouse



SQUARE FOOTAGE			
PLAN 1401672			
	A'	B'	C'
FIRST FLOOR AREA	1672	1672	1672
TOTAL AREA	1672	1672	1672
GARAGE AREA	422	422	422
PORCH AREA	56	46	46
OPT. COV. PATIO	100	100	100
OPT. ENT. COV. PATIO	185	185	185

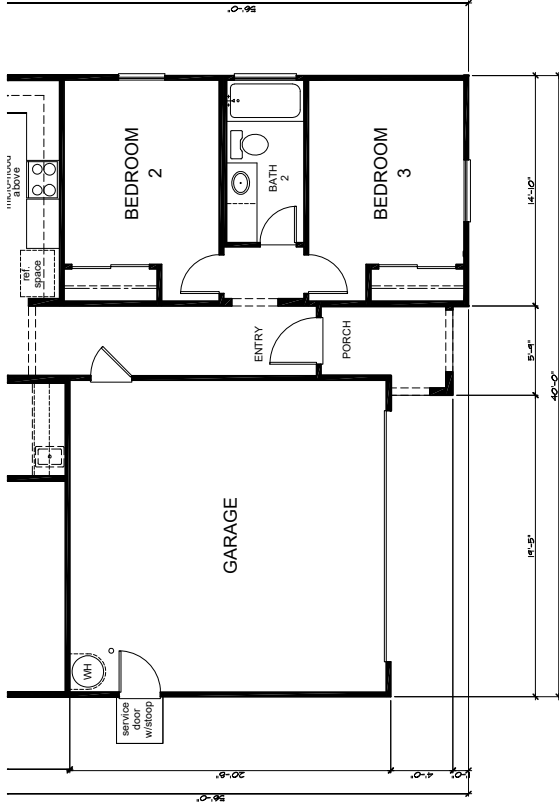
Floor Plan 'A'

JESSIE AVENUE

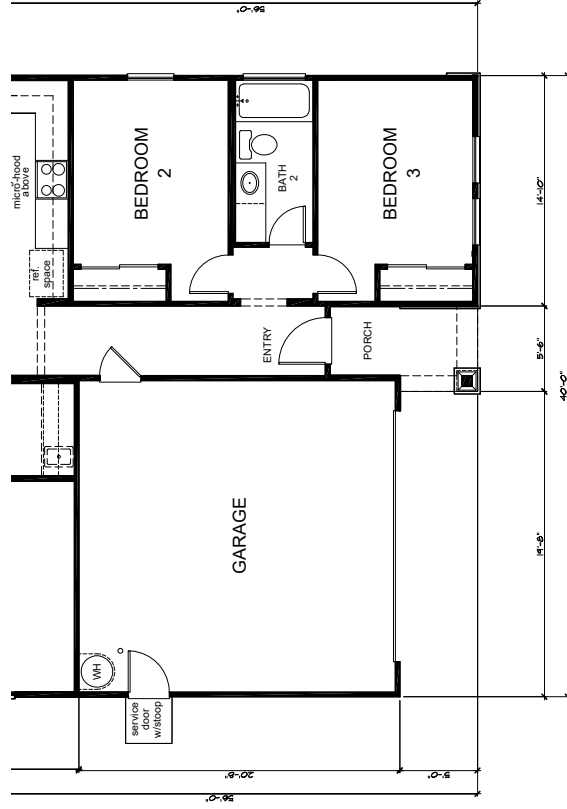
PLAN No.: 1401672
 JOB No.: 600156
 1-STORY
 February 09, 2024

KB Home North Bay
 10000 Kellenburg Drive, Suite 150
 Fairfield, CA 94504
 (707) 399-7500
 CITY OF SACRAMENTO





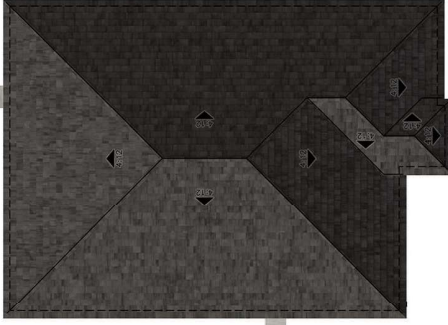
Partial Floor Plan 'C'



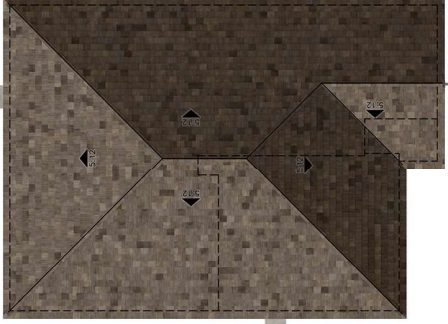
Partial Floor Plan 'B'

JESSIE AVENUE

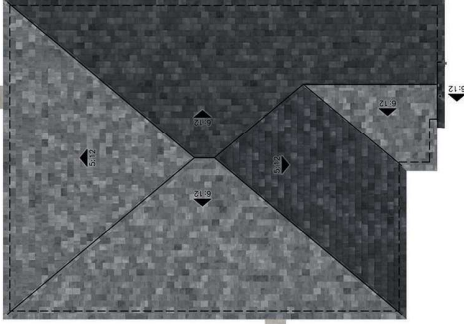




'A'



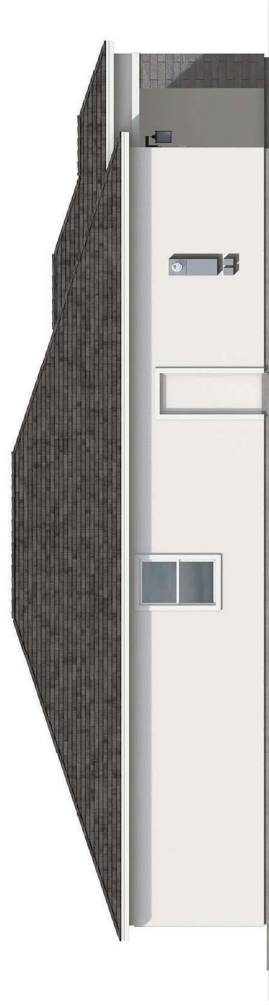
'B'



'C'

Roof Plans

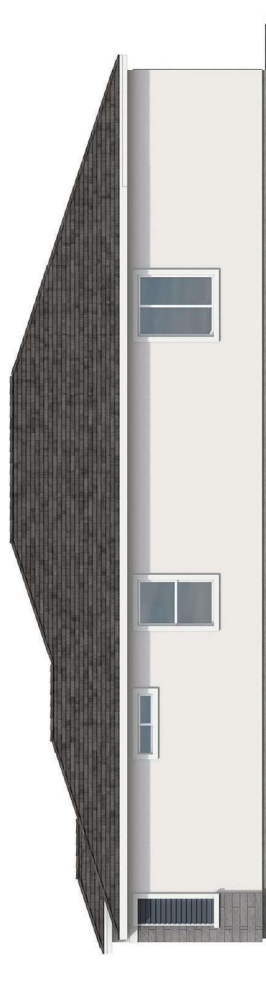
JESSIE AVENUE



Left Elevation 'A'



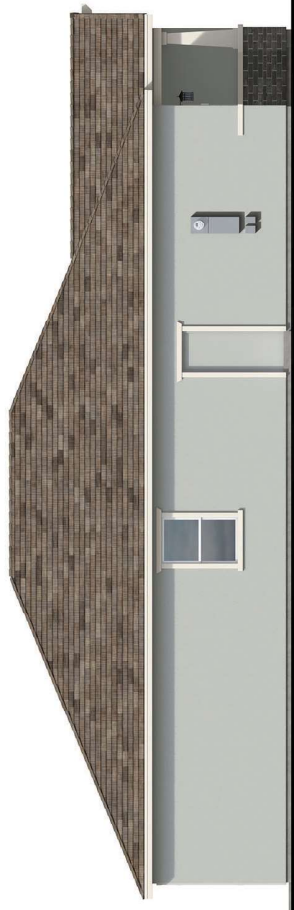
Front Elevation 'A' - Prairie



Right Elevation 'A'



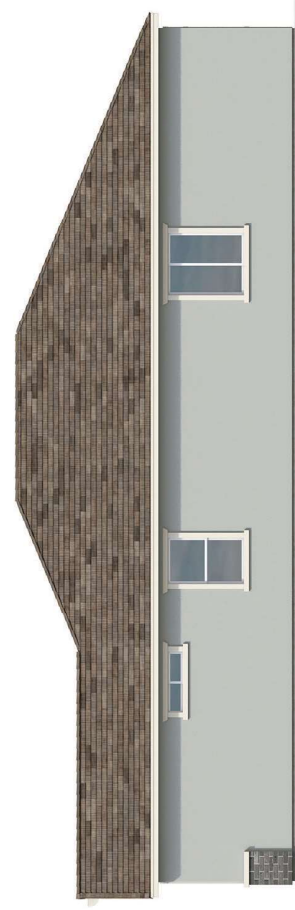
Rear Elevation 'A'



Left Elevation 'B'



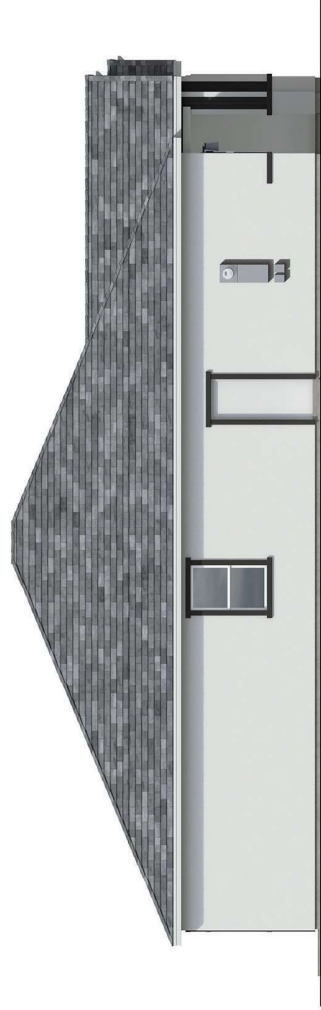
Front Elevation 'B' -Craftsman



Right Elevation 'B'



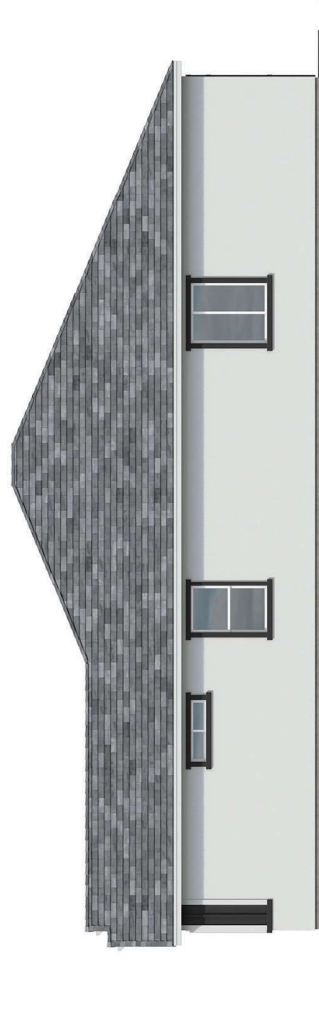
Rear Elevation 'B'



Left Elevation 'C'



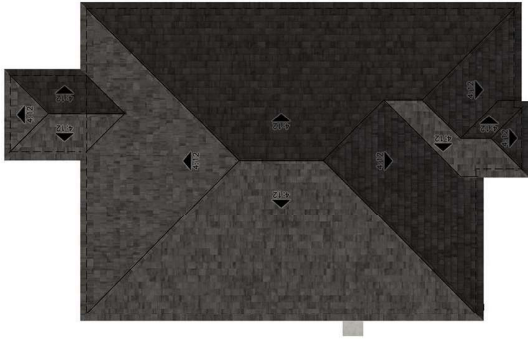
Front Elevation 'C' - Farmhouse



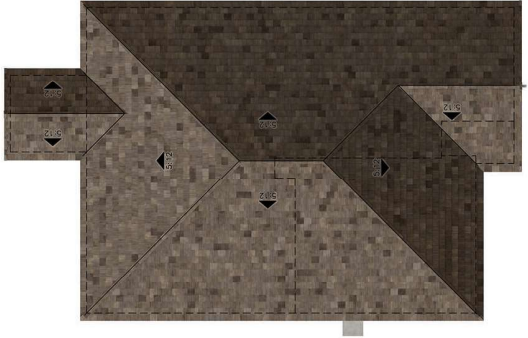
Right Elevation 'C'



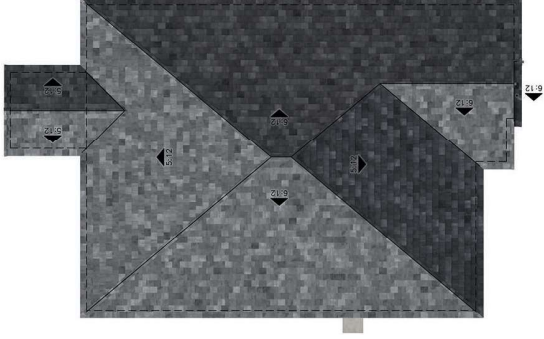
Rear Elevation 'C'



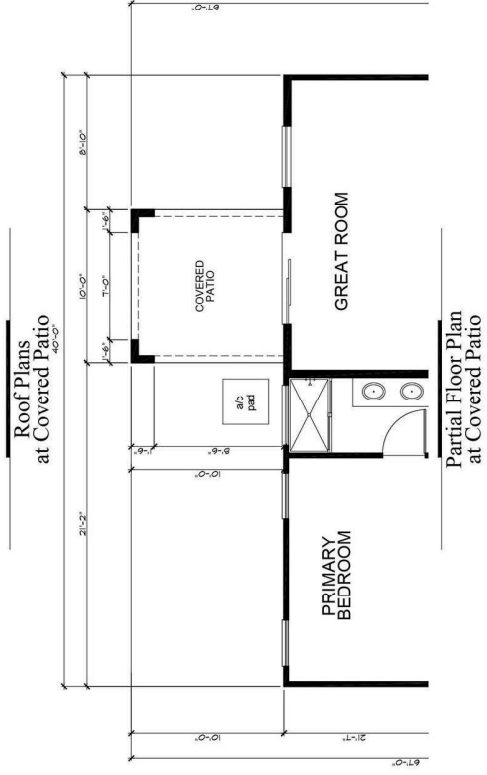
'A'



'B'

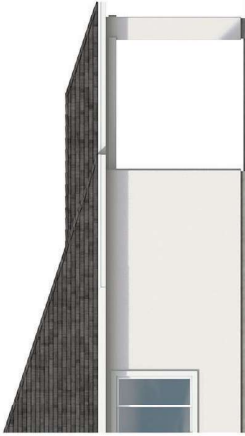


'C'



Roof Plans
at Covered Patio

Partial Floor Plan
at Covered Patio



Partial Right Elevation 'A'

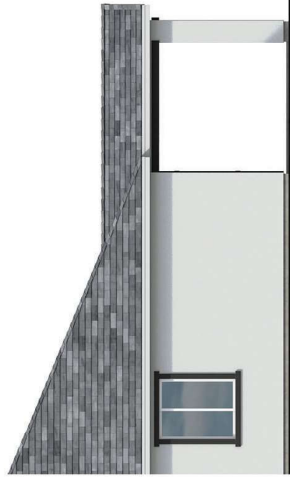


Rear Elevation 'A'

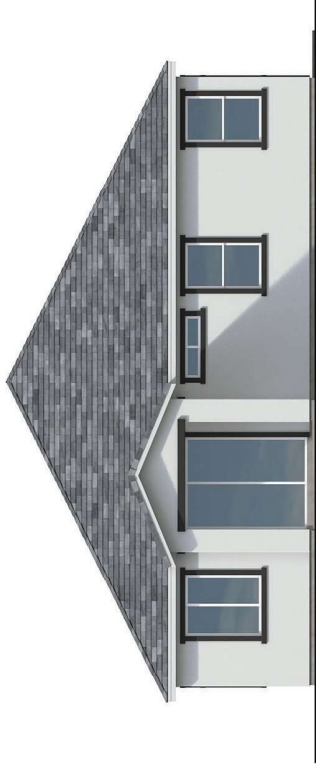
Elevations
at Covered Patio



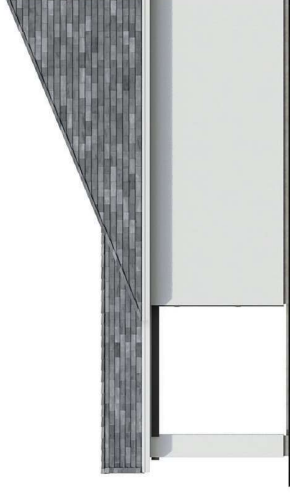
Partial Left Elevation 'A'



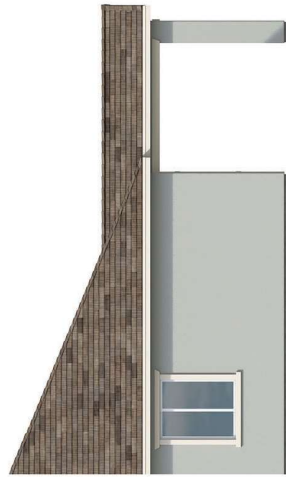
Partial Right Elevation 'C'



Rear Elevation 'C'



Partial Left Elevation 'C'



Partial Right Elevation 'B'

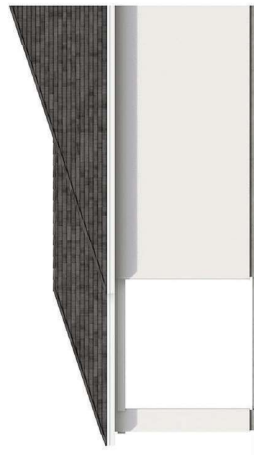


Rear Elevation 'B'

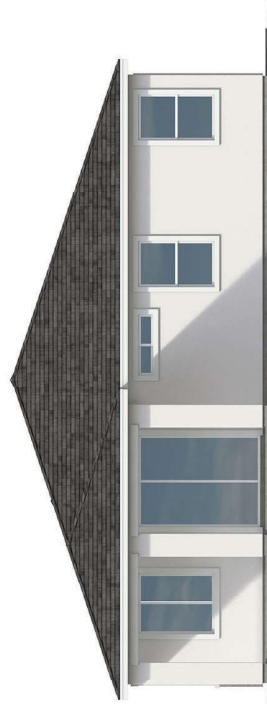
Elevations
at Covered Patio



Partial Left Elevation 'B'

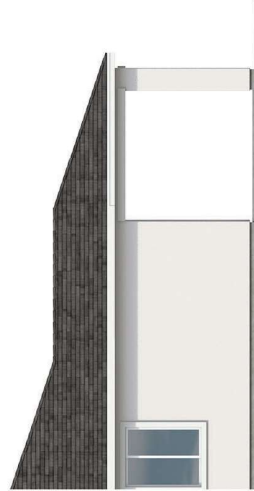


Partial Left Elevation 'A'



Rear Elevation 'A'

Elevations
at Extended Covered Patio



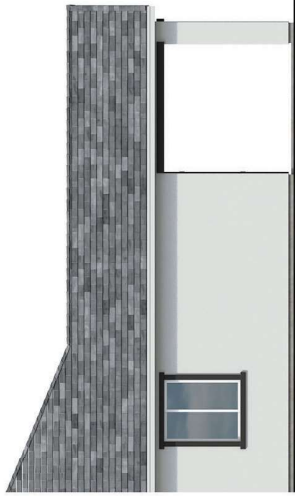
Partial Right Elevation 'A'

PLAN No. :
DATE :
STORY :
February 09, 2024

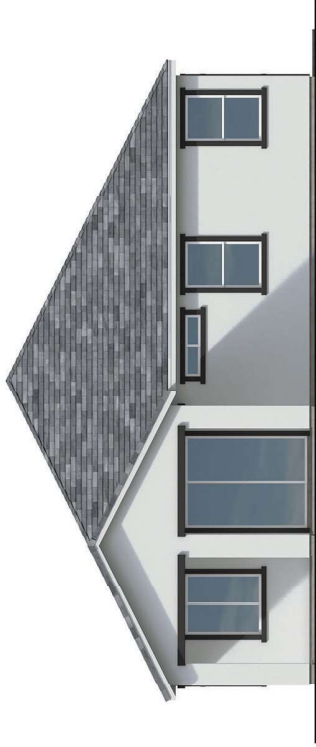
JESSIE AVENUE

KB Home North Bay Drive Suite 150
Fairfield, CA 94534
(707) 389-7500
CITY OF SACRAMENTO

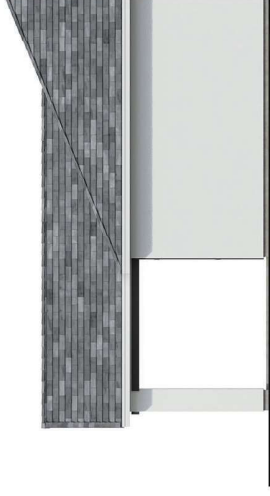




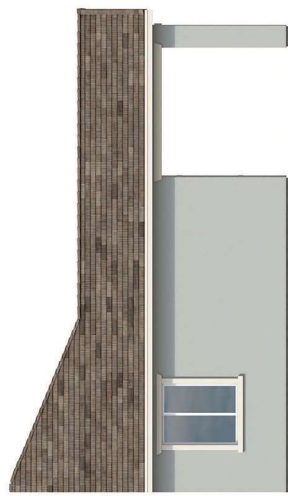
Partial Right Elevation 'C'



Rear Elevation 'C'



Partial Left Elevation 'C'



Partial Right Elevation 'B'



Rear Elevation 'B'



Partial Left Elevation 'B'

Elevations
at Extended Covered Patio

ELEVATION LEGEND

- 1 CONCRETE S TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBEL SHAPED FOAM TRIM
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING)
- 8 PRE-FAB WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL ROLL-UP GARAGE DOOR
- 11 DECORATIVE PRE-FAB SHUTTERS
- 12 COACH LIGHT
- 13 ILLUMINATED ADDRESS PLATE
- 14 WOOD SIDING
- 15 FIBER CEMENT TRIM
- 16 STONE VENEER
- 17 DECORATIVE PRE-FAB VENT
- 18 PRE-FAB POT SHELVE & CORBEL
- 19 DECORATIVE BOARD & BATTEN
- 20 WOOD POST
- 21 BRICK VENEER
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 WOOD BRALKEKI



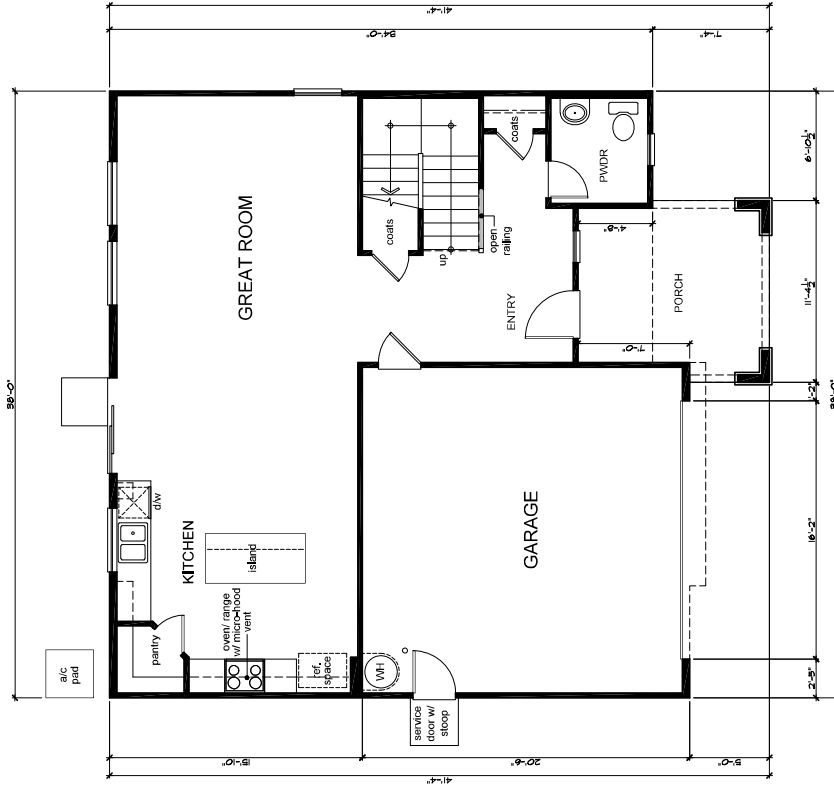
Elevation 'A' - Prairie



Elevation 'B' - Craftsman

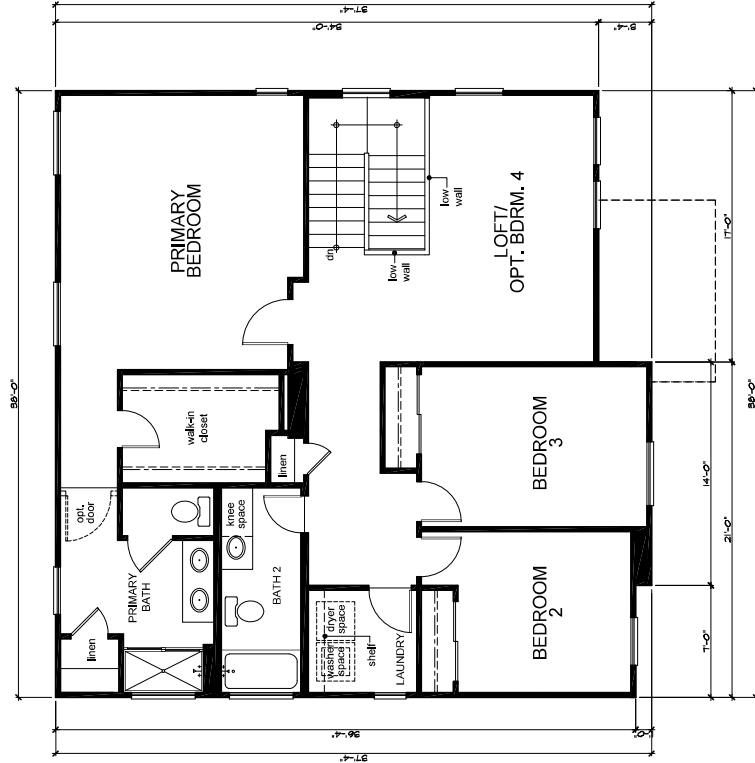


Elevation 'C' - Farmhouse



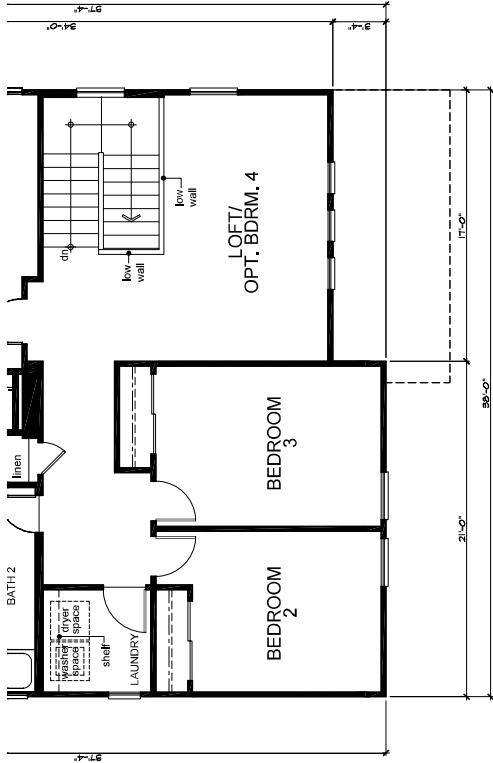
First Floor Plan 'A'

SQUARE FOOTAGE		PLAN 282348	
	sq. ft.	sq. ft.	sq. ft.
FIRST FLOOR AREA	2,148	2,156	2,164
SECOND FLOOR AREA	1,274	1,284	1,300
TOTAL AREA	3,422	3,440	3,464
GARAGE AREA	1,148	1,156	1,164
OPT. GAR. PATIO	198	198	198
OPT. ENT. COY. PATIO	200	200	200



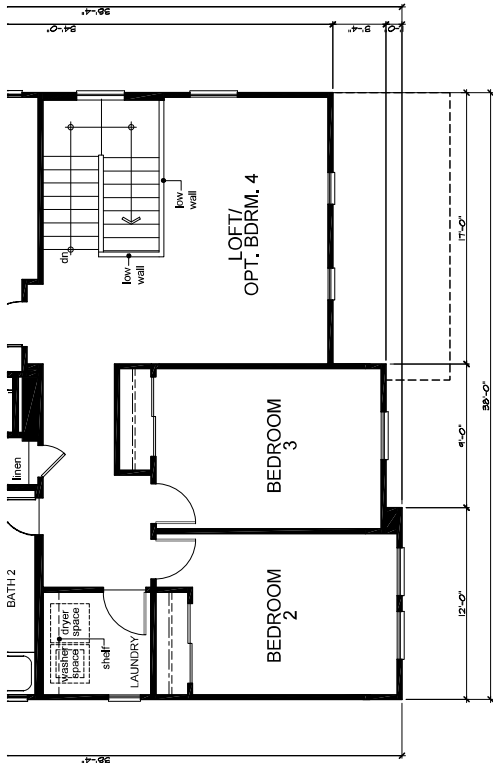
Second Floor Plan 'A'





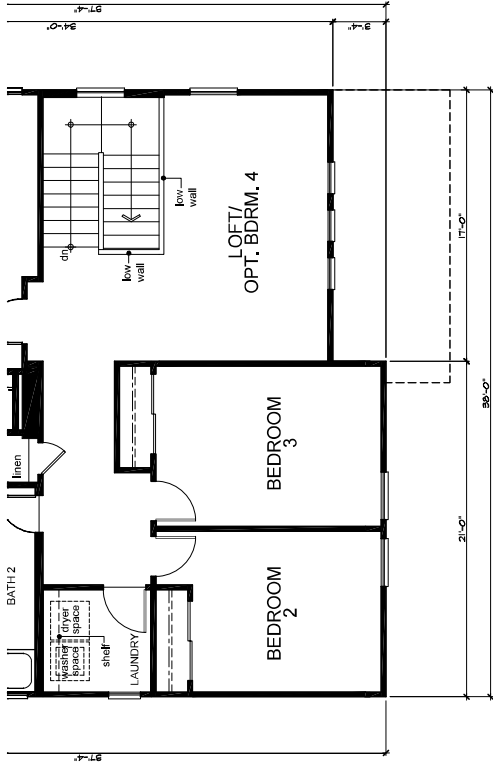
Second Floor Plan 'B'

First Floor Plan 'B'



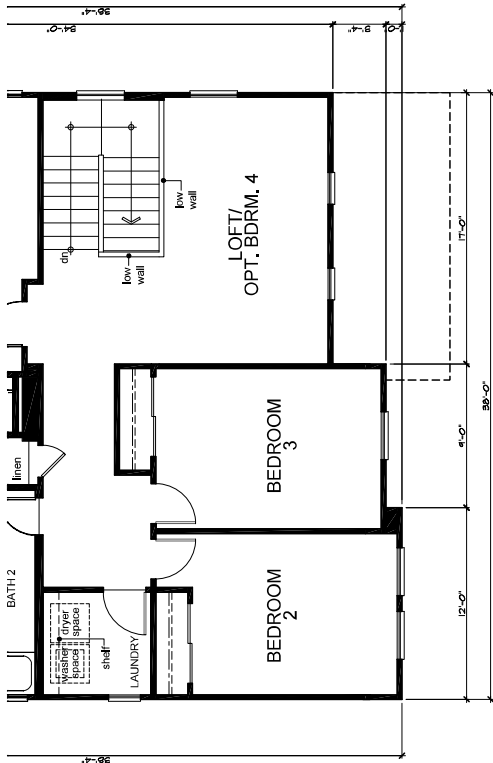
Second Floor Plan 'C'

First Floor Plan 'C'



Second Floor Plan 'B'

First Floor Plan 'B'



Second Floor Plan 'C'

First Floor Plan 'C'

JESSIE AVENUE

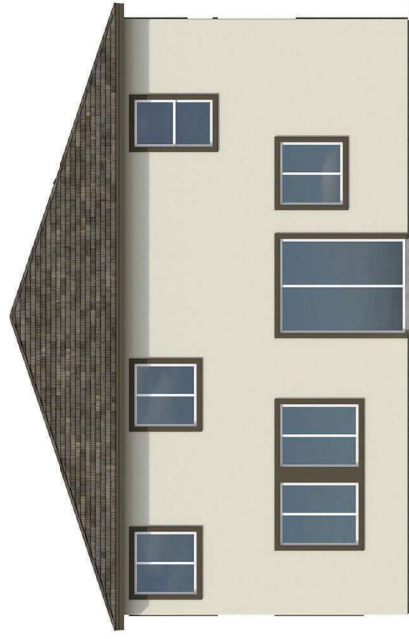
KB Home, North Bay
 450 Business Center Drive, Suite 150
 San Francisco, CA 94134
 (415) 384-2500
 CITY OF SACRAMENTO



PLAN No. : 238.2148
 JOB No. : 000156
 STORY : 3-STORY
 February 06, 2024



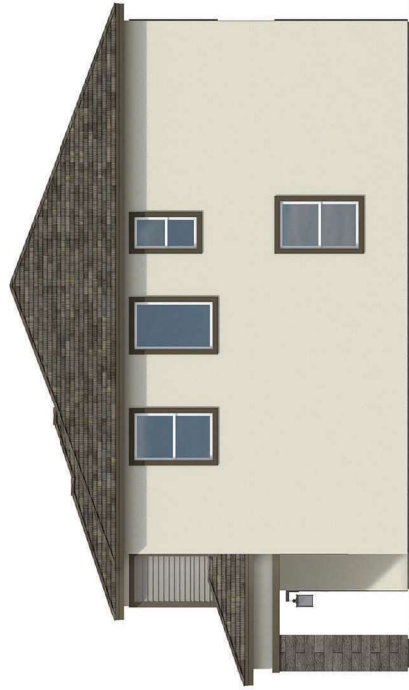
Front Elevation 'A' - Prairie



Rear Elevation 'A'



Left Elevation 'A'



Right Elevation 'A'



Left Elevation 'B'



Front Elevation 'B' - Craftsman



Right Elevation 'B'



Rear Elevation 'B'



TOP OF RIDGE

27'-8"

FINISH GRADE

Front Elevation 'C' - Farmhouse



Rear Elevation 'C'



Left Elevation 'C'



Right Elevation 'C'

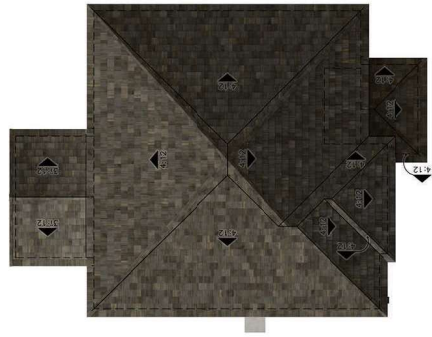
PLAN No. : 238-2148
 DATE : 01/08/24
 DRAWN BY : SUTONG
 February 09, 2024

JESSIE AVENUE

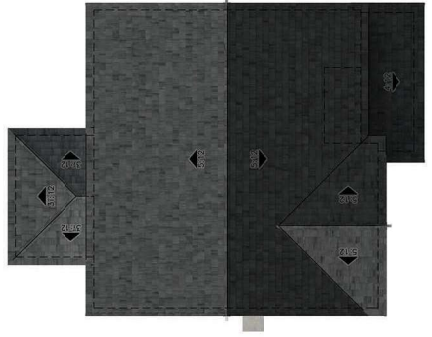
KB Home North Bay
 10000 North Bay Drive Suite 150
 Fairfield, CA 94534
 (707) 386-7500



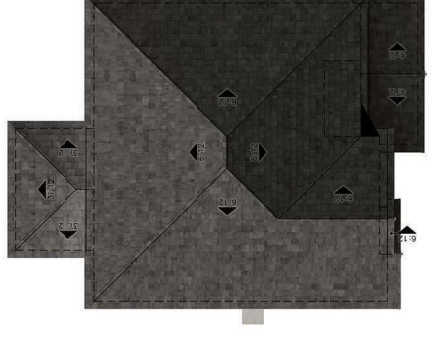
CITY OF SACRAMENTO



'A'



'B'



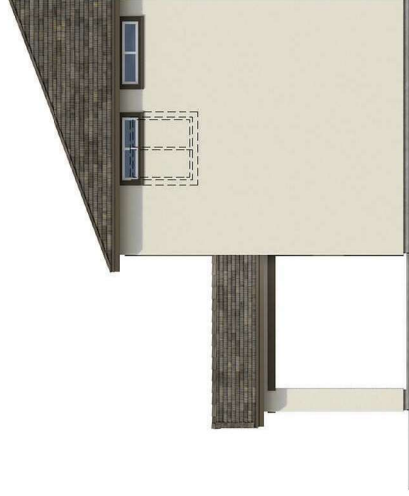


Right Elevation 'A'

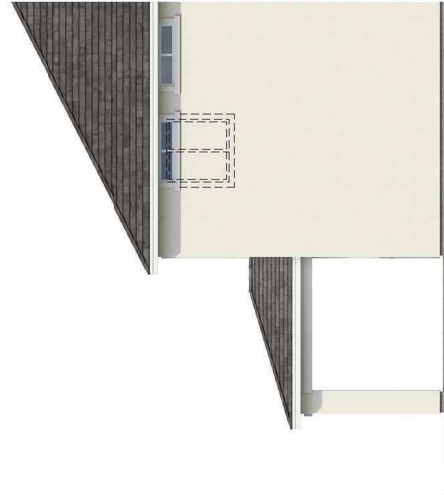


Rear Elevation 'A'

Optional Covered Patio



Left Elevation 'A'



Left Elevation 'C'



Left Elevation 'B'



Rear Elevation 'C'



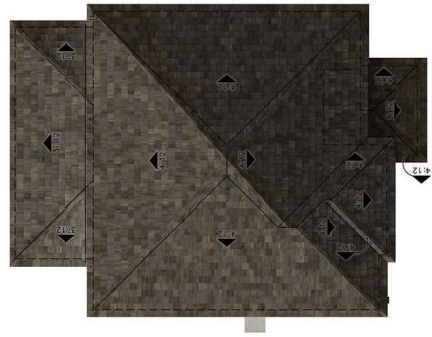
Rear Elevation 'B'
Optional Covered Patio



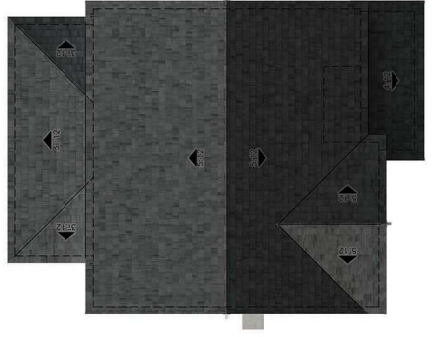
Right Elevation 'C'



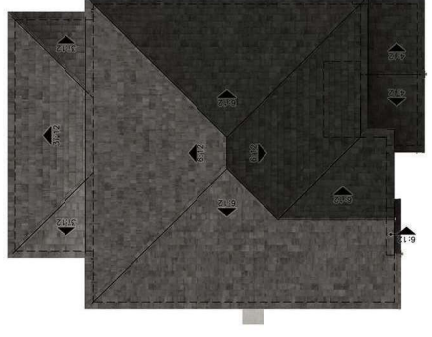
Right Elevation 'B'



'A'

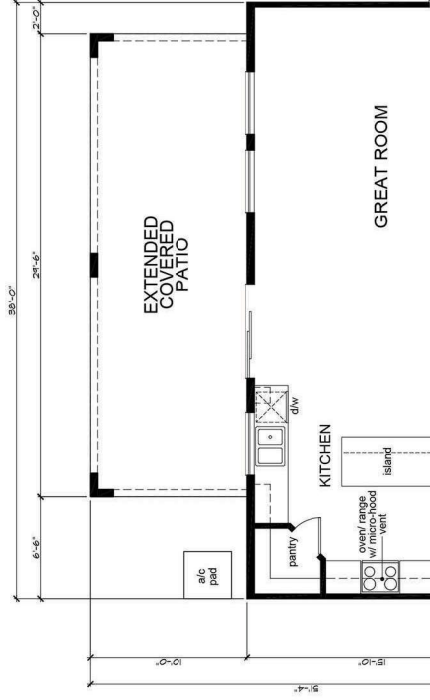


'B'



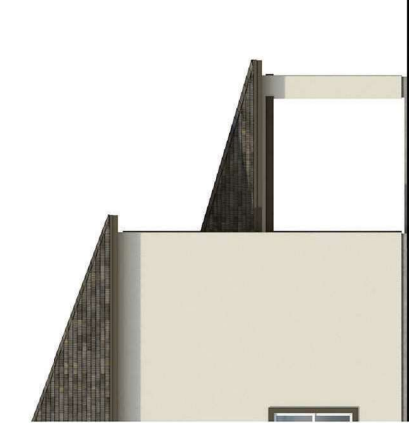
'C'

Optional Extended Covered Patio Roof Plans



Typical Extended Covered Patio Floor Plan

JESSIE AVENUE

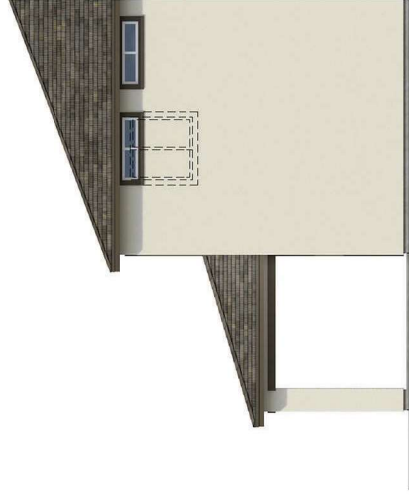


Right Elevation 'A'

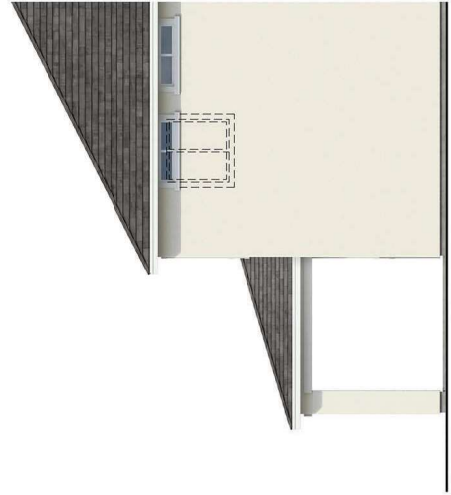


Rear Elevation 'A'

Optional Enlarged Covered Patio



Left Elevation 'A'



Left Elevation 'C'



Left Elevation 'B'

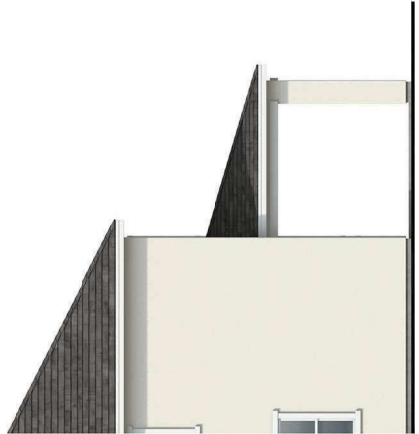


Rear Elevation 'C'



Rear Elevation 'B'

Optional Enlarged Covered Patio



Right Elevation 'C'



Right Elevation 'B'



ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBEL SHAPED FOAM TRIM
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING)
- 8 PRE-FAB WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL ROLL-UP GARAGE DOOR
- 11 DECORATIVE PREFAB SHUTTERS
- 12 COACH LIGHT
- 13 ILLUMINATED ADDRESS PLATE
- 14 WOOD SIDING
- 15 FIBER CEMENT TRIM
- 16 STONE VENEER
- 17 DECORATIVE PREFAB VENT
- 18 PREFAB POT SHELVE & CORBEL
- 19 DECORATIVE BOARD & BATTEN
- 20 WOOD POST
- 21 BRICK VENEER
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 WOOD BRACKET



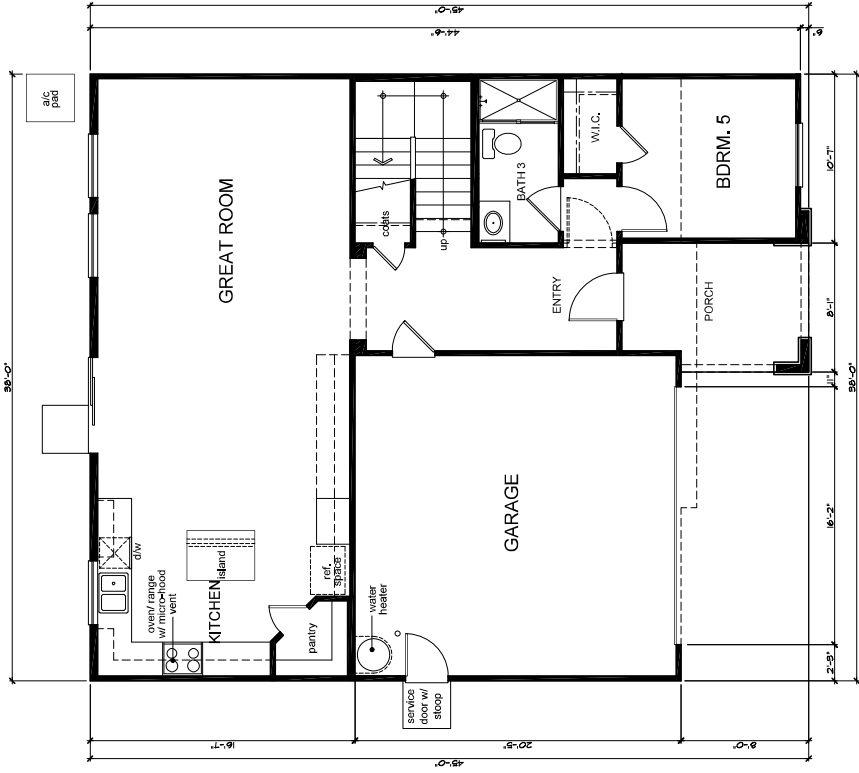
Elevation 'A' - Prairie



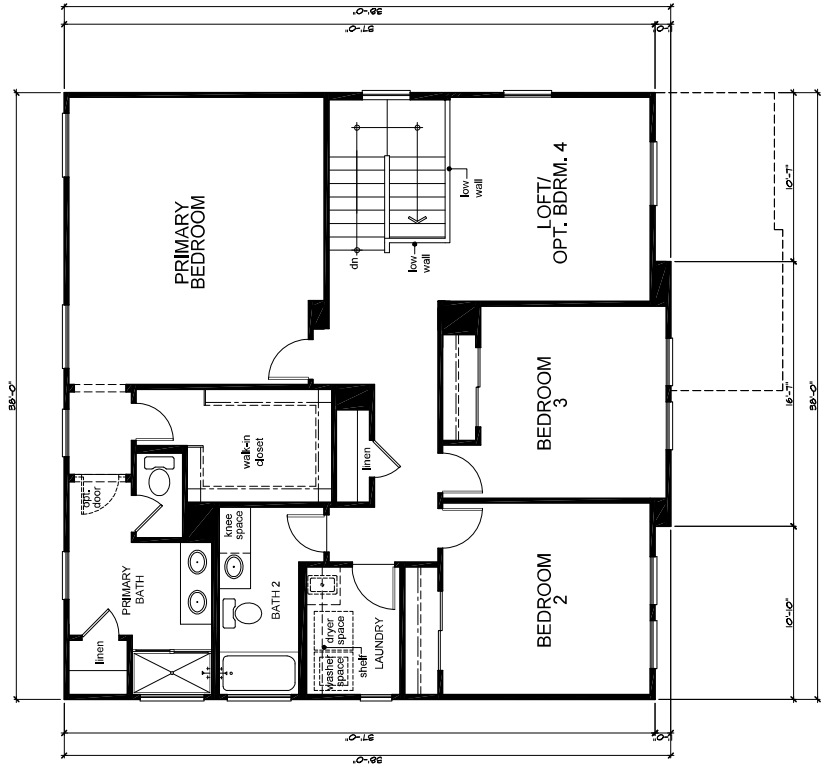
Elevation 'B' - Craftsman



Elevation 'C' - Farmhouse



SQUARE FOOTAGE		PLAN SHEETS	
		A	B
FIRST FLOOR AREA	1048	1048	048
SECOND FLOOR AREA	2394	2394	394
TOTAL AREA	2394	2394	394
PORCH AREA	40	40	40
OPT. COV. PATIO	150	150	150
OPT. BKT. COV. PATIO	230	230	230



First Floor Plan 'A'

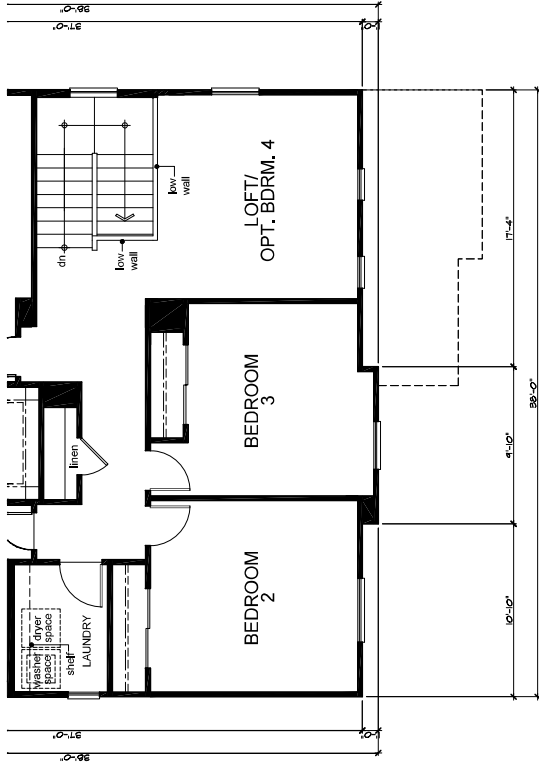
Second Floor Plan 'A'

JESSIE AVENUE

KB Home, North Bay
 450 Business Center Drive, Suite 150
 San Ramon, CA 94583
 (925) 388-2500
 CITY OF SACRAMENTO

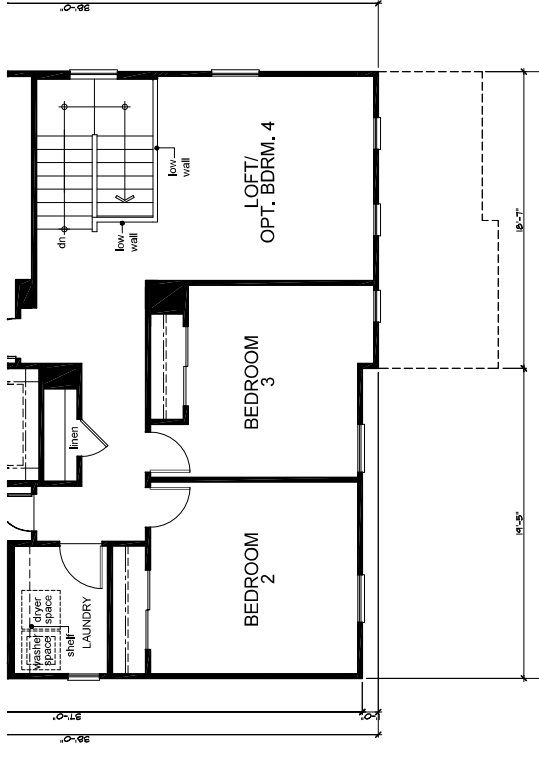


PLAN No.: 238.238
 JOB No.: 00155
 STORY: 1ST
 February 06, 2024



Second Floor Plan 'B'

First Floor Plan 'B'



Second Floor Plan 'C'

First Floor Plan 'C'

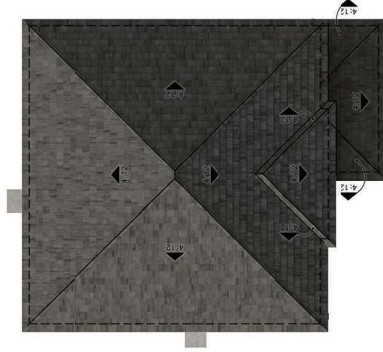
JESSIE AVENUE

KB Home, North Bay
 450 Business Center Drive, Suite 150
 San Ramon, CA 94583
 (925) 388-2500



PLAN No. : 238-2388
 JOB No. : 001156
 STORY : 2-STORY
 February 09, 2024

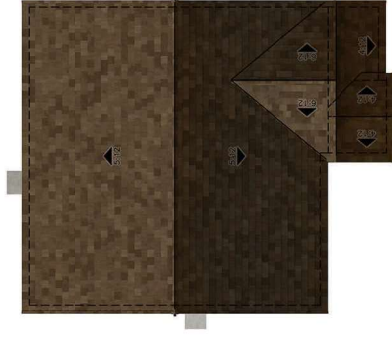
CITY OF SACRAMENTO



'A'



'B'



'C'

Roof Plans



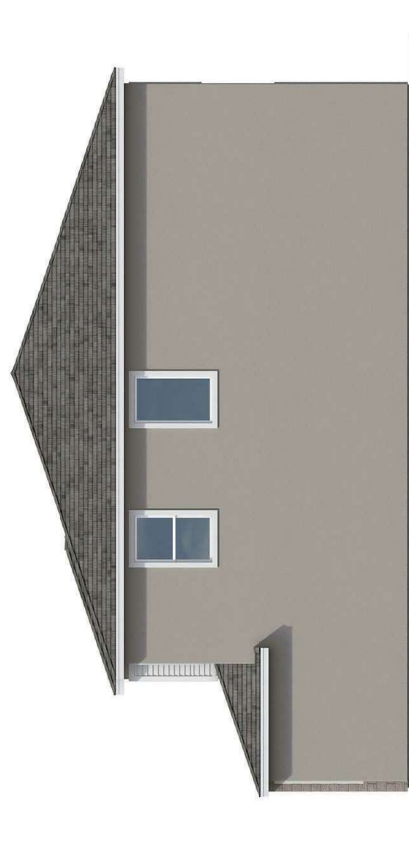
Front Elevation 'A' - Prairie



Rear Elevation 'A'



Left Elevation 'A'



Right Elevation 'A'



Front Elevation 'B' - Craftsman



Rear Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'

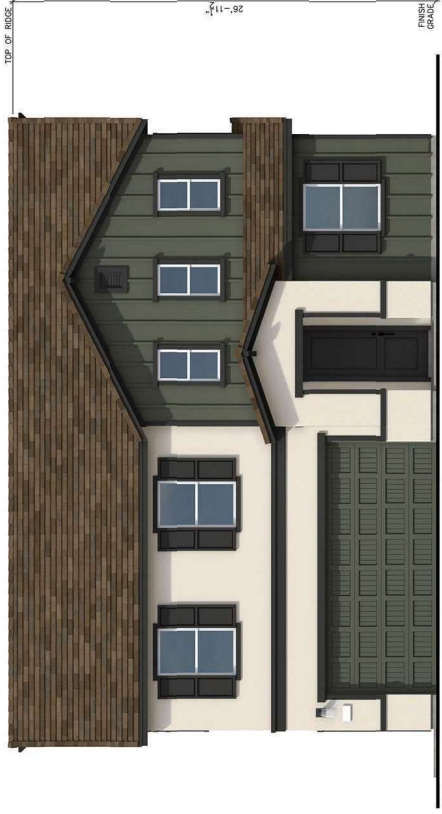
PLAN No. : 238-2388
 DATE : 07/20/2023
 STATION : 3-ST0003
 February 09, 2024

JESSIE AVENUE

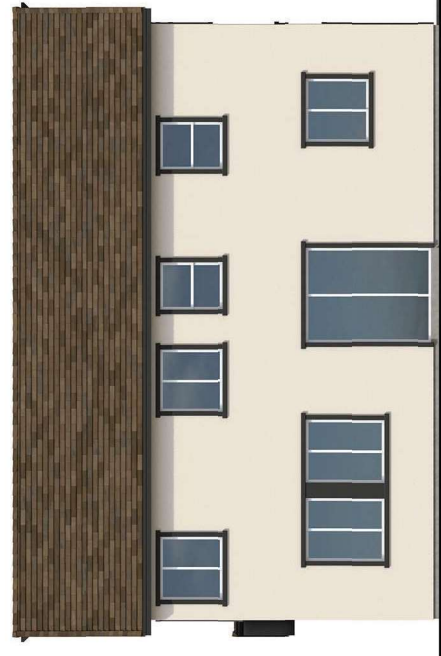
KB Home North Bay
 10000 North Bay Drive Suite 150
 Fairfield, CA 94534
 (707) 386-7500



CITY OF SACRAMENTO



Front Elevation 'C' - Farmhouse



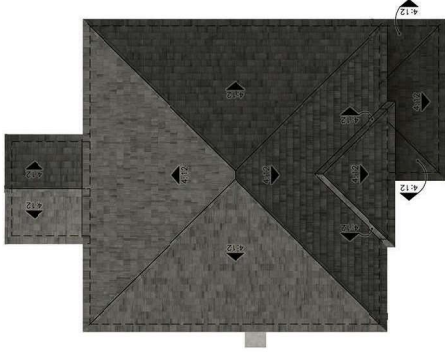
Rear Elevation 'C'



Left Elevation 'C'



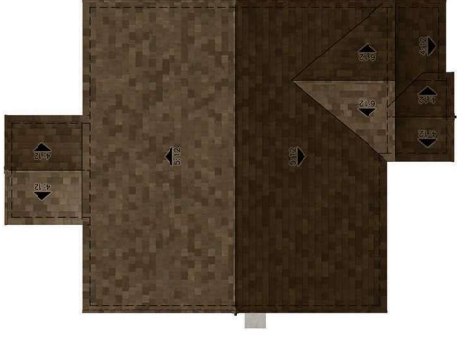
Right Elevation 'C'



'A'

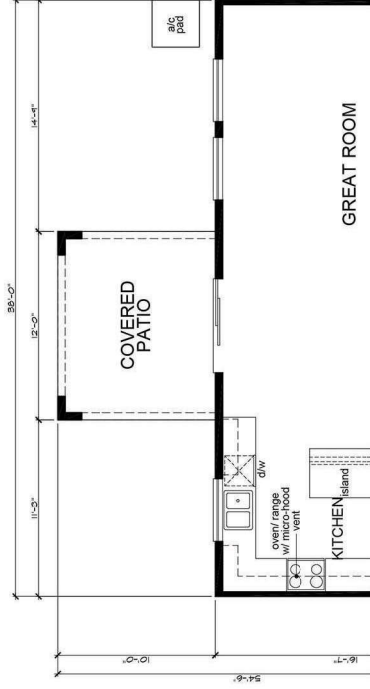


'B'

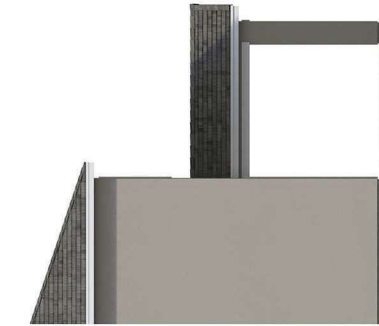


'C'

Optional Covered Patio Roof Plans



Typical Covered Patio Floor Plan

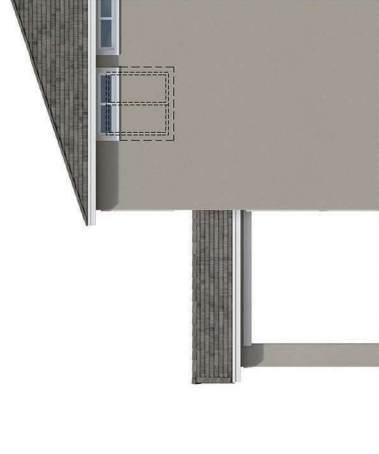


Right Elevation 'A'

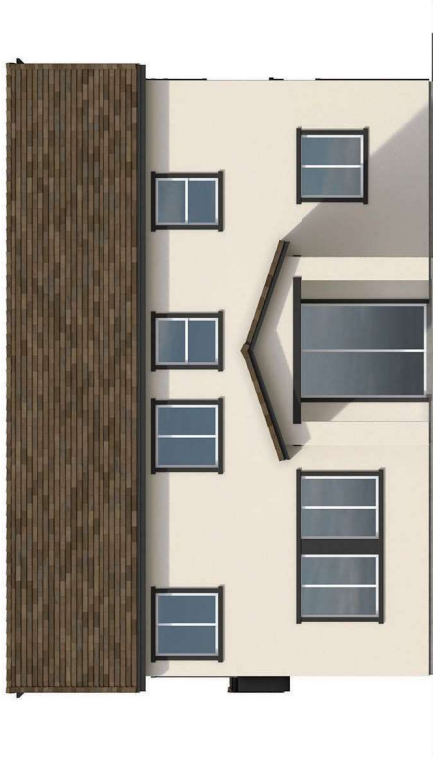


Rear Elevation 'A'

Optional Covered Patio



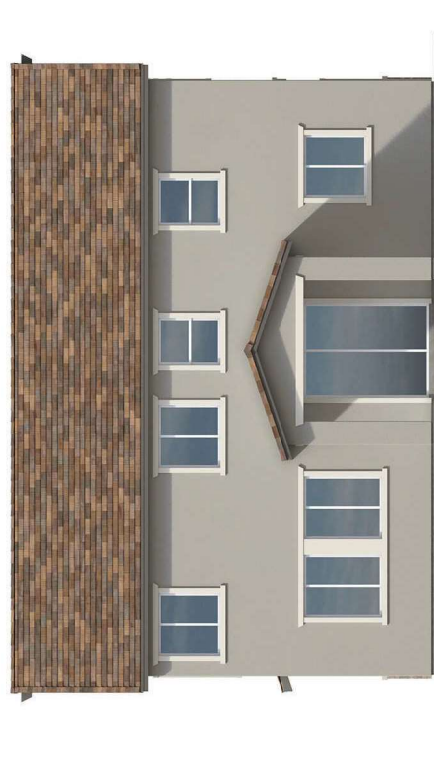
Left Elevation 'A'



Rear Elevation 'C'



Left Elevation 'C'



Rear Elevation 'B'
Optional Covered Patio



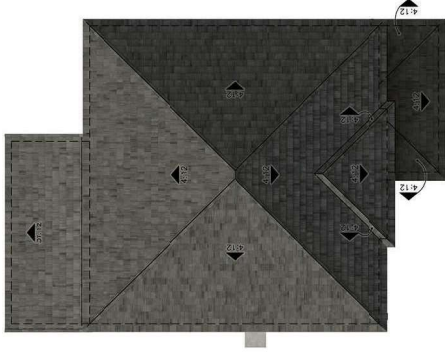
Left Elevation 'B'



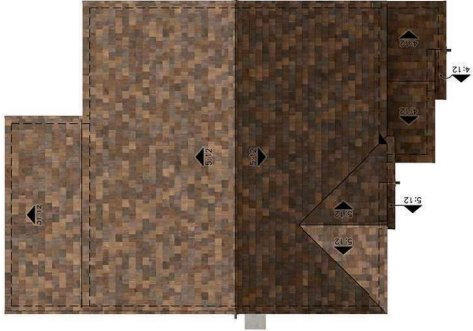
Right Elevation 'C'



Right Elevation 'B'



'A'

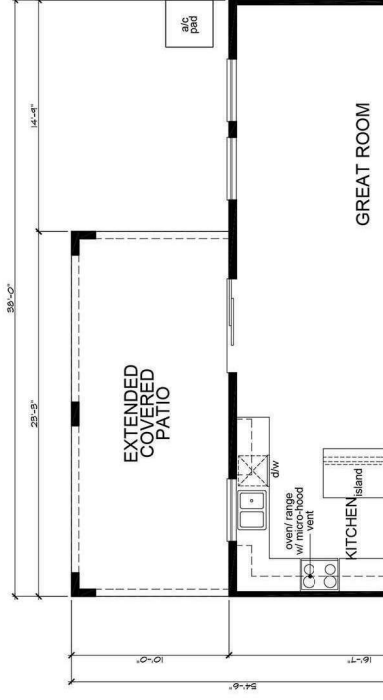


'B'



'C'

Optional Extended Covered Patio Roof Plans



Typical Extended Covered Patio Floor Plan

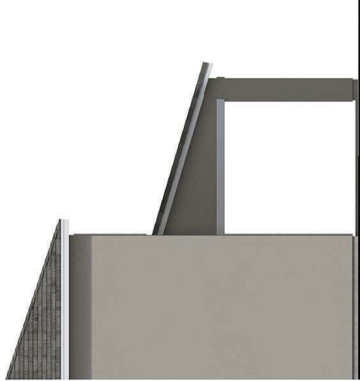


Left Elevation 'A'



Rear Elevation 'A'

Optional Enlarged Covered Patio



Right Elevation 'A'

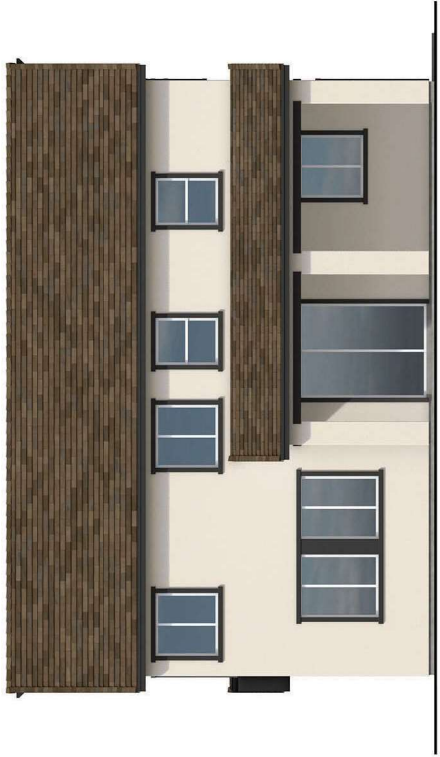
PLAN No. : 2382388
DATE : 01/2024
SHEET No. : 2-STORY
February 09, 2024

JESSIE AVENUE

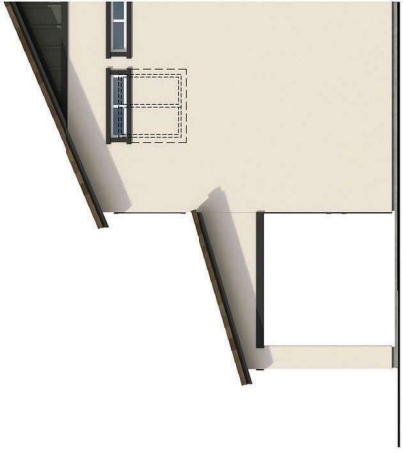
KB Home North Bay - Drive Suite 150
Fairfield, CA 94534
(707) 386-7500

CITY OF SACRAMENTO

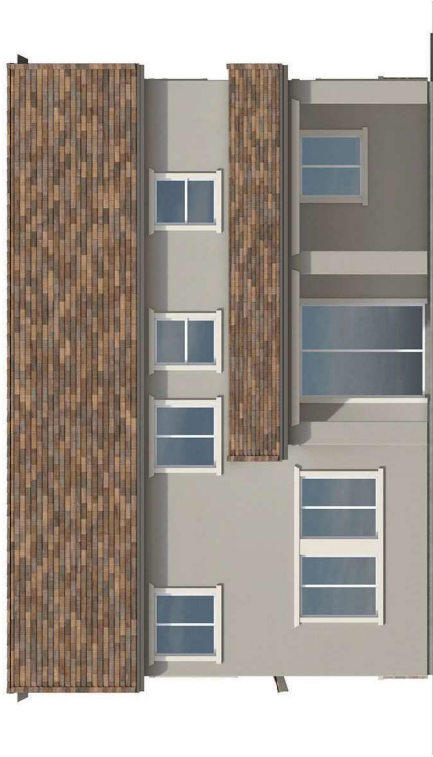




Rear Elevation 'C'

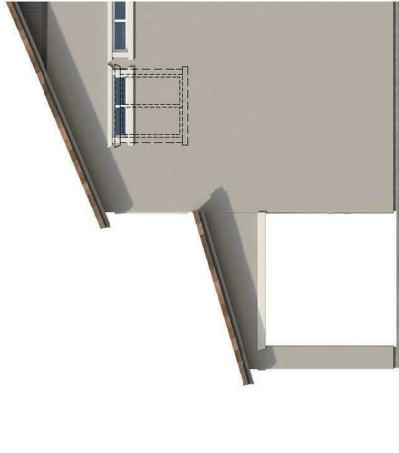


Left Elevation 'C'

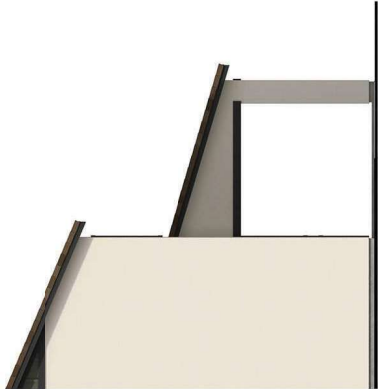


Rear Elevation 'B'

Optional Enlarged Covered Patio



Left Elevation 'B'



Right Elevation 'C'



Right Elevation 'B'

ELEVATION LEGEND

- 1 CONCRETE S TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS SHAPED FOAM TRIM
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING)
- 8 PRE-FAB WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL ROLL-UP GARAGE DOOR
- 11 DECORATIVE PRE-FAB SHUTTERS
- 12 COACH LIGHT
- 13 ILLUMINATED ADDRESS PLATE
- 14 WOOD SIDING
- 15 FIBER CEMENT TRIM
- 16 STONE VENEER
- 17 DECORATIVE PRE-FAB VENT
- 18 PRE-FAB POT SHELVE & CORBEL
- 19 DECORATIVE BOARD & BATTEN
- 20 WOOD POST
- 21 BRICK VENEER
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 WOOD BRAKKEI



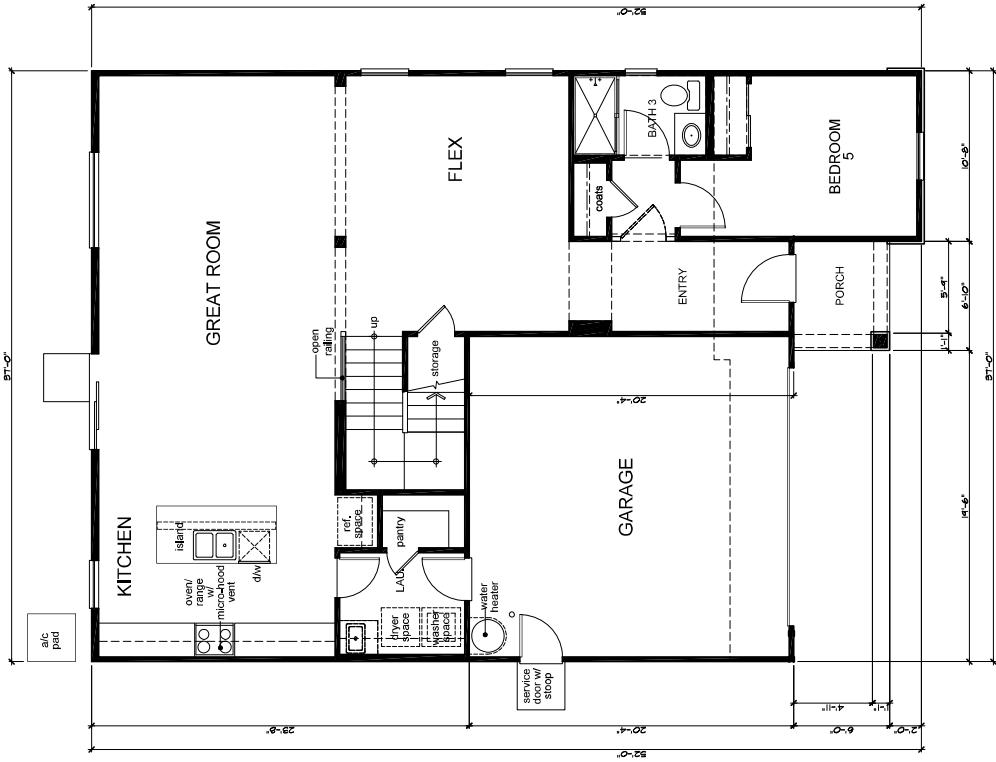
Elevation 'A' - Prairie



Elevation 'B' - Craftsman

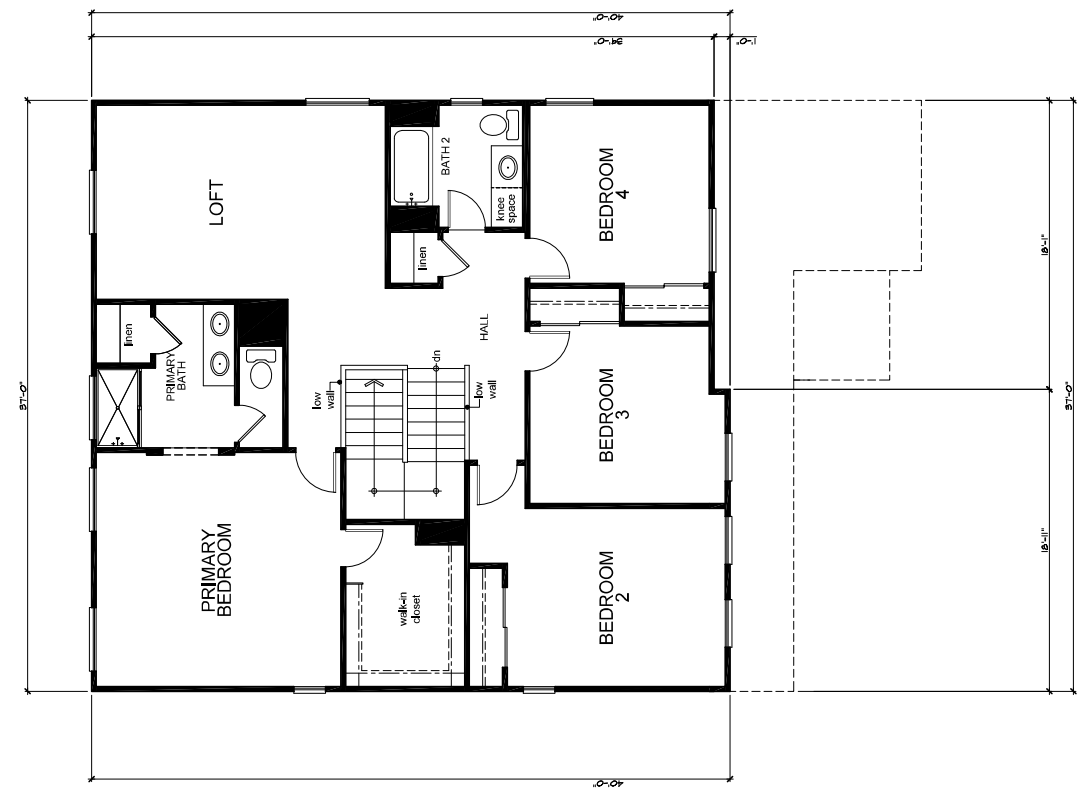


Elevation 'C' - Farmhouse



SQUARE FOOTAGE		PLAN 217286	
1st	2691	2nd	1594
2nd	1594	3rd	1594
3rd	1594	4th	1594
4th	1594	5th	1594
5th	1594	6th	1594
6th	1594	7th	1594
7th	1594	8th	1594
8th	1594	9th	1594
9th	1594	10th	1594
10th	1594	11th	1594
11th	1594	12th	1594
12th	1594	13th	1594
13th	1594	14th	1594
14th	1594	15th	1594
15th	1594	16th	1594
16th	1594	17th	1594
17th	1594	18th	1594
18th	1594	19th	1594
19th	1594	20th	1594
20th	1594	21st	1594
21st	1594	22nd	1594
22nd	1594	23rd	1594
23rd	1594	24th	1594
24th	1594	25th	1594
25th	1594	26th	1594
26th	1594	27th	1594
27th	1594	28th	1594
28th	1594	29th	1594
29th	1594	30th	1594
30th	1594	31st	1594
31st	1594	32nd	1594
32nd	1594	33rd	1594
33rd	1594	34th	1594
34th	1594	35th	1594
35th	1594	36th	1594
36th	1594	37th	1594
37th	1594	38th	1594
38th	1594	39th	1594
39th	1594	40th	1594
40th	1594	41st	1594
41st	1594	42nd	1594
42nd	1594	43rd	1594
43rd	1594	44th	1594
44th	1594	45th	1594
45th	1594	46th	1594
46th	1594	47th	1594
47th	1594	48th	1594
48th	1594	49th	1594
49th	1594	50th	1594
50th	1594	51st	1594
51st	1594	52nd	1594
52nd	1594	53rd	1594
53rd	1594	54th	1594
54th	1594	55th	1594
55th	1594	56th	1594
56th	1594	57th	1594
57th	1594	58th	1594
58th	1594	59th	1594
59th	1594	60th	1594
60th	1594	61st	1594
61st	1594	62nd	1594
62nd	1594	63rd	1594
63rd	1594	64th	1594
64th	1594	65th	1594
65th	1594	66th	1594
66th	1594	67th	1594
67th	1594	68th	1594
68th	1594	69th	1594
69th	1594	70th	1594
70th	1594	71st	1594
71st	1594	72nd	1594
72nd	1594	73rd	1594
73rd	1594	74th	1594
74th	1594	75th	1594
75th	1594	76th	1594
76th	1594	77th	1594
77th	1594	78th	1594
78th	1594	79th	1594
79th	1594	80th	1594
80th	1594	81st	1594
81st	1594	82nd	1594
82nd	1594	83rd	1594
83rd	1594	84th	1594
84th	1594	85th	1594
85th	1594	86th	1594
86th	1594	87th	1594
87th	1594	88th	1594
88th	1594	89th	1594
89th	1594	90th	1594
90th	1594	91st	1594
91st	1594	92nd	1594
92nd	1594	93rd	1594
93rd	1594	94th	1594
94th	1594	95th	1594
95th	1594	96th	1594
96th	1594	97th	1594
97th	1594	98th	1594
98th	1594	99th	1594
99th	1594	100th	1594

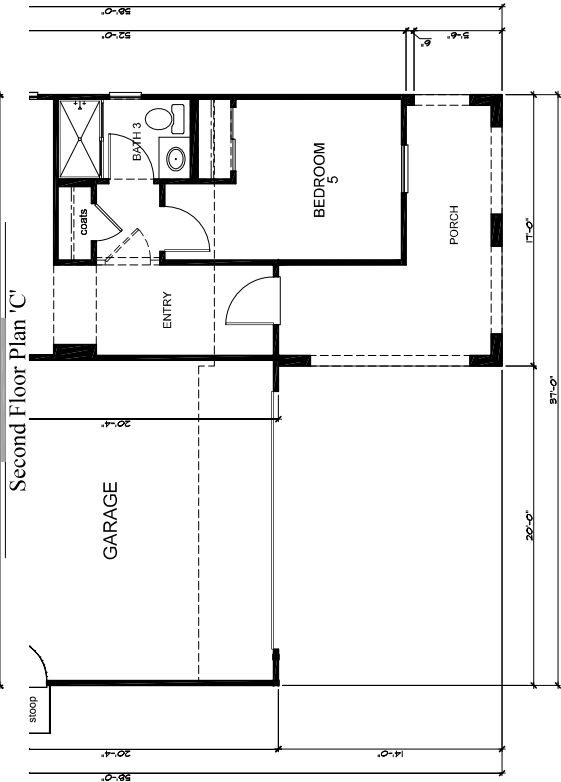
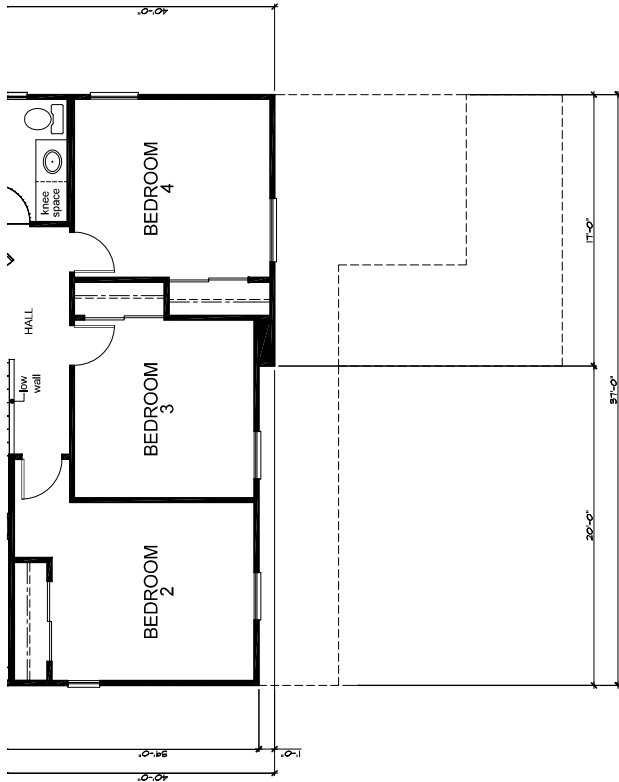
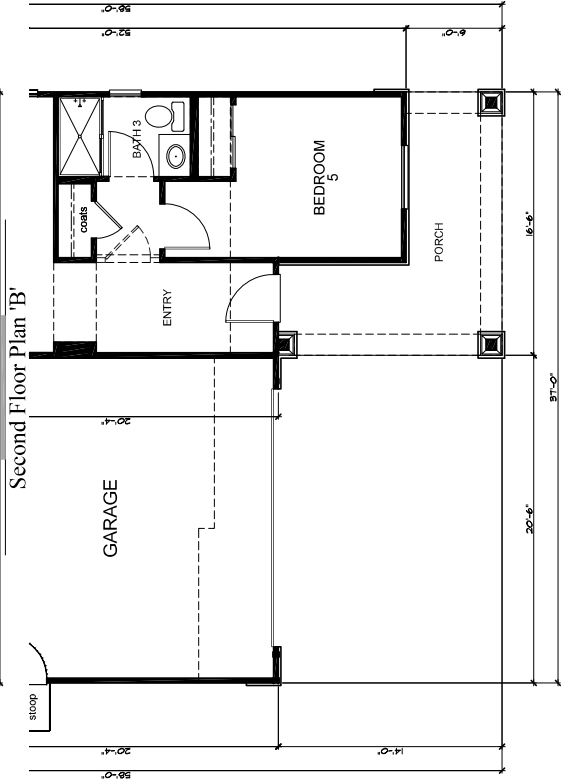
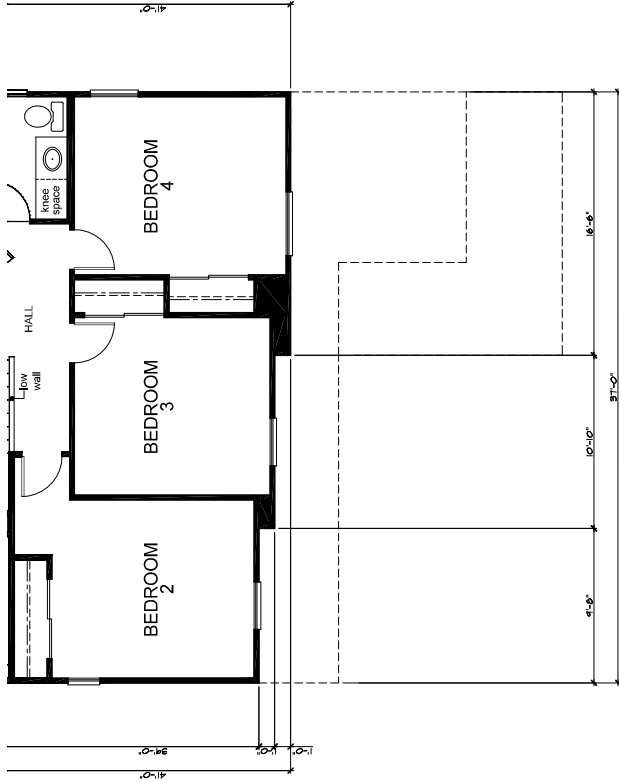
First Floor Plan 'A'



Second Floor Plan 'A'

JESSIE AVENUE



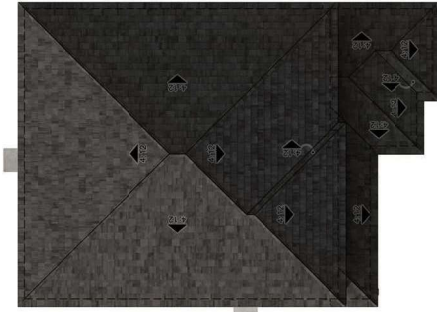


JESSIE AVENUE

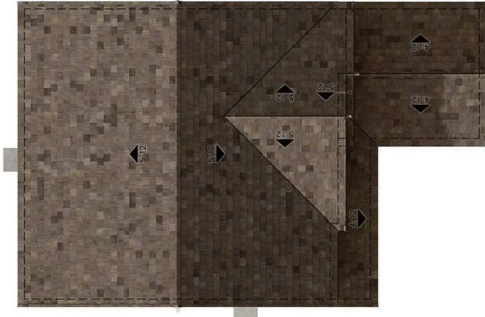
KB Home, North Bay
 450 Business Center Drive, Suite 150
 San Ramon, CA 94583
 (925) 388-2500
 CITY OF SACRAMENTO



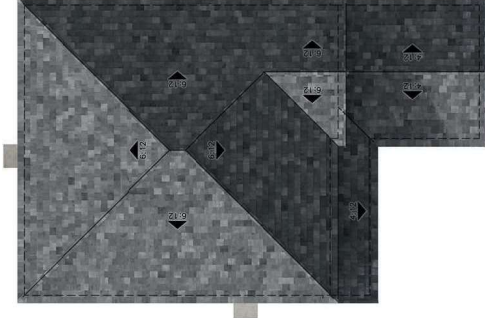
PLAN No. : 238-2686
 JOB No. : 001156
 STORY : 2-STORY
 February 09, 2024



'A'



'B'



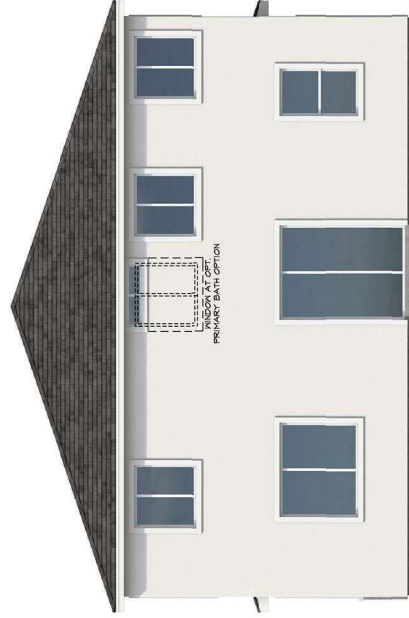
'C'

Roof Plans

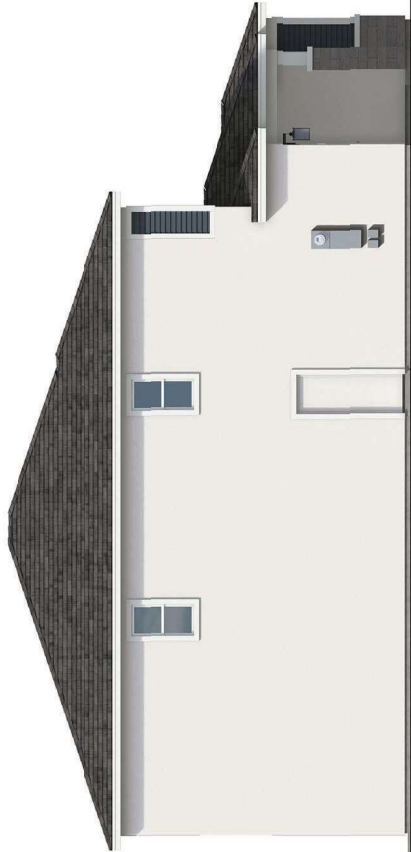
JESSIE AVENUE



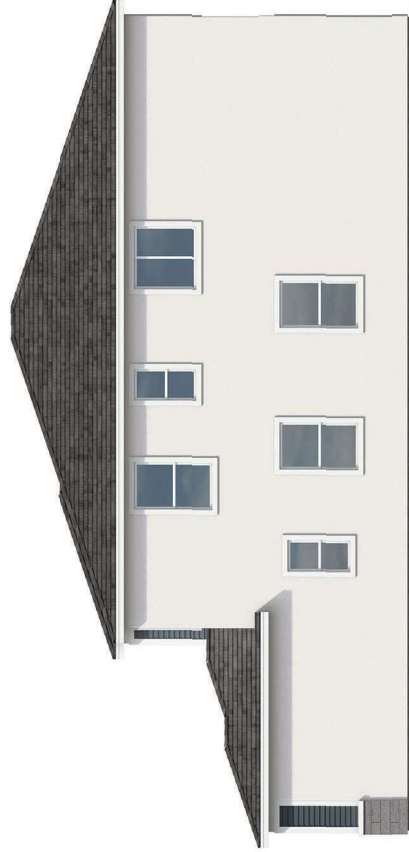
Front Elevation 'A' - Prairie



Rear Elevation 'A'



Left Elevation 'A'



Right Elevation 'A'



Front Elevation 'B' - Craftsman



Rear Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'



Front Elevation 'C' - Farmhouse



Rear Elevation 'C'



Left Elevation 'C'



Right Elevation 'C'

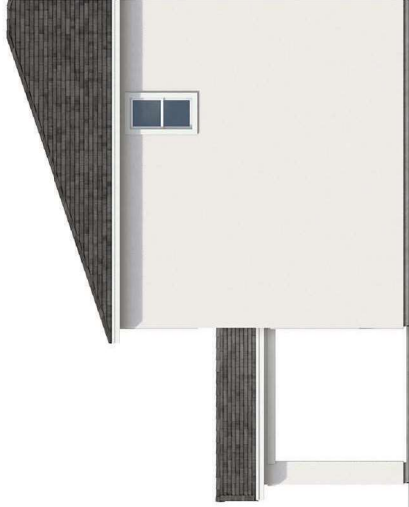


Right Elevation 'A'

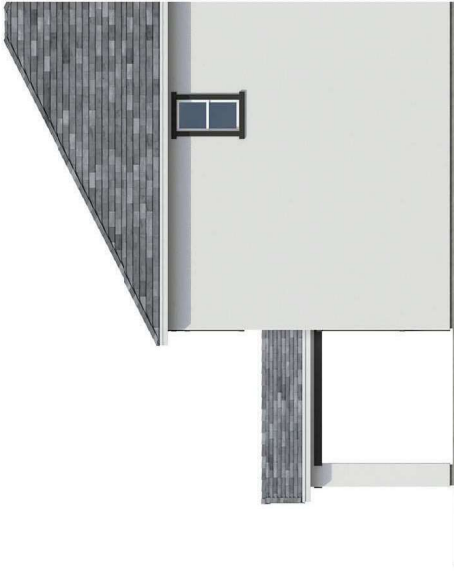


Rear Elevation 'A'

Optional Covered Patio



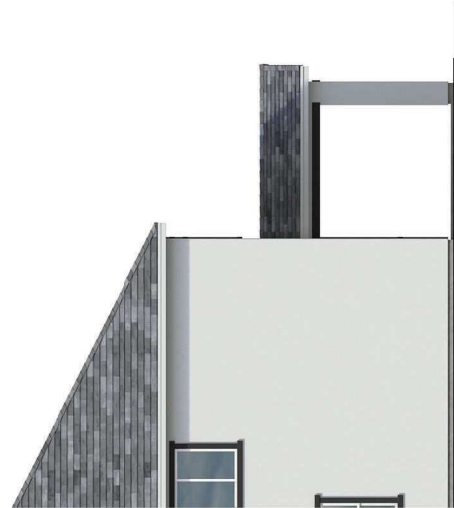
Left Elevation 'A'



Left Elevation 'C'



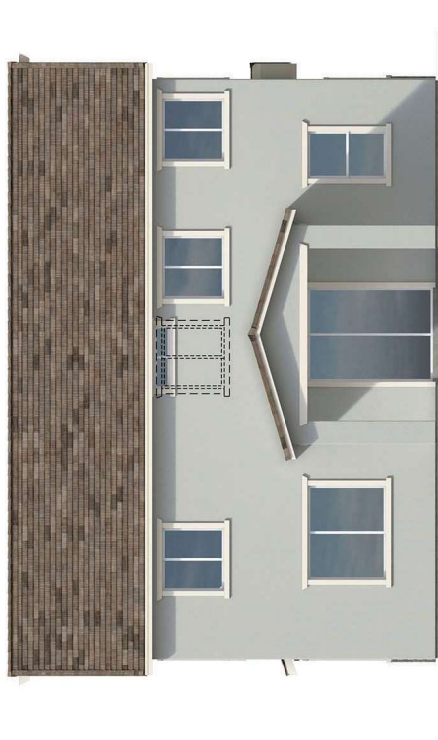
Rear Elevation 'C'



Right Elevation 'C'



Left Elevation 'B'



Rear Elevation 'B'

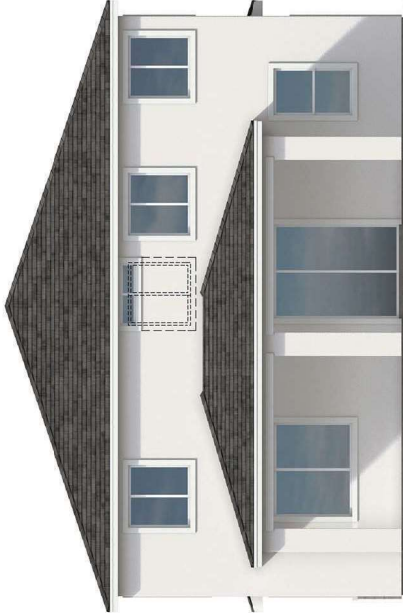
Optional Covered Patio



Right Elevation 'B'



Right Elevation 'A'

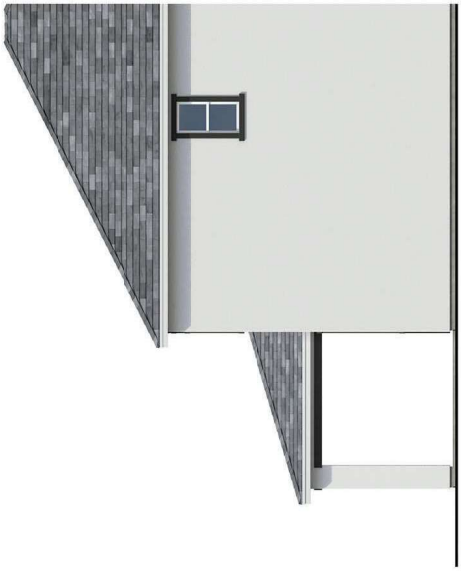


Rear Elevation 'A'

Optional Enlarged Covered Patio



Left Elevation 'A'



Left Elevation 'C'



Left Elevation 'B'



Rear Elevation 'C'



Rear Elevation 'B'

Optional Enlarged Covered Patio

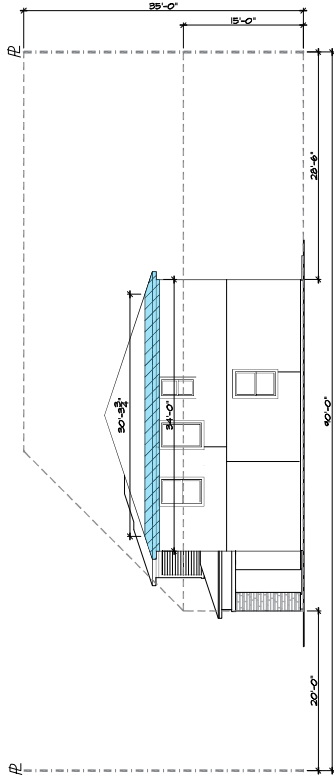


Right Elevation 'C'

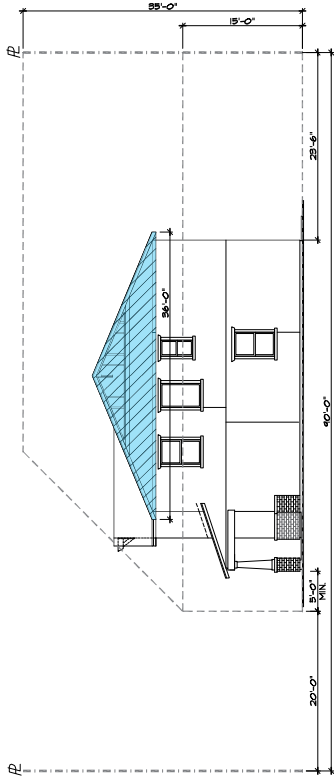


Right Elevation 'B'

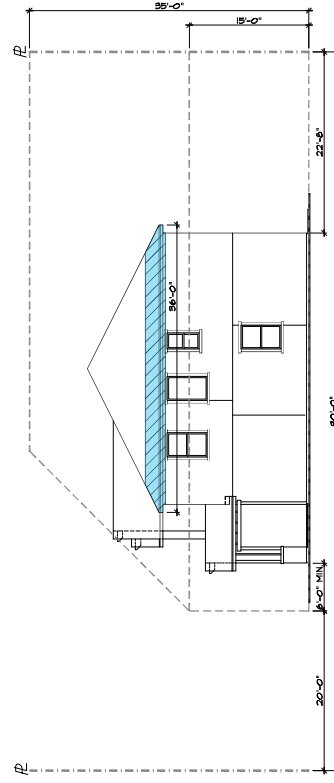




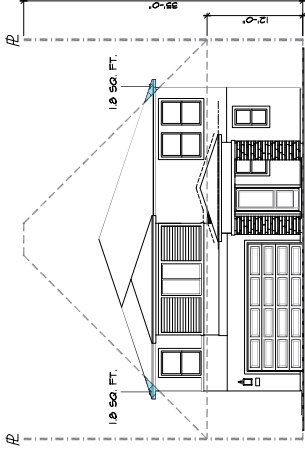
SIDE ELEVATION 'A'



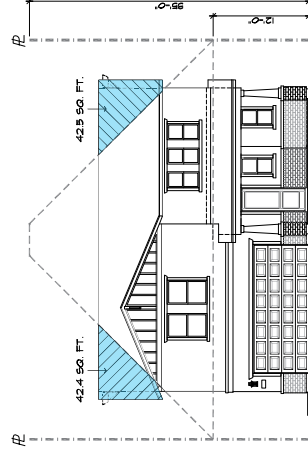
SIDE ELEVATION 'B'



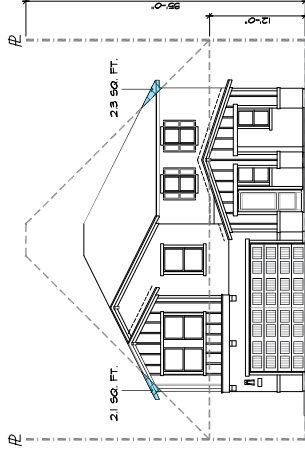
SIDE ELEVATION 'C'



FRONT ELEVATION 'A'

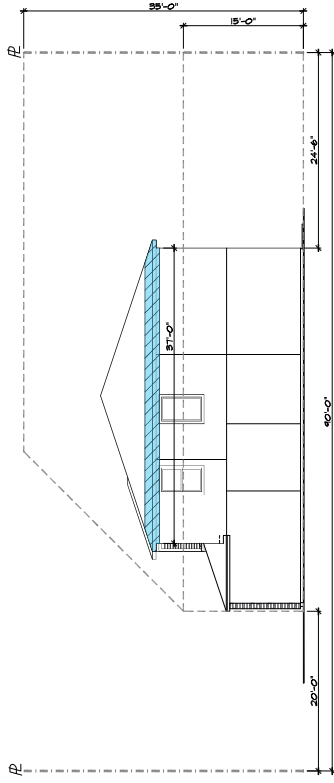


FRONT ELEVATION 'B'

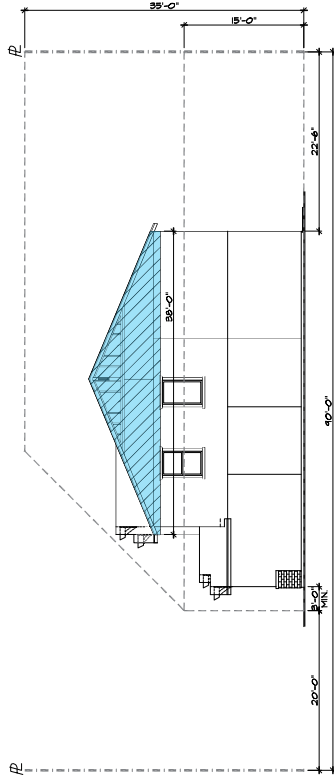


FRONT ELEVATION 'C'

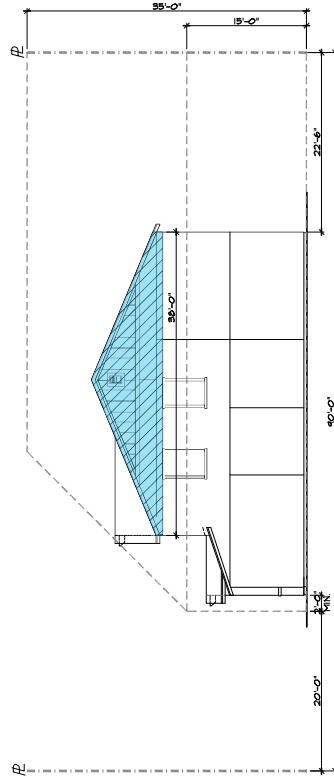
PLAN 2148



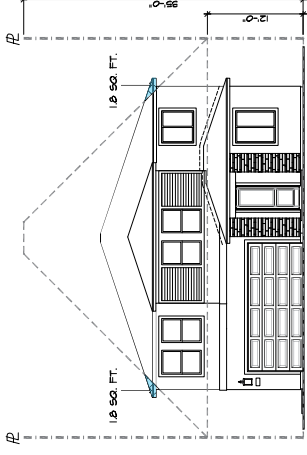
SIDE ELEVATION 'A'



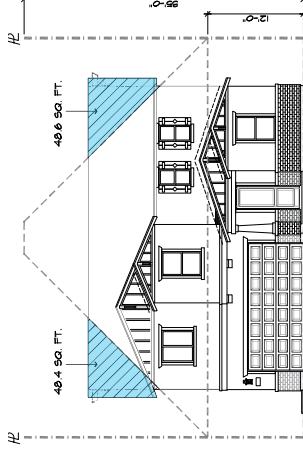
SIDE ELEVATION 'B'



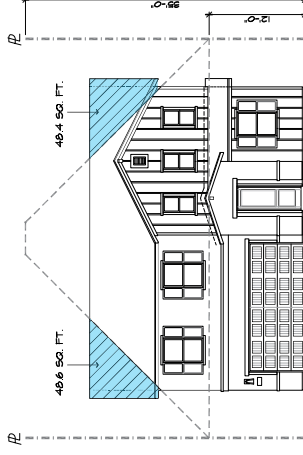
SIDE ELEVATION 'C'



FRONT ELEVATION 'A'

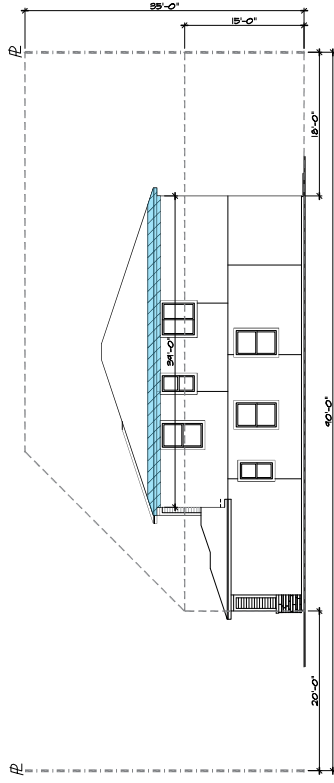


FRONT ELEVATION 'B'

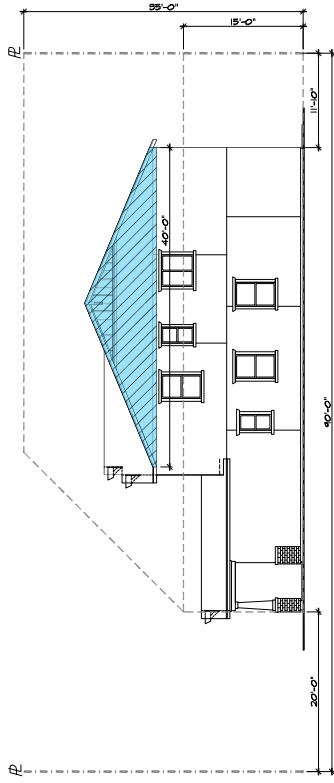


FRONT ELEVATION 'C'

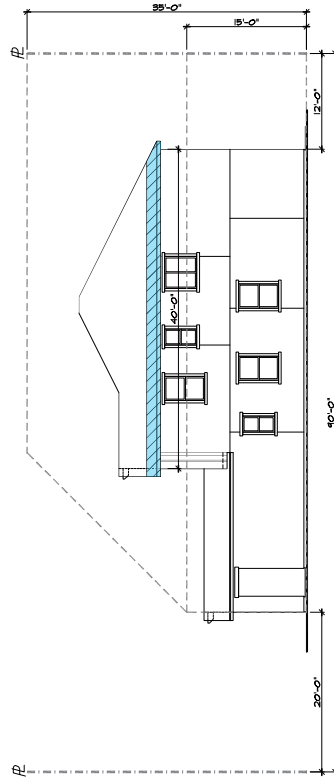
PLAN 2388



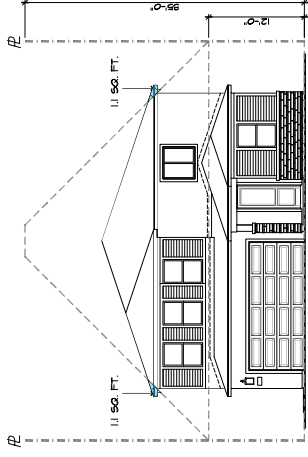
SIDE ELEVATION 'A'



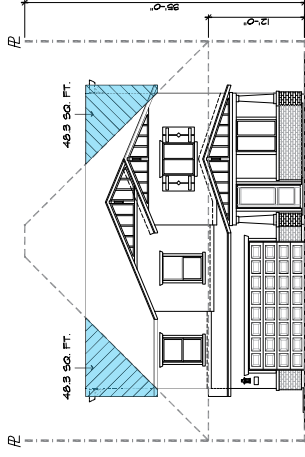
SIDE ELEVATION 'B'



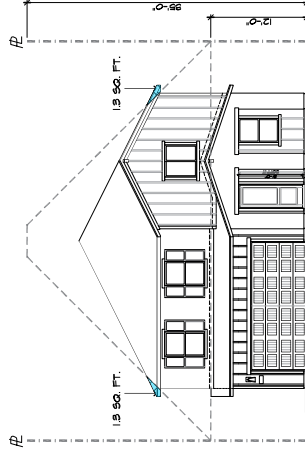
SIDE ELEVATION 'C'



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

PLAN 2686

